



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 8, 2016**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 75 TOPAZ WAY	Case No.: 2016-005748VAR
Cross Street(s): Gold Mine Dr.	Building Permit: 201604114474
Block / Lot No.: 7534/027	Applicant/Agent: Melissa McKenzie
Zoning District(s): RM-1 / 40-X	Telephone: 415-837-0900
Area Plan:	E-Mail: melissa@plumarchitects.com

PROJECT DESCRIPTION

The proposal includes the expansion of the existing cantilevered bathroom, the addition of a cantilevered fireplace, both on the east side of subject property, as well as the extension of the existing cantilevered balcony in the rear.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a 45 percent rear yard, which varies from $\pm 49'10''$ -45' deep. The existing building is legal noncomplying, as the existing building encroaches within the required rear yard at varying depths. The proposed project furthers the noncompliance approximately 4'6" within the required rear yard and result in a rear yard of 15'6"; therefore, the project requires a variance from the rear yard requirements (Section 134) of the Planning Code.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Cathleen Campbell** Telephone: **415-575-8732** Mail: Cathleen.Campbell@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2016-005748VAR.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

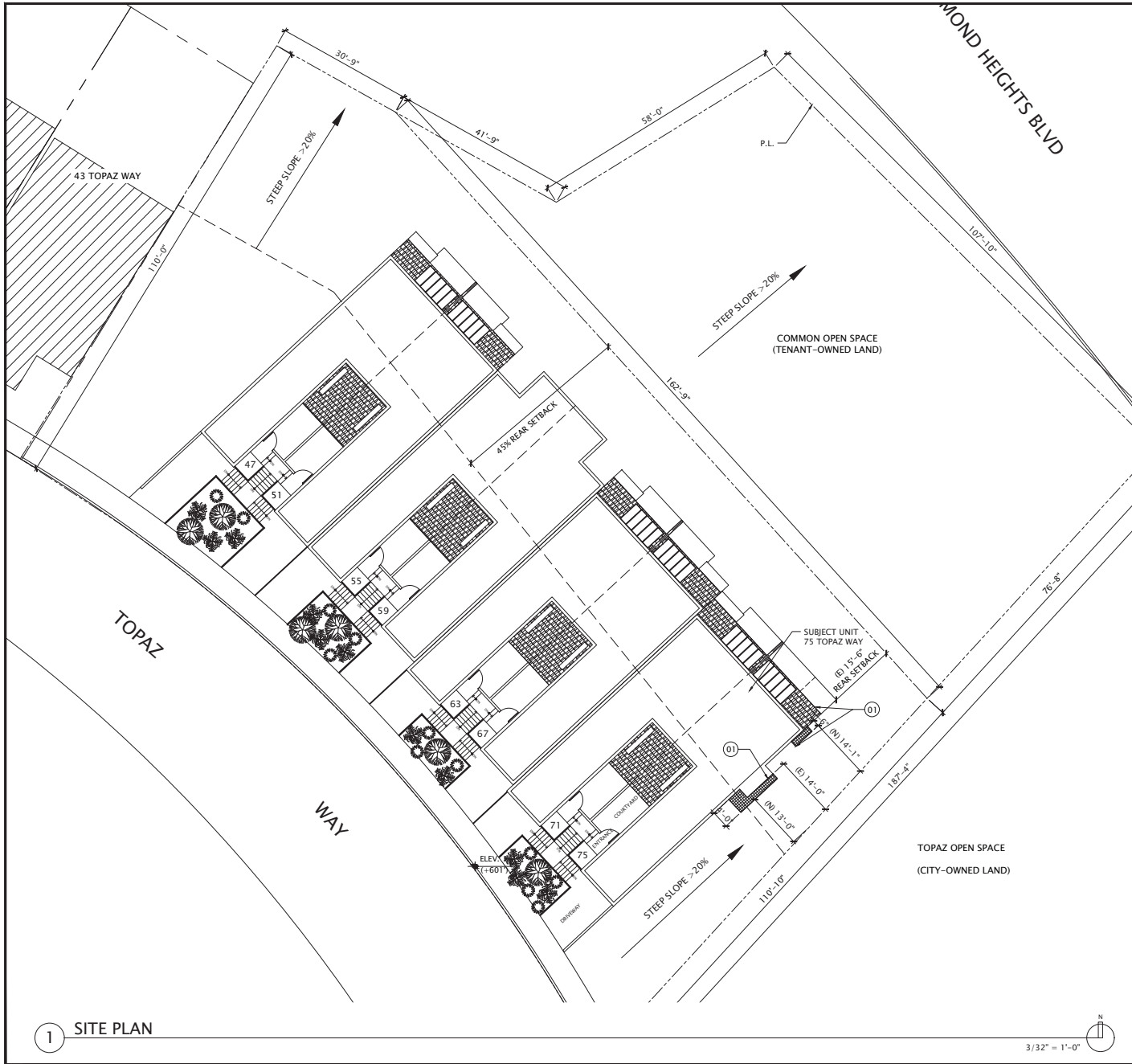
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



