



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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415.558.6378

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415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 07, 2016**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard and Exposure)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 18-20 Shotwell Street	Case No.: 2016-005711VAR
Cross Street(s): 14th Street	Building Permit: 201606240833
Block / Lot No.: 3549/051	Applicant/Agent: Antonio Prado
Zoning District(s): UMU / 50-X	Telephone: 415-889-0878
Area Plan: Mission	E-Mail: pradoengineering@yahoo.com

PROJECT DESCRIPTION

The subject lot contains two buildings. The proposed project is to demolish an existing illegal structure and build a new structure to contain 3 units increasing the number of dwelling units on the subject property from 2 to 5.

PER SECTION 134 of the Planning Code the subject property is required to provide a rear yard equal to 30 feet. The existing legal two-family dwelling building at the front complies with this requirement and has a rear yard of 62 feet. However, the proposed new three-family dwelling unit structure would be entirely within the rear yard and therefore requires a variance from the Planning Code's rear yard requirements.

PER SECTION 140 OF THE PLANNING CODE each dwelling unit must have one room of at least 120 square feet that looks out onto a code complying open area or street. The project does not provide a code complying rear yard or open space. Therefore, the new dwelling units require a variance from the exposure requirement.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **kimberly durandet** Telephone: **415-575-6816** Mail: **kimberly.durandet@sfgov.org**

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: **<http://sf-planning.org/ftp/files/notice/2016-005711VAR.pdf>**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE ENGINEER MUST BE NOTIFIED IMMEDIATELY IN WRITING OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. PRIOR TO LAYING OUT OR FABRICATING ASSUMED WORK, PRIOR TO THE ENGINEER'S REVIEW, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND OTHER AGENCIES.

1 PROJECT DESCRIPTION / SCOPE OF WORK

THIS IS A PROPOSED 3-STORY 3-UNIT RESIDENTIAL PROJECT TO BE CONSTRUCTION ON THE REAR YARD OF AN EXISTING RESIDENTIAL BUILDING.

2 CONTACT INFORMATION

OWNER: MUNAWAR HUSSEIN
18 SHOTWELL ST. SAN FRANCISCO CA 94103

ENGINEER: ANTONIO PRADO
2785 WHITNEY DR.
FAIRFIELD CA. 94533
415 889-0878

CONTRACTOR:

3 SITE AND BUILDING INFORMATION

ADDRESS: 18-20 SHOTWELL ST.
SAN FRANCISCO CA 94103

APN #: 3549/051
ZONING: UMU FLOOD ZONE: NOT APPLICABLE
LOT AREA: 3,000 SQ.FT.
NO. OF STORIES: 3 (EXISTING)

FLOOR AREAS:
LIVABLE FLOOR AREA: 2,598 SQ.FT.
ADDITION FLOOR AREA: 3,000 SQ.FT.

FLOOR AREA RATIO (F.A.R.): 186.6%
LOT COVERAGE RATIO: 91.7%

OCCUPANCY GROUP AND DIVISION:
R-2 PER LIVABLE AREA
U-1 PER GARAGE

BUILDING USE:
MULTI-UNIT DWELLING

CONSTRUCTION TYPE:
V-N, NON-SPRINKLERED

4 INDEX OF DRAWINGS

011.0 COVER PAGE
VICINITY MAP
SATELLITE PHOTO

02.0 SITE PLAN
A1.0 - A2.0 FLOOR PLANS
A3.0 - A4.0 ELEVATIONS
A5.0 SECTIONS
A6.0 FRONT BLDG. ELEVATIONS
A7.0 - A8.0 FRONT BLDG. FLOOR PLANS
A9.0 (E) SHED PLANS

5 CODES

COMPLIANCE CODES (AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION):
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA GREEN BLDG. STANDARDS CODE
2013 CALIFORNIA ENERGY CODE

6 ABBREVIATIONS

ABV	ABOVE	FOF	FACE OF FINISH
ADJ	ADJACENT	FOS	FACE OF STUD
AP	ACCESS PANEL	FIN	FINISHED
ACT	ACOUSTIC CEILING TILE	FRP	FIBERGLASS REINFORCED PANEL
A/C	AIR CONDITIONING	FO	FACE OF
ALT	ALTERNATE	GA	GAUGE
ARCH	ARCHITECTURAL	GC	GENERAL CONTRACTOR
BLDG	BUILDING	GL	GLAZING GLASS
BO	BOARD	GSM	GAULANIZED SHEET METAL
BOT	BOTTOM	GYP	GYPSPUM
CLR	CLEAR	GWB	GYPSPUM WALK BOARD
CLG	CEILING	HDWR	HARDWARE
CONC	CONCRETE	HORZ	HORIZONTAL
COL	COLUMN	INT	INTERIOR
CPT	CARPET	INSUL	INSULATION
CMU	CONCRETE MASONRY UNIT	MECH	MECHANICAL
CONST	CONSTRUCTION	MIN	MINIMUM
CG	CORNER GUARD	MTRL	MATERIAL
DTL	DETAIL	MTL	METAL
DIAM	DIAMETER	(N)	NEW
DIM	DIMENSION	NIC	NOT IN CONTRACT
DR	DOOR	NTS	NOT TO SCALE
DWG	DRAWING	OR	OVER
(E), EX	EXISTING	O.C.	ON CENTER
EA	EACH	O.S.C.I	OWNER SUPPLIED CONTRACTOR INSTALLED
EL	ELEV ELEVATION	PBO	PROVIDED BY OWNER
ELEC	ELECTRICAL	PLAM	PLASTIC LAMINATE
EP	ELECTRICAL PANELBOARD	PLYWD	PLYWOOD
EW	EACH WAY	PTD	PAINTED
EQ	EQUAL	REF	REFRIGERATOR
FBO	FURNISHED BY OTHERS	REG	REGISTERED
FF	FINISHED FLOOR	RD	ROOF DRAIN
FT	FEET	RO	ROUGH OPENING
FF	FINISHED FLOOR	SEC	SECTION
FT	FEET	SHT	SHEET
FLR	FLOOR	SIM	SIMILAR
FLUR	FLUORESCENT		

7 GENERAL NOTES

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLETELY FAMILIARIZE HIMSELF/HERSELF WITH THESE DRAWINGS AND THE SITE CONDITIONS AND TO VERIFY ALL DETAILS WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION.

2. ALL WORK SHALL EQUAL OR EXCEED ALL CURRENT APPLICABLE BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, SAFETY AND ZONING CODES & ORDINANCES.

3. CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, ERRORS OR OMISSIONS. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION KNOWING IT INVOLVES A RECOGNIZED DISCREPANCY, ERROR OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT SUCH NOTICE TO THE ARCHITECT, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTABLE COSTS FOR THE CORRECTION.

