



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 22, 2016**  
 Time: **Not before 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>177 Wool Street</b> Cross Street(s): <b>Cortland Ave. &amp; Eugenia St.</b> Block /Lot No.: <b>5665/023</b> Zoning District(s): <b>RH-1 / 40-X</b> Area Plan: <b>None</b>	Case No.: <b>2016-006149VAR</b> Building Permit: Applicant: <b>Edward Hammack</b> Telephone: <b>(415) 282-4428</b> E-Mail: <b>lee@leehammack.com</b>

## PROJECT DESCRIPTION

The proposed project is to demolish an existing deck at the south elevation of the residence and to construct a new deck.

**PER SECTION 242 OF THE PLANNING CODE** the subject property is required to maintain a rear yard depth of 24.5 feet. The existing building and deck encroach 11 feet-6 inches into the required rear yard; therefore, reconstruction of the deck requires a variance.

## ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2016-006149VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**  
 Planner: **Ella Samonsky** Telephone: **(415) 575-9112** E-Mail: [ella.samonsky@sfgov.org](mailto:ella.samonsky@sfgov.org)

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

# DECK REPLACEMENT for CARLA JOHNSON & ANNA KUPERBERG

## 177 Wool Street

### PROJECT DESCRIPTION

REPLACEMENT & LEGALIZATION OF AN EXISTING 2D FLOOR DECK, & REPAIR OF AN EXISTING STAIR SERVING THE DECK.

### BUILDING DATA:

CONSTRUCTION: TYPE IAB  
OCCUPANCY: GROUPS U-R3  
STORIES: 2  
UNITS: 1  
SEISMIC UPGRADE: (NOT APPLICABLE)  
FIRE SPRINKLERS: (NOT APPLICABLE)

### PROJECT INFORMATION:

PROJECT LOCATION:  
177 WOOL STREET 94110  
BLOCK 5865 LOT 23  
ZONE RH-1

OWNERS:  
ANNA KUPERBERG & CARLA JOHNSON  
177 WOOL STREET  
SAN FRANCISCO CA 94110

ARCHITECT:  
EDW. LEE HAMMACK, ARCHITECT  
3687 FOLSOM STREET  
SAN FRANCISCO CA 94110  
415-282-4428

STRUCTURAL ENGINEER:  
(TO BE DETERMINED)  
ENERGY CALCULATIONS:  
(TO BE DETERMINED)  
GENERAL CONTRACTOR:  
(TO BE DETERMINED)

### AREAS - EXISTING:

	GROUP U	GROUP R3	DECK	TOTAL
1ST FLOOR	449 SQ.FT.	544 SQ.FT.		993 SQ.FT.
2ND FLOOR		1022 SQ.FT.	121 SQ.FT.	1143 SQ.FT.
TOTALS	449 SQ.FT.	1566 SQ.FT.	121 SQ.FT.	2136 SQ.FT.

### AREAS - PROPOSED, NEW/IN ITALICS

	GROUP U	GROUP R3	DECK	TOTAL
1ST FLOOR	449 SQ.FT.	544 SQ.FT.		993 SQ.FT.
2ND FLOOR		1022 SQ.FT.	<b>106 SQ.FT.</b>	<b>1128 SQ.FT.</b>
TOTALS	449 SQ.FT.	1566 SQ.FT.	<b>106 SQ.FT.</b>	<b>2121 SQ.FT.</b>

ALL CONSTRUCTION WORK SHALL COMPLY WITH THE 2013 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) & SAN FRANCISCO AMENDMENTS, CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), 2008 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CNC).