SHEET NOTES

A. THE PROJECT DOES NOT ALTER THE (E) BUILDING FOOTPRINT.

B. THE SUBJECT LOT IS AN IRREGULAR POLYGON LOCATED ON A STEEPLY SLOPING SITE W/ A TYP. SLOPE >20%.

C. BUILDING HEIGHTS
 SUBJECT PROPERTY (75 TOPAZ WAY):
 (E) BUILDING HT. = 1 STORY AT STREET (10'-0")
 3 STORY AT REAR (30'-0" ABV. FOUN.)

ADJACENT PROPERTY (73 TOPAZ WAY):
 (E) BUILDING HT. = 1 STORY AT STREET/3 STORY AT REAR

D. SETBACKS
 NO ENCROACHMENTS UPON REQ. SETBACKS ARE PROPOSED FOR THIS PROJECT.
 (E) FRONT SETBACK = 18'-8"
 (E) SIDE SETBACK = NA
 (E) REAR SETBACK = NA

KEYNOTES

01 LOCATION OF (N) WORK

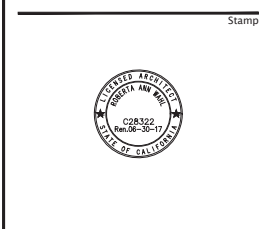
LEGEND

ADJ. BUILDING FOOTPRINTS

AREA OF PROPOSED WORK

PLUM architects
 3298 Pierce Street, San Francisco CA 94123
 TEL: 415-837-0900 FAX: 415-500-2772

Stamp



Date: 08/10/16
 VARIANCE SUBMITTAL

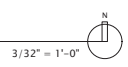
Project No. 1525
**TOPAZ WAY
 INTERIOR REMODEL**