4. DIMENSIONS ARE TO FINISH FACE UNLESS OTHERWISE NOTED.

5. PLANS HAVE BEEN PREPARED TO MEET REQUIREMENTS OF 2013 C.B.C / S.F.B.C.

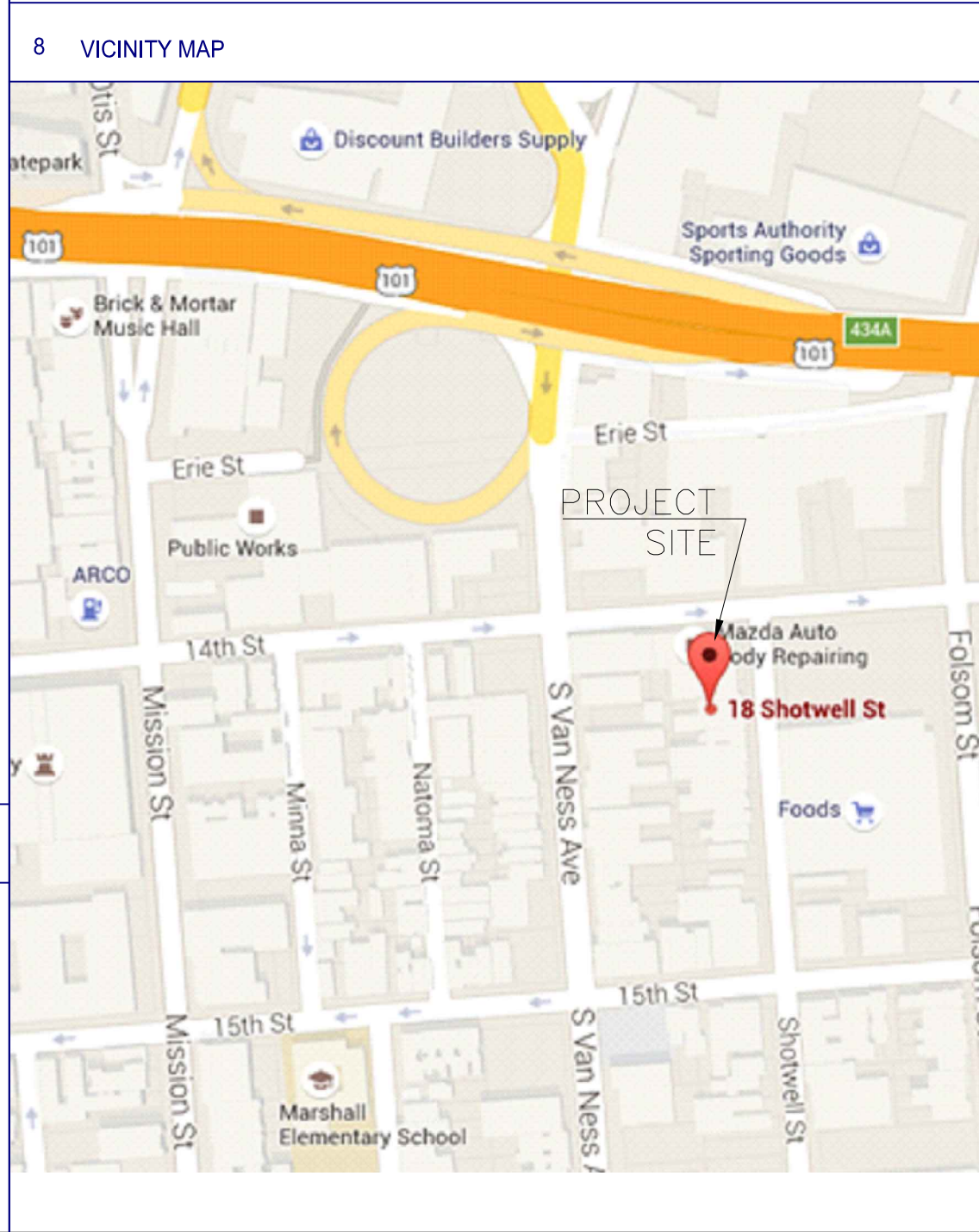
6. THESE DOCUMENTS SHALL NOT BE USED BY ANYONE FOR OTHER PROJECTS, ADDITION TO THIS PROJECT, OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING BY ARCHITECT AND WITH APPROPRIATE COMPENSATION.

7. CONTRACTOR TO VERIFY ALL EXISTING TO REMAIN AND DESIGNED PLUMBING, GAS, ELECTRICAL, SPRINKLER AND HVAC SYSTEMS WITH COMPATIBILITY WITH PROJECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

8. THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, HANDLING, PRESENCE, DISPOSAL, REMOVAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED EPHENYL (PCB), OR OTHER TOXIC SUBSTANCES. SUCH WORK, IF REQUIRED, IS TO BE COMPLETED UNDER SEPARATE CONTRACT.

9. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. THE DRAWINGS INDICATE LOCATIONS, DIMENSIONS AND TYPICAL DETAILS OF EVERY CONSTRUCTION. WORK NOT EXPRESSLY DETAILED SHALL BE OF CONSTRUCTION SIMILAR TO PARTS THAT ARE DETAILED. WHERE DISCREPANCIES OCCUR THEY SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.

10. THE CONTRACTOR TO VERIFY ANY EQUIPMENT, EXISTING OR SPECIFIED, WITH COMPATIBILITY WITH ELECTRICAL VOLTAGE PHASE AND OTHER UTILITIES.