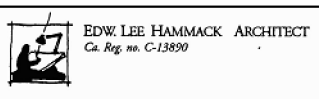
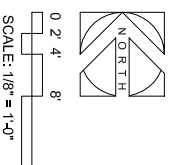
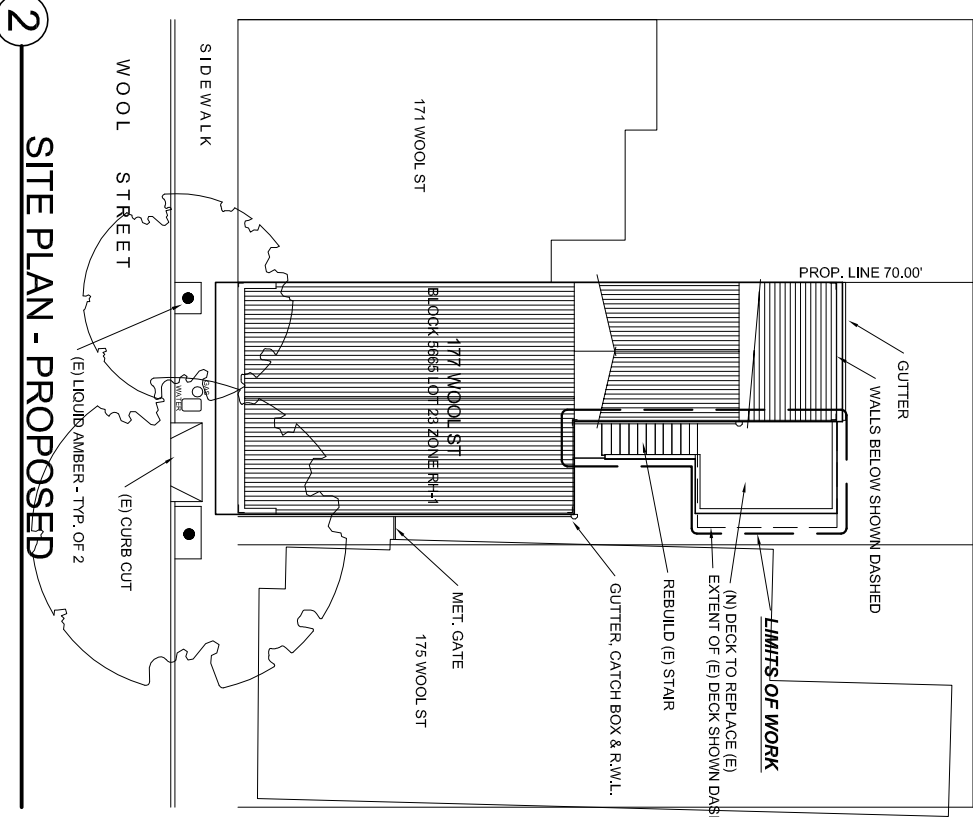
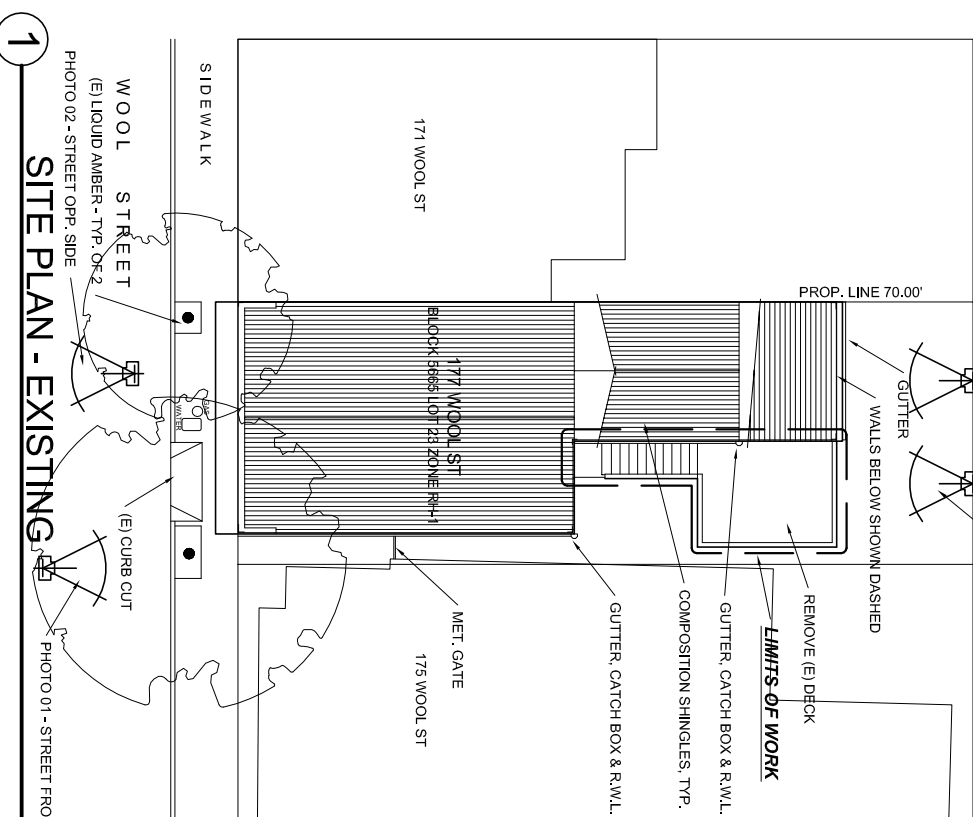
### INDEX OF DRAWINGS:

#### ARCHITECTURAL

- A1.1 (THIS SHEET)
- A2.1 1ST FLOOR PLANS - EXISTING & PROPOSED
- A2.2 2D FLOOR PLANS - EXISTING & PROPOSED
- A3.1 GROSS SECTIONS & SOUTH ELEVATIONS - EXISTING & PROPOSED
- A3.2 EAST/REAR ELEVATIONS - EXISTING & PROPOSED: RAIL DETAIL
- A3.3 NORTH & WEST/FRONT ELEVATIONS - EXISTING (NO WORK)

### GENERAL NOTES:

1. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS.
2. DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED. WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS. CONFIRM ALL DIMENSIONS ON-SITE PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES.
3. REFER TO OTHER SHEETS OF DRAWINGS FOR ADDITIONAL NOTES.



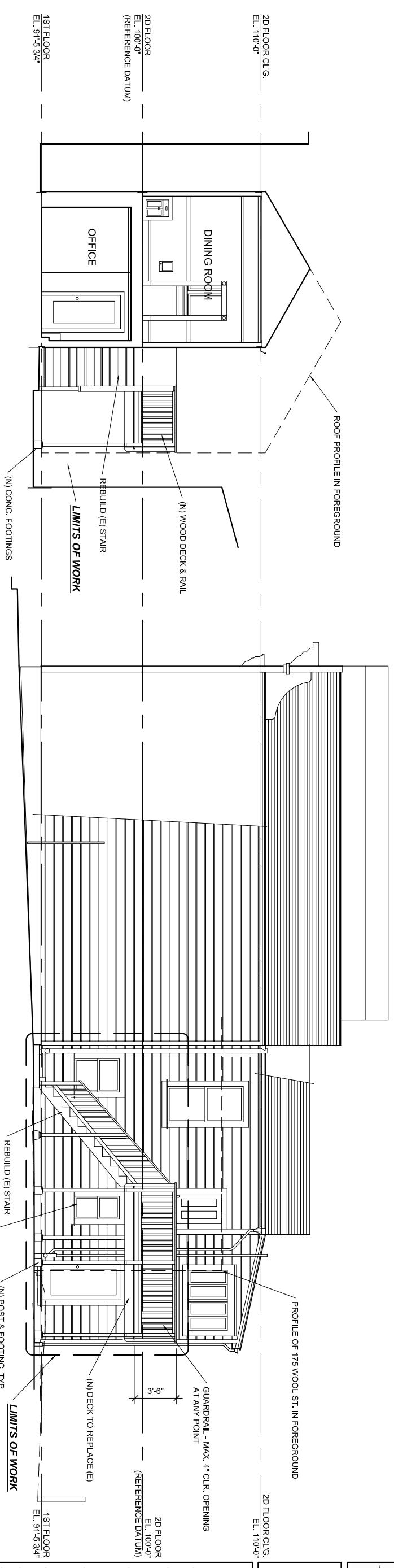
3687 Folsom Street San Francisco CA 94110 415.282.4428