75 Topaz Way
 San Francisco, CA 94131
 BLOCK/LOT: 7534/027

Sheet
SITE PLAN

A1.01

1 SITE PLAN



DEMOLITION NOTES

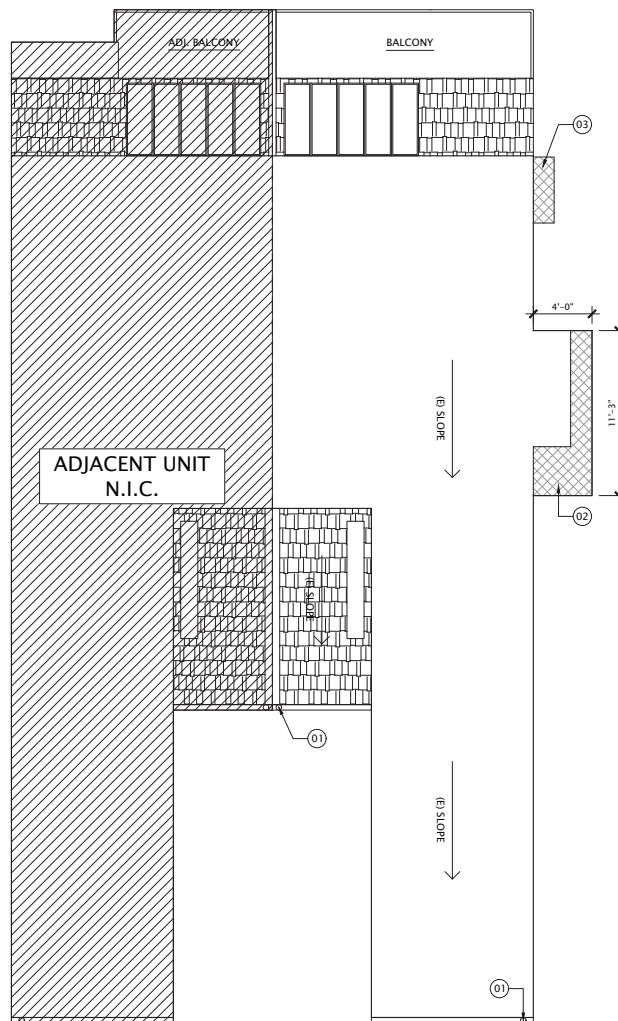
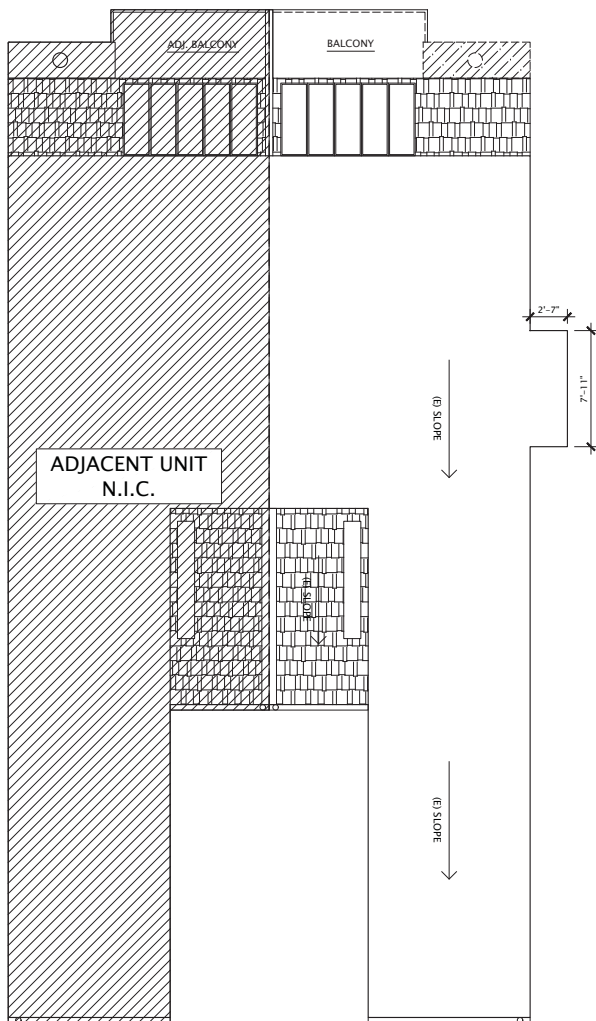
- A. ANY ITEM SHOWN GRAPHICALLY, BUT NOT SPECIFICALLY NOTED SHALL BE CONSIDERED PART OF THE SCOPE OF WORK AS IF NOTED.
- B. ALL DIMENSIONS ARE TO FACE OF FINISH OR CENTERLINE (C), U.O.N.
- C. REMOVE PARTITION WALLS AS INDICATED.
- D. REMOVE DOORS & WINDOWS AS INDICATED.
- E. G.C. TO VERIFY LOCATIONS OF ALL (E) UTILITIES PRIOR TO START OF WORK & PROVIDE PROTECTION, AS NEC.
- F. CAP PLUMBING AS INDICATED TO PREPARE FOR (N) LAYOUT
- G. MECHANICAL, ELECTRICAL & PLUMBING WORK IS DESIGN/BUILD. CONTRACTOR SHALL PROVIDE FULLY FUNCTIONING AND CODE COMPLIANT SYSTEMS, AND/OR REPAIRS TO (E) SYSTEMS.