9. DESIGN LOADS:

2013 CALIFORNIA BUILDING CODE

LIVE LOADS	DEAD LOADS
ROOF - 20 PSF (REDUCIBLE)	ROOF - 15 PSF
FLOOR - 40 PSF (REDUCIBLE)	FLOOR - 15 PSF

SEISMIC LOAD
RISK CATEGORY: II
I = 1.0, R = 0.65
USGS PARAMETERS

WIND LOAD
V = 110 MPH
RISK CATEGORY: II
EXP = B
I = 1.0, G = 0.85
ATC PARAMETERS

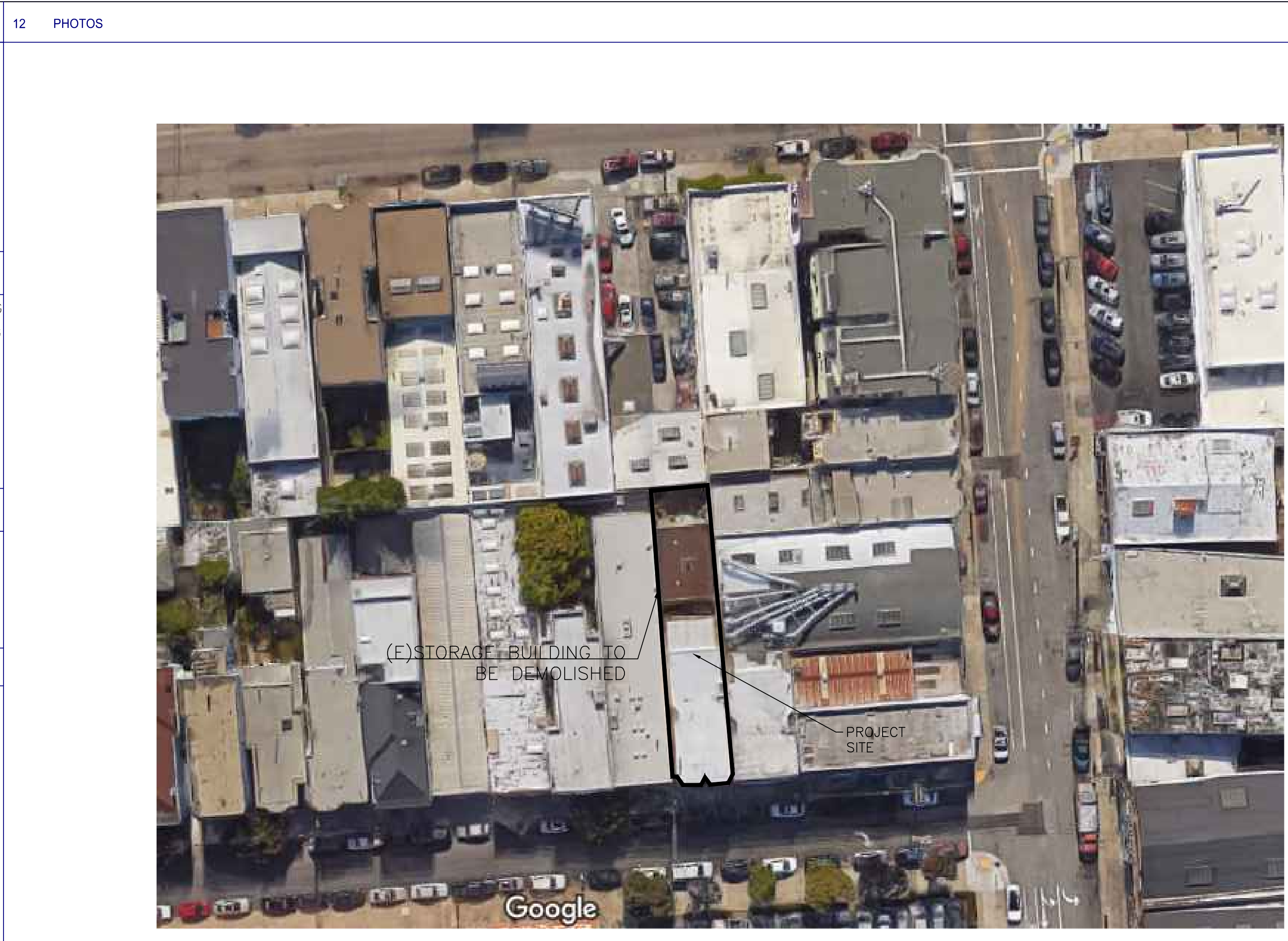
10. SPECIAL INSPECTION

THE OWNER SHALL RETAIN AN INDEPENDENT TESTING LABORATORY TO PERFORM SPECIAL INSPECTIONS LISTED BELOW AS APPROVED BY THE LOCAL BUILDING DEPARTMENT.

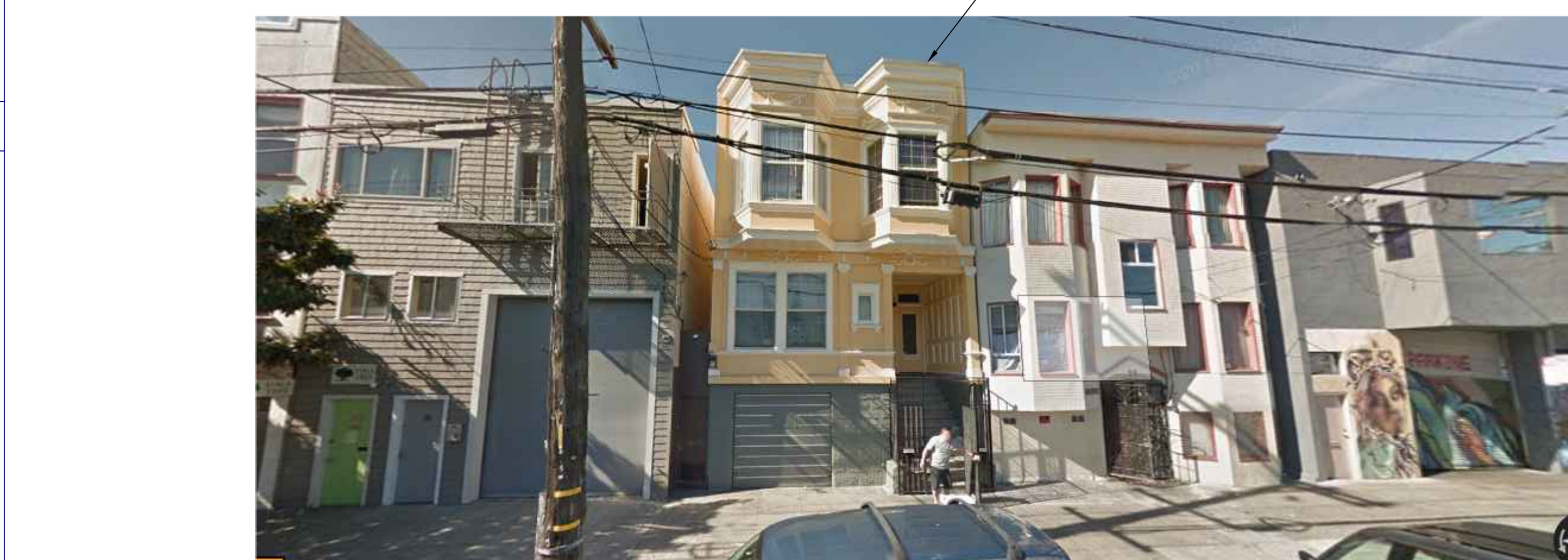
I. INSTALLATION ON ANCHOR BOLTS IN EXISTING CONCRETE IF THE NEED ARISES.