## SITE-ROOF PLAN; GENERAL INFORMATION

DECK REPAIR/REPLACEMENT for CARLA JOHNSON & ANNA KUPERBERG  
**177 Wool Street**  
SAN FRANCISCO CALIFORNIA

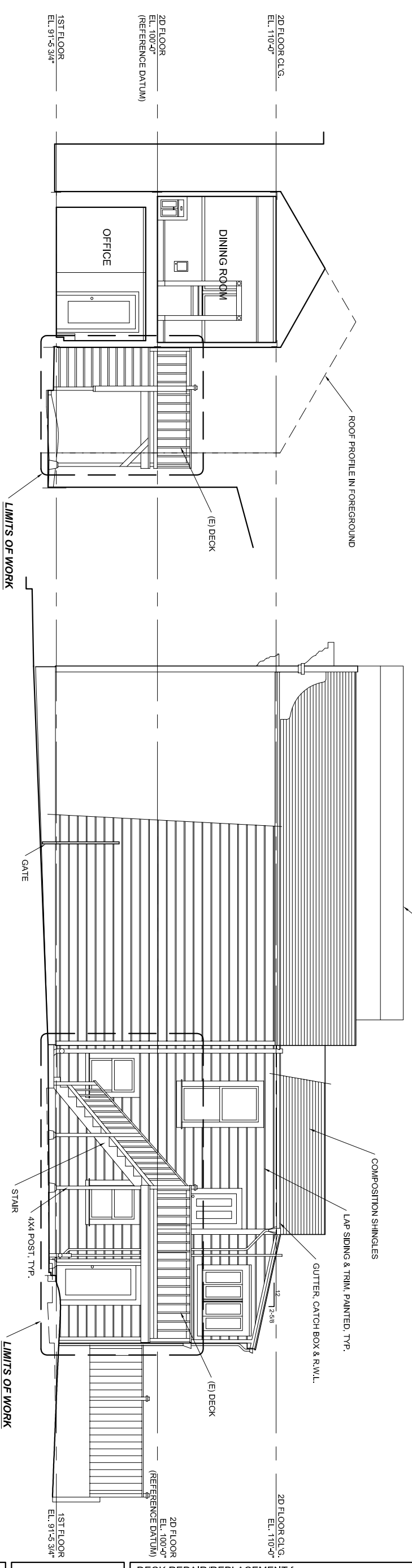
DATE: 5 MAY 2016  
REVISIONS:

SHEET NO.  
**A1.1**



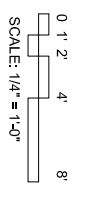
**3** CROSS SECTION - PROPOSED


**4** SOUTH ELEVATION - PROPOSED



**1** CROSS SECTION - EXISTING

**2** SOUTH ELEVATION - EXISTING



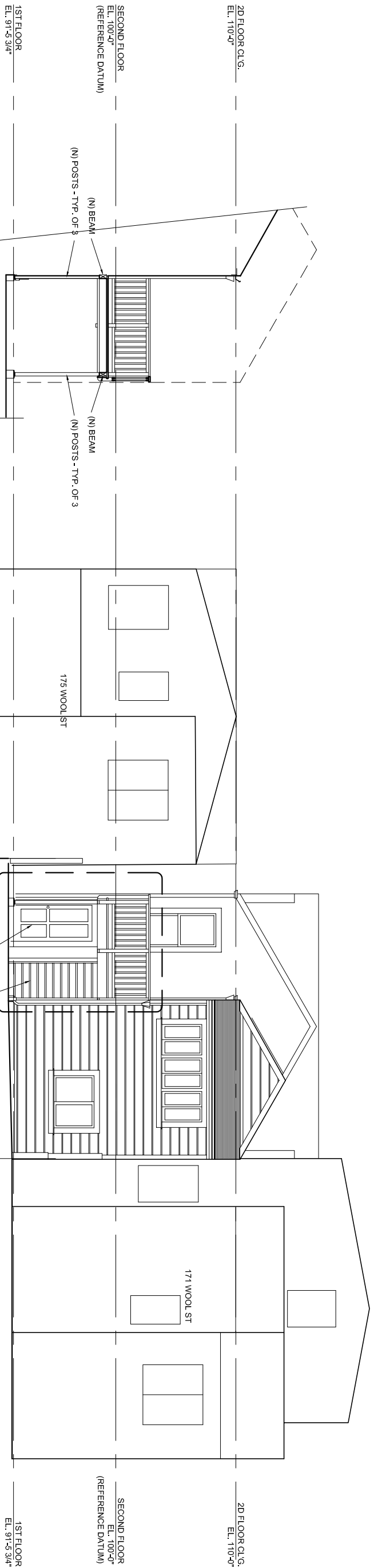

**EDW. LEE HAMMACK ARCHITECT**  
 Ca. Reg. no. C-13890  
 3687 Folsom Street San Francisco CA 94110 415.282.4428

**CROSS SECTIONS & SOUTH ELEVATIONS - EXISTING & PROPOSED**

DECK REPAIR/REPLACEMENT for  
 CARLA JOHNSON & ANNA KUPERBERG  
**177 Wool Street**  
 SAN FRANCISCO CALIFORNIA

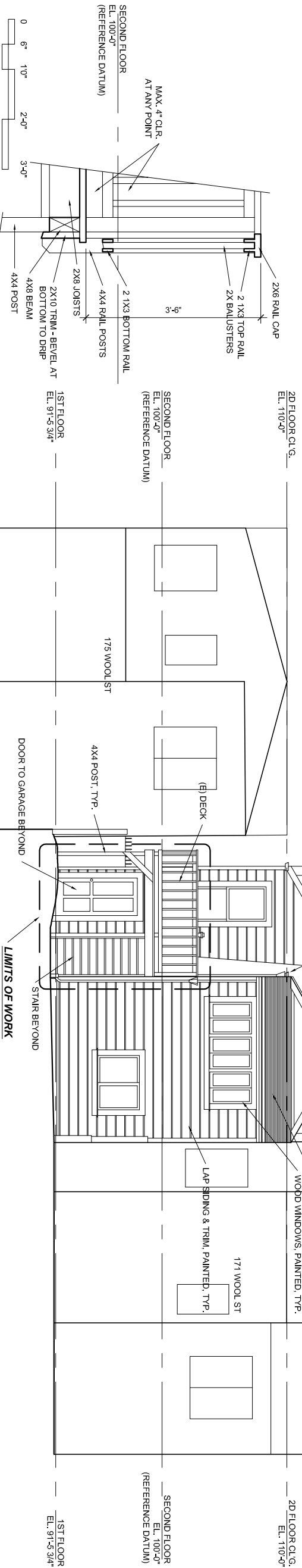
DATE: 5 MAY 2016  
 REVISIONS:

SHEET NO.  
**A3.1**



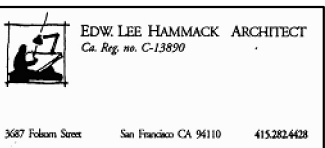
3 CROSS SECTION

2 REAR/EAST ELEVATION - PROPOSED



4 RAIL DETAIL

1 REAR/EAST ELEVATION - EXISTING



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EAST/REAR ELEV'NS. - EXIS'G. & PROPOSED; RAIL DETAIL

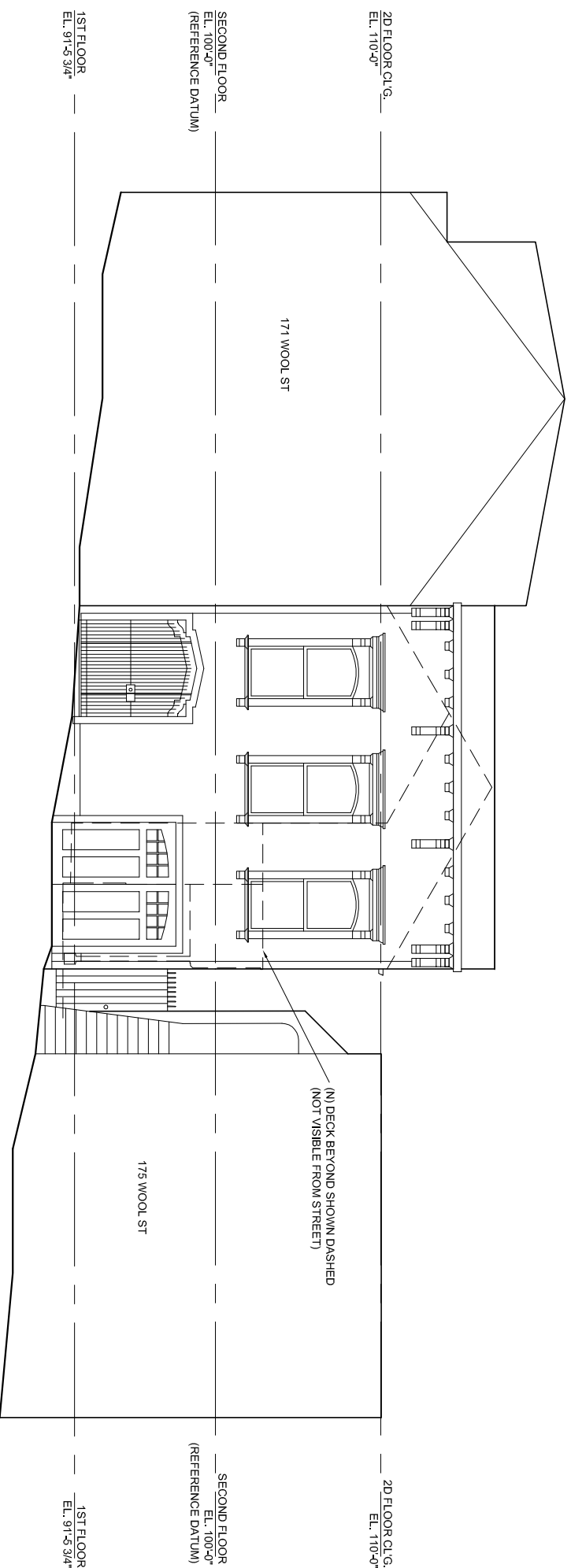
DECK REPAIR/REPLACEMENT for CARLA JOHNSON & ANNA KUPERBERG  
**177 Wool Street**  
 SAN FRANCISCO CALIFORNIA