KEYNOTES

- 01 (E) RWL
- 02 (N) ADDITION TO ROOF REQUIRING (N) FRAMING, SHEATHING & PATCH TO (E) ROOF SYSTEM
- 03 ITEM TO BE DEMOLISHED
- 04 (N) FIREBOX

LEGEND

- | | | | |
|--|-----------------------------------|--|-----------------------|
| | EXISTING WALL | | WALL TYPE PER 1/A6.01 |
| | NEW WALL, FULL HT. | | DOOR TYPE PER A7.01 |
| | NEW WALL, PARTIAL HT. | | WINDOW TYPE PER A7.01 |
| | NEW HORIZONTAL FRAMING & SUBFLOOR | | |
| | NEW WALL-TO-WALL CARPETING | | |
| | NEW CERAMIC OR STONE TILE FINISH | | |



1 EXISTING/DEMOLITION ROOF PLAN

1/4" = 1'-0"

2 PROPOSED ROOF PLAN

1/4" = 1'-0"

Stamp



VARIANCE SUBMITTAL Date 08/10/16

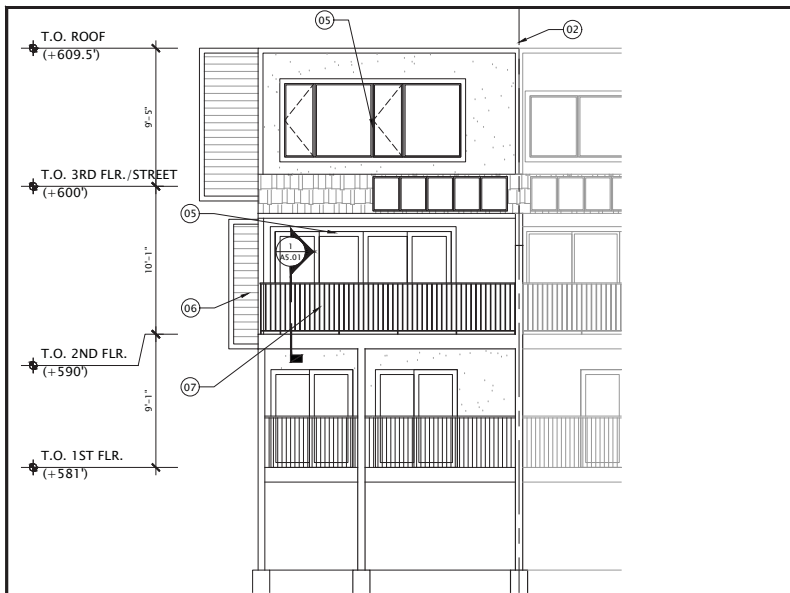
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INTERIOR REMODEL

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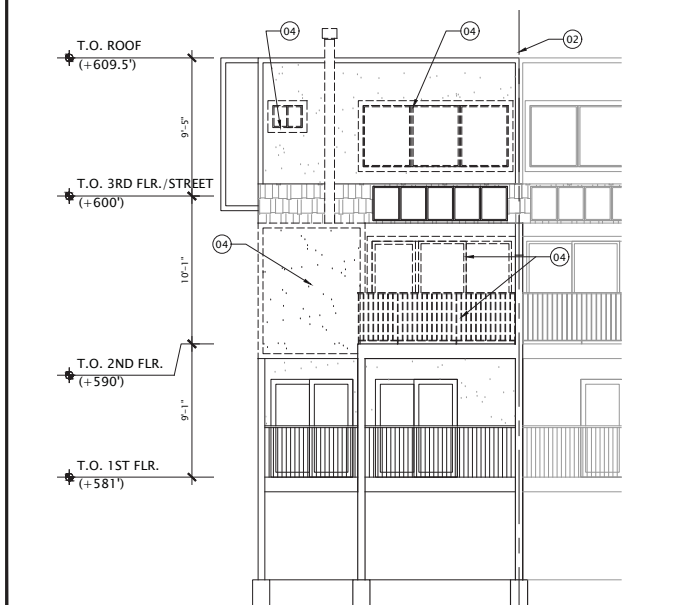
ROOF PLANS