SPECIAL OBSERVATION SHALL BE REQUIRED BY THE ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS

11. DEFERRED SUBMITTALS

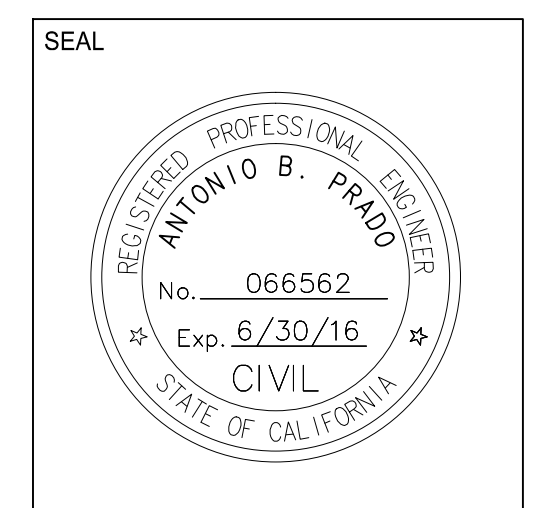


01 SATELLITE PHOTO
01.0 SCALE:



02 FRONT ELEVATION PHOTO
01.0 SCALE:

CONSULTANT



PROJECT TITLE

**NEW 3-STORY
3-UNIT APARTMENT**

ADDRESS

18 SHOTWELL ST.
SAN FRANCISCO CA 94103

OWNER

MUNAWAR HUSSEIN

INFO REVISIONS

#	DATE	DESCRIPTION

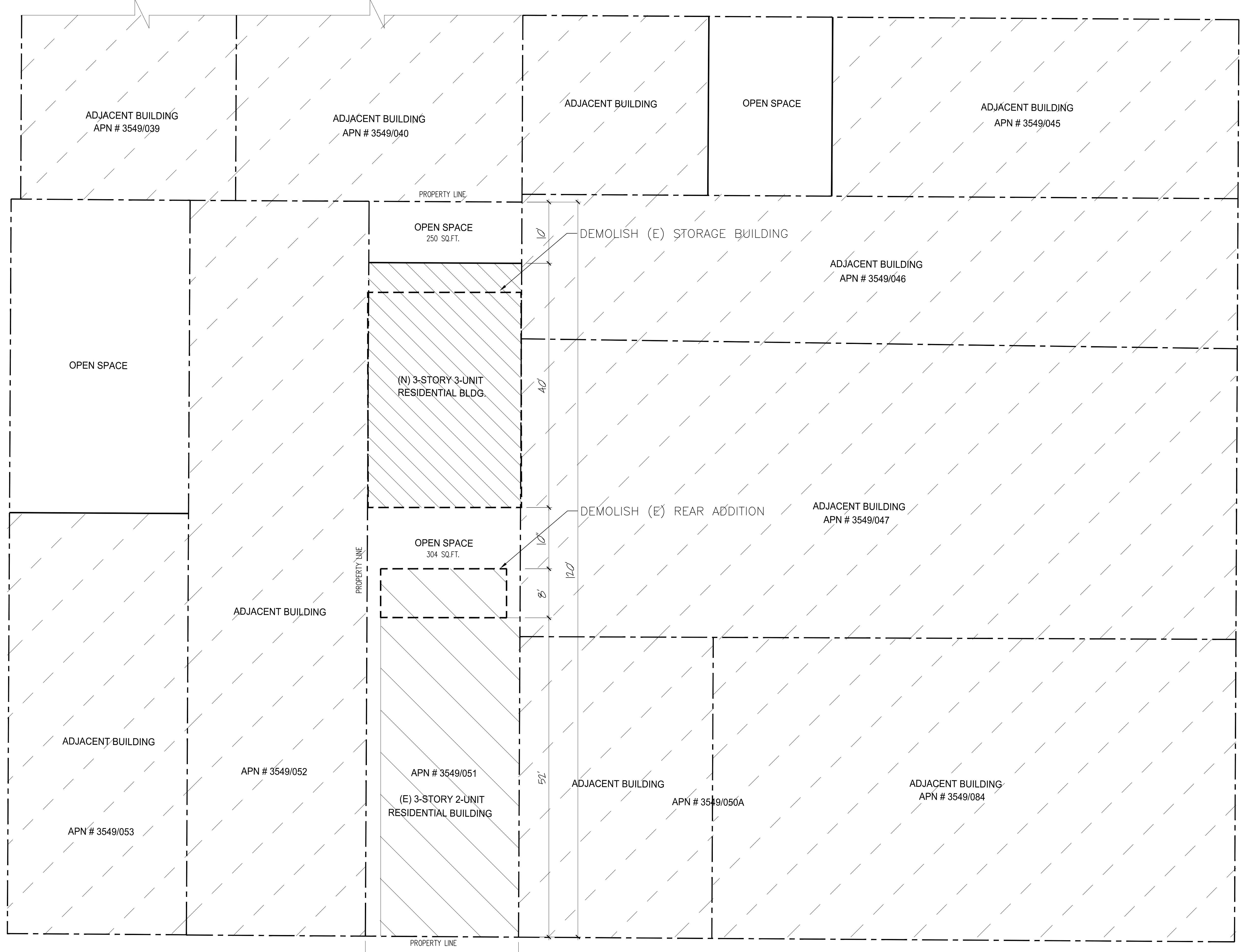
DRAWN BY: ABP
CHECKED BY: ABP
DATE: 1.06.2016

SHEET #

01.0

JOB NUMBER: 13032

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE ENGINEER MUST BE NOTIFIED IMMEDIATELY IN WRITING OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. FIELD VERIFY ALL CONDITIONS PRIOR TO LAYING OUT OR INITIATING ASSIGNED WORK. SEND TO THE ENGINEER'S OFFICE IMMEDIATELY IN WRITING OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. THE ENGINEER, EXTENDING, RESERVES ITS COMMON LAW, CONTRACT AND OTHER PROPERTY RIGHTS IN THESE DOCUMENTS. THESE DOCUMENTS ARE NOT TO BE REPRODUCED, COPIED, OR LENT IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND WRITTEN CONSENT OF ARCHITECT. IN THE EVENT OF UNAUTHORIZED USE OF THESE DOCUMENTS BY A THIRD PARTY, THE PRADO ENGINEERING FIRM AND ARCHITECT SHALL HOLD THE THIRD PARTY HARMLESS AND AGREE TO REIMBURSE THE ENGINEER FOR SUCH USE IN AN AMOUNT EQUAL TO THE ORIGINAL FEE FOR THE ORIGINAL DOCUMENTS, PLUS LEGAL FEES, COURT COSTS, COLLECTION FEES AND OTHER COSTS.



LEGEND


- ADJACENT PROPERTY (E) BUILDING FOOTPRINTS
- SUBJECT PROPERTY (E) BUILDING FOOTPRINT
- (N) BUILDING FOOTPRINT
- EXTENT OF DEMOLITION

CONSULTANT



PRADO ENGINEERING
 2785 WHITNEY DR.
 FAIRFIELD CA 94533
 TEL. (415) 889-0878

SEAL



PROJECT TITLE

**NEW 3-STORY
3-UNIT APARTMENT**

ADDRESS

18 SHOTWELL ST.
SAN FRANCISCO CA 94103

OWNER

MUNAWAR HUSSEIN

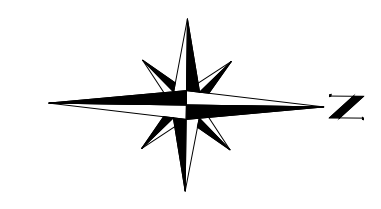
INFO

REVISIONS		
#	DATE	DESCRIPTION

DRAWN BY: ABP
 CHECKED BY: ABP
 DATE: 1.06.2016

SHOTWELL ST.

01 SITE PLAN
 01.1 SCALE: 1/8"=1'-0"



14TH ST.

PHASE: 00% APPROVED BY OWNER

SHEET #

02.0

JOB NUMBER: 13032

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL PREVAIL OVER SAID DIMENSIONS CONTAINED ON THE DRAWINGS. THE ENGINEER SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. FIELD MEASUREMENTS SHALL BE TAKEN IMMEDIATELY UPON THE START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD MEASUREMENTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING.

ELEVATION NOTES:

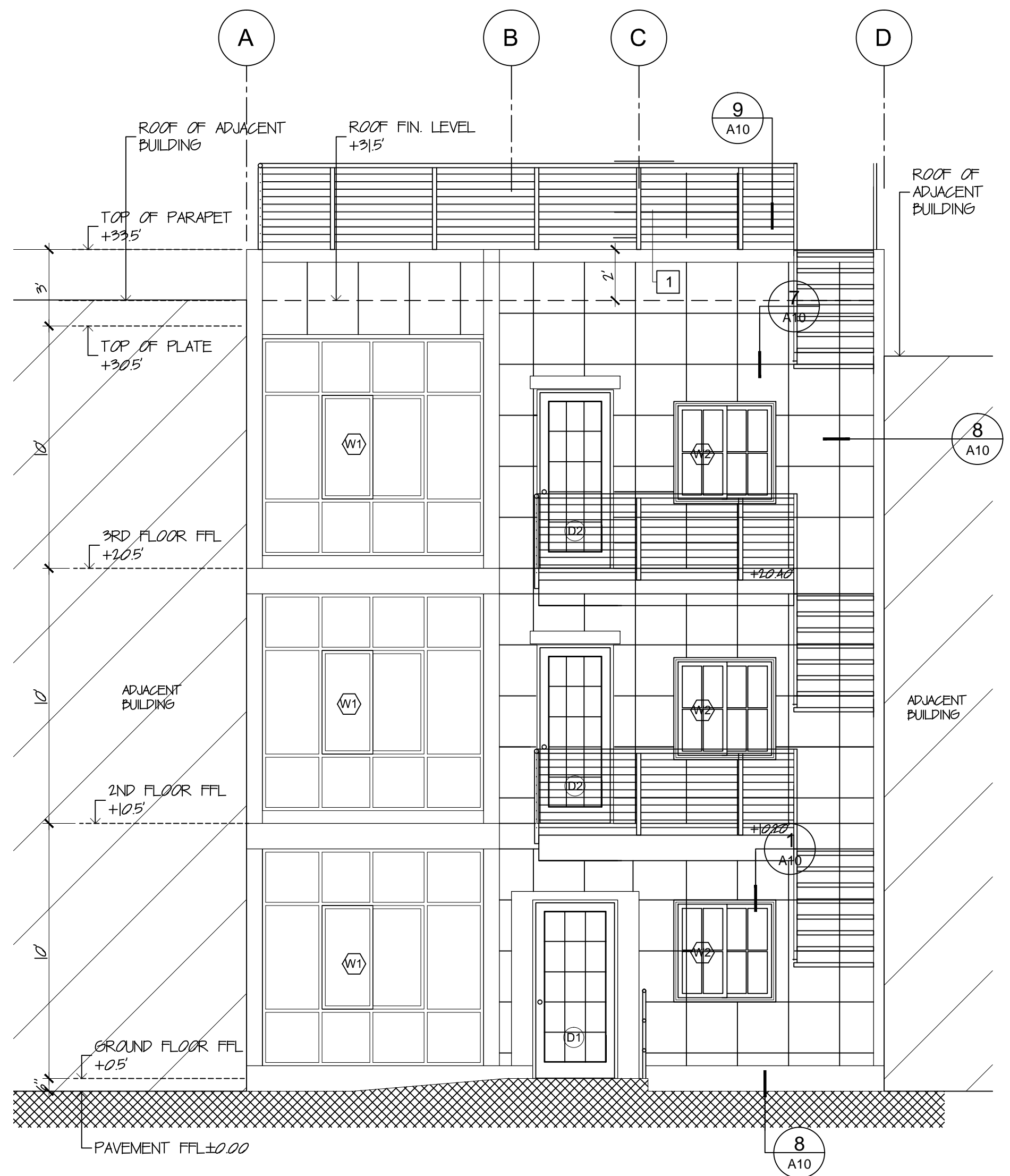
- 1 24" X 24" ALUMINUM CLADDING BY "NORTHCLAD" OR EQUIVALENT.
- 2 6" THICK ONE HR. FIRE RATED WALL.
- 3 RAMP GUARD RAIL 1 1/8" GALV. STEEL POWDER COATED FINISH.
- 4 STAINLESS STEEL HAND RAIL AND CABLE RAILING SYSTEM.
- 5 STEEL STAIRCASE STRINGER AND STEPS POWDER COATED FINISH.
- 6 16" X 24" DIAMOND PATTERN GLASS BLOCK WINDOW.
- 7 16" X 16" NAILUP ICE PATTERN SOLID GLASS BLOCK WINDOW.

LEGEND & SYMBOLS:

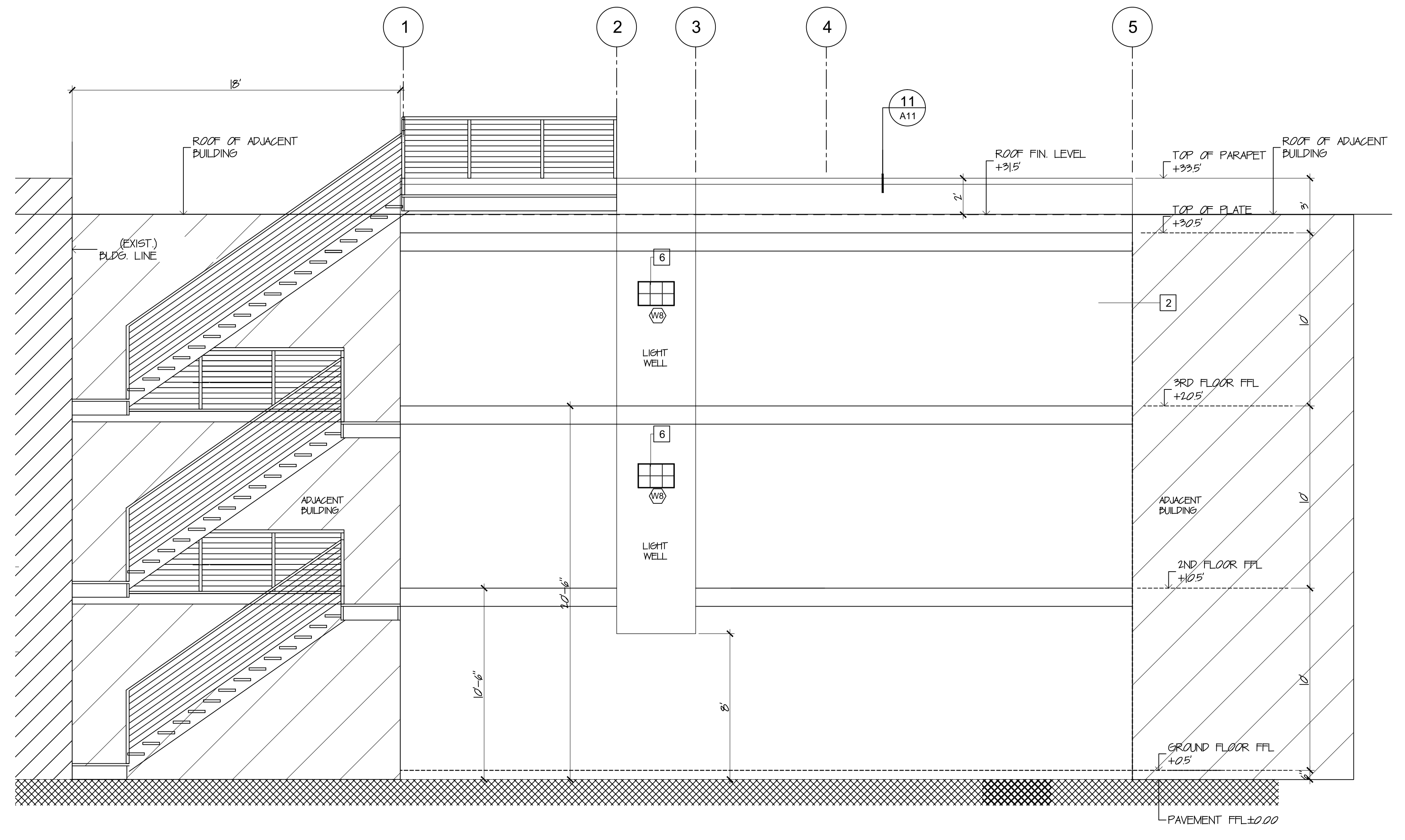
- (W) WINDOW TAG NUMBER (SEE WINDOW SCHEDULE)
- (D) DOOR TAG NUMBER (SEE DOOR SCHEDULE)
- 2 INDICATES ELEVATION KEYNOTE. REFER TO NUMBERED ITEMS LISTED ON THIS SHEET.