DATE: 5 MAY 2016  
 REVISIONS:

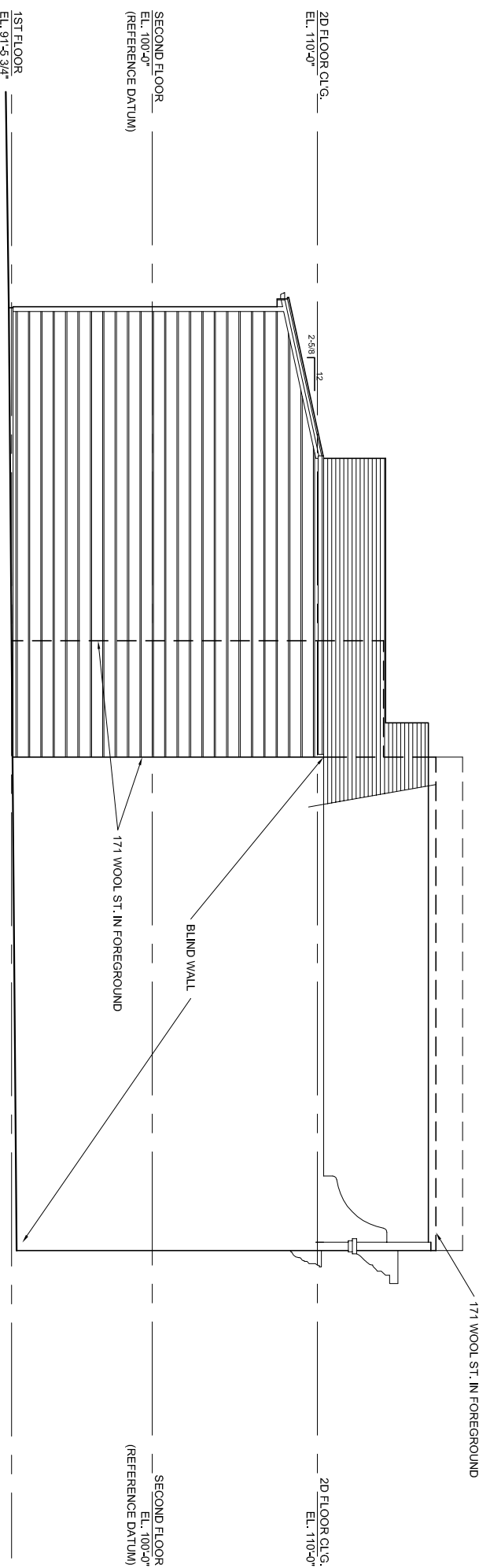
SHEET NO. **A3.2**

SCALE: 1/4" = 1'-0"

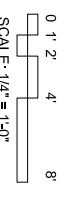
SCALE: 1" = 1'-0"



2 FRONTWEST ELEVATION - EXISTING  
(NO WORK AT THIS SIDE)



1 NORTH ELEVATION - EXISTING  
(NO WORK AT THIS SIDE)



EDW. LEE HAMMACK ARCHITECT  
Ca. Reg. no. C-13890

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NORTH & WEST/FRONT  
ELEVATIONS -  
EXISTING (NO WORK)

DECK REPAIR/REPLACEMENT for  
CARLA JOHNSON & ANNA KUPERBERG  
**177 Wool Street**  
SAN FRANCISCO CALIFORNIA

DATE: 21 AUG. 2015  
REVISIONS:

SHEET NO.  
**A3.3**