A1.04

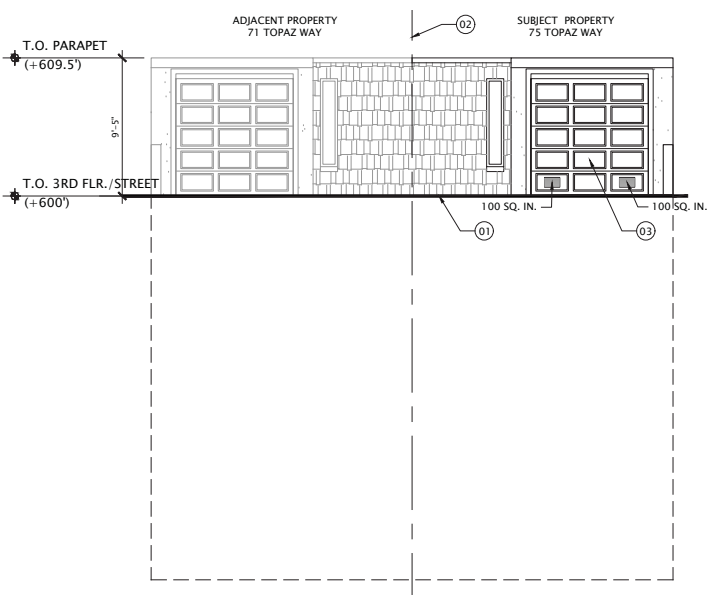


4 PROPOSED NORTH ELEVATION 1/4" = 1'-0"

2 PROJECT RENDERINGS 1/4" = 1'-0"



3 EXISTING NORTH ELEVATION 1/4" = 1'-0"



1 EXISTING SOUTH ELEVATION - NO CHANGE 1/4" = 1'-0"

SHEET NOTES

- A. NO OPENINGS ON FRONT FACADE ARE BEING ALTERED OR REPLACED.
- B. PAINTING TO MATCH (E) AND HIDE ALL PATCHES & ALTERATIONS.
- C. ALL ITEMS NOTED ARE NEW, U.O.N.

KEYNOTES

- 01 GROUND PLANE @ FRONT FACADE
- 02 DEMISING LINE BETWEEN UNITS
- 03 MODIFY (E) PTD. WD GARAGE DOOR TO PROVIDE MIN. 200 SQ. IN. NATURAL VENTILATION PER SFBC SEC. 406.3.3. FOR GARAGE (367 S.F.). CUT OPENING(S) IN GARAGE DOOR & INSERT MTL VENT PTD TO MATCH DOOR
- 04 ITEM TO BE DEMOLISHED
- 05 (N) WINDOW / (N) DOOR, SEE A7.01 FOR SCHEDULES
- 06 (N) FIREBOX FOR GAS F.P., PTD. CEMENT BD FINISH
- 07 (N) MTL RAILING TO MATCH (E) ADJ. RAILING

Stamp



Date
 VARIANCE SUBMITTAL 08/10/16

Project No. 1525
**TOPAZ WAY
 INTERIOR REMODEL**

75 Topaz Way
 San Francisco, CA 94131
 BLOCK/LOT: 7534/027

Sheet
EXTERIOR ELEVATIONS

A2.01

SHEET NOTES

- A. NO OPENINGS ON FRONT FACADE ARE BEING ALTERED OR REPLACED.
- B. PAINTING TO MATCH (E) AND HIDE ALL PATCHES & ALTERATIONS.
- C. ALL ITEMS NOTED ARE NEW, U.O.N.

KEYNOTES

- (01) LINE OF GROUND PLANE
- (02) DEMOLISH AREA OF FRAMING & (E) EXTERIOR FINISH & PREPARE FOR NEW OPENING, TYP.
- (03) (E) ITEM TO BE DEMOLISHED
- (04) FRAME-IN OPENING & PATCH CEMENT PLASTER TO MATCH (E) ADJACENT FINISH
- (05) PATCH (E) CEMENT PLASTER FINISH, AS NEC.
- (06) (N) PTD. CEMENT BOARD SIDING
- (07) (N) FIREBOX FOR DIRECT VENT GAS F.P.
- (08) (N) DOOR OR WINDOW - SEE DOOR & WINDOW SCHEDULES
- (09) (N) PTD. MTL. RAILING TO MATCH (E) ADJACENT