NOTES:

- 1 ALUMINUM CLADDING 24" X 24" & 75" W X L (RAINSCREEN SIDING ADVANTAGELUMBER.COM)
- 2 ANY CHANGES TO THE SHAPE, SIZE AND DIVISIONS OF WINDOWS & DOORS MUST BE REVIEWED & APPROVED BY DESIGNER.
- 3 THE MUNTIN BARS FOR ALL THE DOOR AND WINDOW BREAK-UPS SHALL BE PROVIDED WITH A MINIMUM OF 1-1/4".
- 4 RIDGE ELEVATIONS ARE TAKEN AT THE TOP OF FINISH MATERIAL (E.G. ROOF TILES).
- 5 ALL PLUMBING & EQUIPMENT VENTS MUST BE CONSOLIDATED & LOCATED IN AREAS THAT MINIMIZE THEIR VISIBILITY. VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE & SATISFY THE REQUIREMENTS OF THE DESIGN GUIDELINES.
- 6 ROOFING SHALL BE FIRE-STOPPED AT EAVE ENDS TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER THE ROOFING MATERIALS.
- 7 CHIMNEYS SHALL EXTEND AT LEAST 2 FEET ABOVE ROOF LEVEL WITHIN 10 FEET OF CHIMNEY, AND NOT LESS THAN 3 FEET FROM FRONT WHERE CHIMNEY PASSES THROUGH ROOF (CRC R1029.3.1)
- 8 EAVES & SOFFITS SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NON-COMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.
- 9 EXTERIOR WALLS SHALL 1 HOUR FIRE RATED.
- 10 STAIRWAYS SHALL BE WATERPROOFED. PROVIDE WITH RUBBER NON-SLIP TREAD.
- 11 WINDOWS SHALL BE MULTI-GLAZED WITH MINIMUM ONE TEMPERED PANE OR 20-MINUTE RATED.
- 12 EXTERIOR DOORS SHALL BE APPROVED NON-COMBUSTIBLE OR MINIMUM OF 1-3/8" SOLID CORE OR 20-MINUTE RATED.
- 13 FIELD CUTTING ENDS, NOTCHES, AND DRILLED HOLES OF PRESERVATIVE TREATED WOOD SHALL BE TREATED IN FIELD IN ACCORDANCE WITH AWPA M4 (CRC R917-11)



1 FRONT ELEVATION
 A1 SCALE : 1/4"=1'-0"



2 RIGHT SIDE ELEVATION
 A1 SCALE : 1/4"=1'-0"

CONSULTANT

PRADO ENGINEERING
 100 Redwood Lane, Palo Alto, CA 94301
 Tel 415-244-1357

PROJECT TITLE
NEW 3 STOREY RESIDENTIAL BUILDING

18 SHOTWELL STREET
 SAN FRANCISCO, CA. 94103

OWNER
MUNAWAR HUSSEIN

INFO REVISIONS		
#	DATE	DESCRIPTION

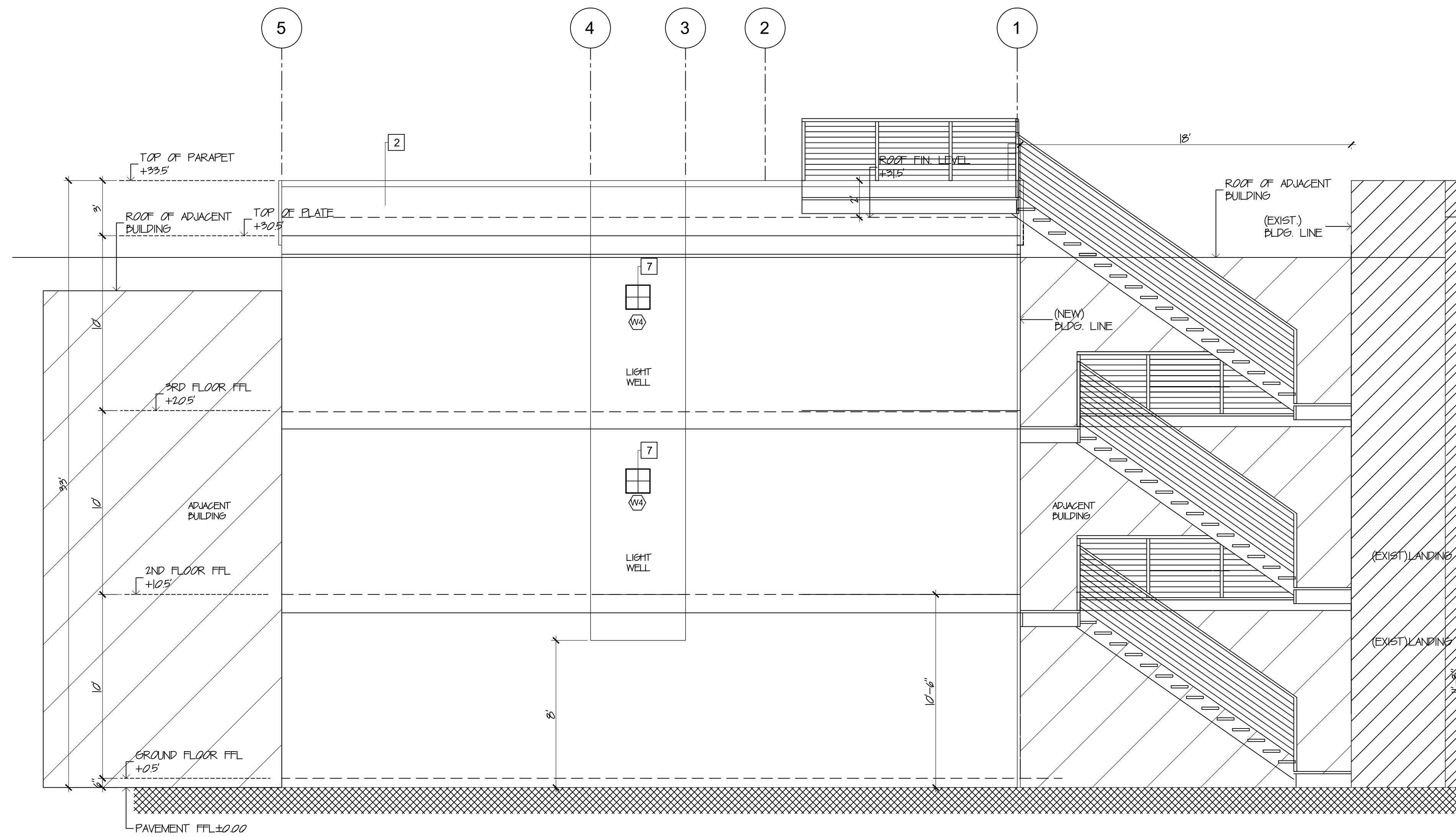
DRAWN BY : NM
 CHECKED BY : AP
 DATE : 10 OCT 15