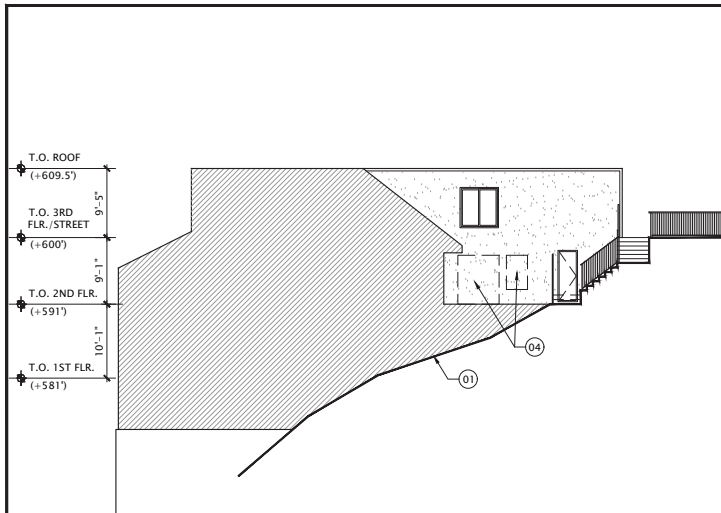
VARIANCE SUBMITTAL Date 08/10/16

Project No. 1525
TOPAZ WAY
INTERIOR REMODEL

75 Topaz Way
 San Francisco, CA 94131
 BLOCK/LOT: 7534/027

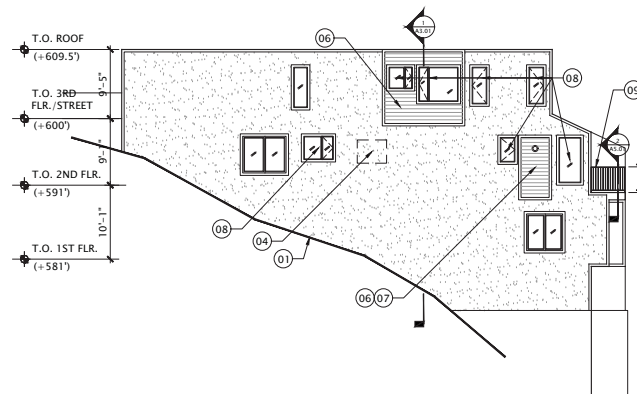
EXTERIOR ELEVATIONS

A2.02



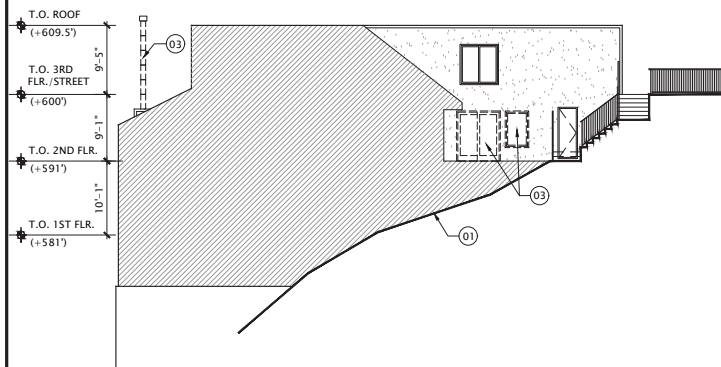
4 PROPOSED WEST ELEVATION

1/8" = 1'-0"



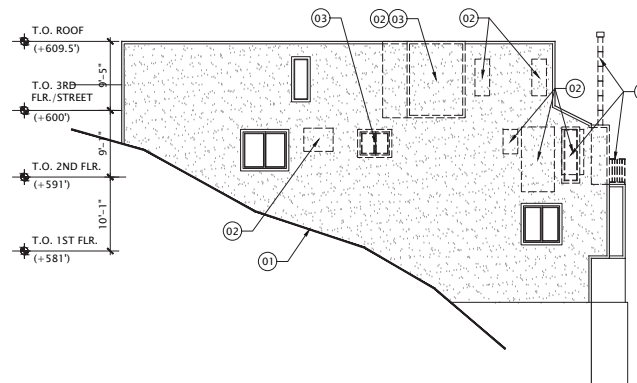
2 PROPOSED EAST ELEVATION

1/8" = 1'-0"



3 EXISTING WEST ELEVATION

1/8" = 1'-0"



1 EXISTING EAST ELEVATION

1/8" = 1'-0"

Stamp