SHEET #
FRONT & RIGHT ELEVATION

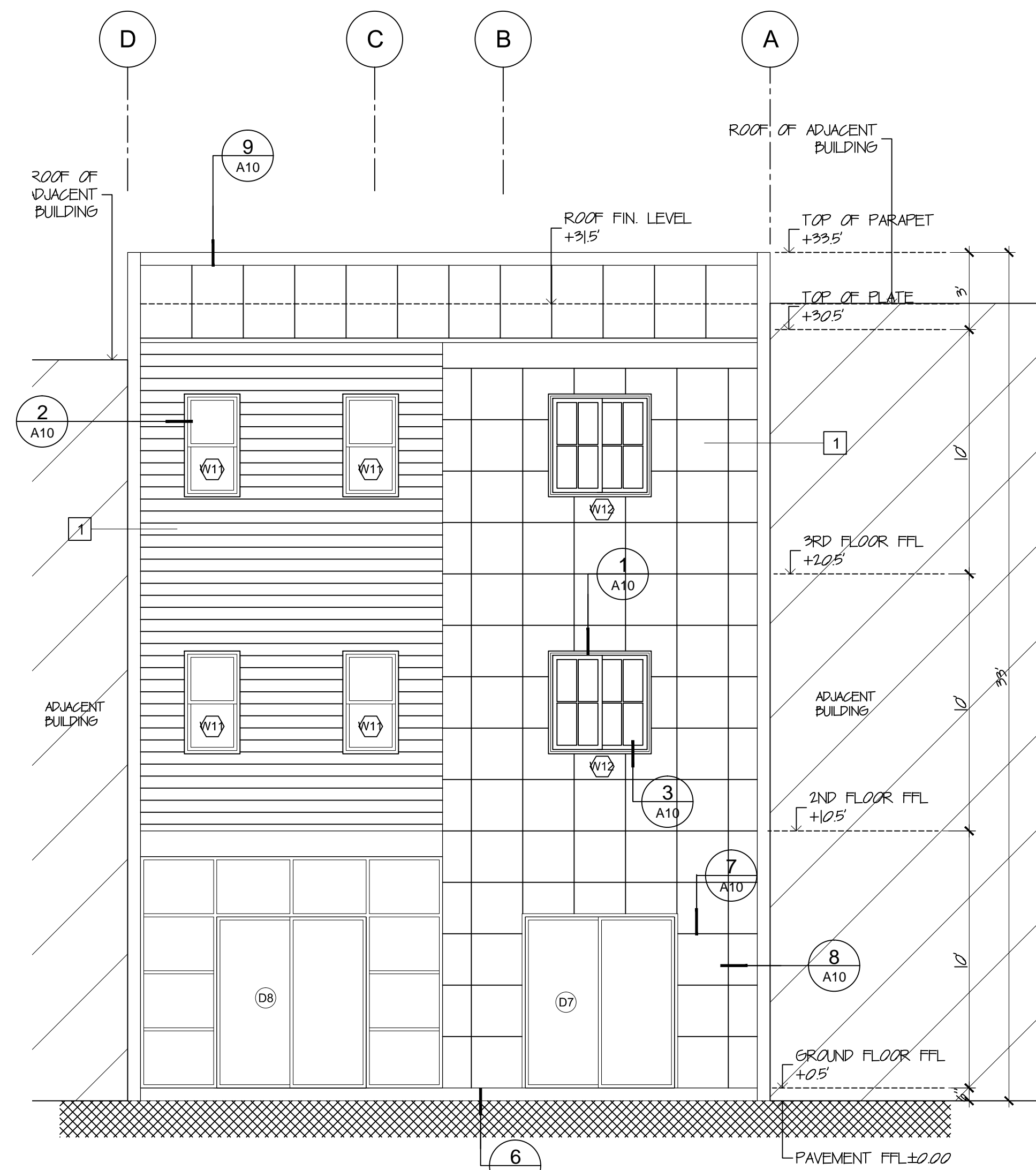
A3

JOB NUMBER : 0000

WRITTEN PERMISSIONS ON THESE PRINTINGS SHALL BE OBTAINED PRIOR TO ANY REPRODUCTION OR ALTERATION. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE ARCHITECT AND/OR OWNER. THE ENGINEER'S RESPONSIBILITY IS NOT TO BE HELD FOR ANY CHANGES TO THE DESIGN OR FOR ANY OTHER REASON. THE ARCHITECT'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND TO PROVIDE ALL NECESSARY INFORMATION TO THE ENGINEER. THE ENGINEER'S RESPONSIBILITY IS TO DESIGN THE BUILDING IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO AND CALIFORNIA BUILDING CODES. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE ALL NECESSARY INFORMATION TO THE ENGINEER. THE ENGINEER'S RESPONSIBILITY IS TO DESIGN THE BUILDING IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO AND CALIFORNIA BUILDING CODES.



3 LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



4 REAR & LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- 1 24" X 24" ALUMINUM CLADDING BY "NORTHCLAD" OR EQUIVALENT.
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LEGEND & SYMBOLS:

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- 3 THE MUNTIN BARS FOR ALL THE DOOR AND WINDOW BREAK-UPS SHALL BE PROVIDED WITH A MINIMUM OF 1/4".
- 4 RIDGE ELEVATIONS ARE TAKEN AT THE TOP OF FINISH MATERIAL (E.G. ROOF TILES).
- 5 ROOF VENTS MUST BE WELL HIDDEN FROM NEIGHBORING VIEWS AND THE STREET. CONCEALED ROOF VENTS ARE PREFERRED.
- 6 ALL PLUMBING & EQUIPMENT VENTS MUST BE CONSOLIDATED & LOCATED IN AREAS THAT MINIMIZE THEIR VISIBILITY. VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE & SATISFY THE REQUIREMENTS OF THE DESIGN GUIDELINES.
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- 9 EAVES & SOFFITS SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NON-COMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.
- 10 EXTERIOR WALLS SHALL 1 HOUR FIRE RATED.
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- 12 WINDOWS SHALL BE MULTI-GLAZED WITH MINIMUM ONE TEMPERED PANE OR 20-MINUTE RATED.
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- 14 FIELD CUTTING ENDS, NOTCHES, AND DRILLED HOLES OF PRESERVATIVE TREATED WOOD SHALL BE TREATED IN FIELD IN ACCORDANCE WITH ANPA M4 CRC R317-11.

CONSULTANT

PRADO ENGINEERING
 100 Fairhorne Lane, Folsom CA 95630
 Tel 415-344-1357

SEAL

PROJECT TITLE

NEW 3 STOREY RESIDENTIAL BUILDING

18 SHOTWELL STREET
 SAN FRANCISCO, CA. 94103

OWNER

MUNAWAR HUSSEIN

INFO REVISIONS

#	DATE	DESCRIPTION

DRAWN BY: NM
 CHECKED BY: AP
 DATE: 10 OCT 15

SHEET #

REAR & LEFT ELEVATION

A4

PHASE: 100% APPROVED BY OWNER:

JOB NUMBER: 0000

SECTION NOTES:

1. PROPERTY WALL SHALL 6" THICK ONE HOUR FIRE RATED.
2. PROVIDE 1/2" MINIMUM CLEARANCE BETWEEN TOP PLATE OF INTERIOR PARTITIONS AND BOTTOM CHORD OF TRUSSES (TO INSURE LOADING WILL BE AS DESIGNED)
3. PROVIDE FIRE BLOCKING / STOPS AT THE FOLLOWING LOCATIONS (PER CRC R302.11):
 - a. IN CONCEALED SPACES (O.D.C. HORIZONTAL, VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - b. AT ALL CONNECTIONS BETWEEN HORIZONTAL & VERTICAL SPACES.
 - c. IN CONCEALED SPACES BETWEEN STAIR & LANDING.
 - d. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, WIRES, CHIMNEYS & FIREPLACES.
4. FIELD CUTTING ENDS, NOTCHES, AND DRILLED HOLES OF PRESERVATIVE TREATED WOOD SHALL BE TREATED IN FIELD IN ACCORDANCE WITH AWPA M4 PER CRC R317-11
5. PROVIDE DRAFT STOPS AT THE FOLLOWING LOCATIONS:
 - a. IN ANY CONCEALED SPACE WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE THE CONCEALED SPACE SHALL NOT EXCEED 1000 SQ. FT. PER CRC R302.12
6. FOR EACH ENCLOSED ATTIC SPACE WITH A MAXIMUM VERTICAL HEIGHT GREATER THAN 30 INCHES, PROVIDE A MINIMUM OF 22x30 INCHES ATTIC ACCESS. (CRC R807.1)

7. ROOF: "DURO LAST" SINGLE PLY ROOF MEMBRANE OR EQUIVALENT FOR LOW SLOPE ROOFING MATERIAL (CERTIFIED ENERGY EFFICIENT REFER TO MANUFACTURER'S SPECIFICATIONS & TECHNICAL INFO)
8. ROOF / CEILING JOIST PER STRUCTURAL
9. R-30 INSULATION @ ALL CEILINGS, TYP.
10. R-19 INSULATION @ ALL 2x8 JOIST RAFTER CONDITIONS
11. R-19 INSULATION IN 2x4 EXTERIOR WALLS & R-19 INSULATION IN 2x6 EXTERIOR WALLS
12. R-19 INSULATION @ ALL INTERIOR WALLS, TYP.
13. R-19 INSULATION @ ALL FLOOR JOIST BAYS, TYP.
14. R-19 INSULATION IN ALL JOIST BAYS OVER OR UNDER UNCONDITIONED SPACES, TYP.
15. FLOOR SHT'G. PER STRUCTURAL PLANS
16. ROOF SHT'G. PER STRUCTURAL PLAN
17. FLOOR FRAMING PER STRUCTURAL PLAN.
18. STAIRCASE FRAMING PER STRUCTURAL PLAN
19. GUARD RAILS AND CABLE RAILING SYSTEM REFER TO MANUFACTURERS SPECIFICATION & TECHNICAL INFO.

CONSULTANT



PRADO ENGINEERING
100 Fillmore Lane, Folsom, CA 95630
Tel 415-244-1357

SEAL

PROJECT TITLE

**NEW 3 STOREY
RESIDENTIAL
BUILDING**

18 SHOTWELL STREET
SAN FRANCISCO, CA. 94103

OWNER

MUNAWAR HUSSEIN

INFO REVISIONS

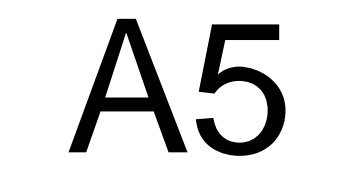
#	DATE	DESCRIPTION

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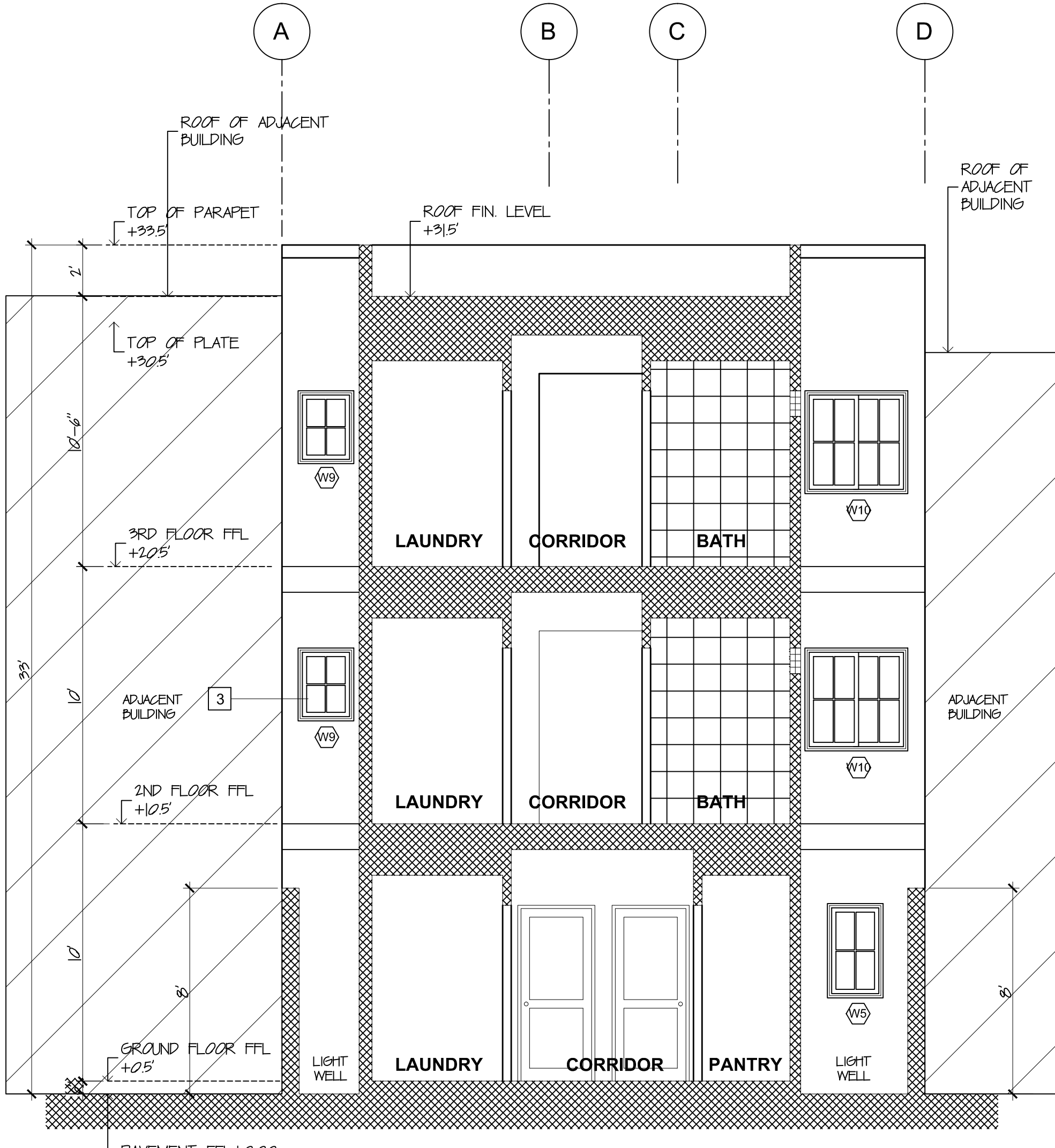
SHEET #

SECTIONS

PHASE: 000% APPROVED BY OWNER:



JOB NUMBER: 0000



X SECTION THRU X-X
SCALE: 1/4" = 1'-0"



Y SECTION THRU Y-Y
SCALE: 1/4" = 1'-0"

WRITER ENGINEERS ON THESE DRAWINGS SHALL BE RESPONSIBLE FOR ALL ENGINEERING AND CONSULTING SERVICES ON THE JOB. THE ENGINEER MUST BE NOTIFIED IMMEDIATELY IN WRITING OF ANY VIOLATION FROM THE PROFESSIONAL AND CONSULTING ACT OR ANY OTHER VIOLATION FROM THE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS. THE ENGINEER'S LIABILITY SHALL NOT BE LIMITED BY THE EXISTENCE OF THESE DRAWINGS. THE ENGINEER'S LIABILITY SHALL NOT BE LIMITED BY THE EXISTENCE OF THESE DRAWINGS. THE ENGINEER'S LIABILITY SHALL NOT BE LIMITED BY THE EXISTENCE OF THESE DRAWINGS. THE ENGINEER'S LIABILITY SHALL NOT BE LIMITED BY THE EXISTENCE OF THESE DRAWINGS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. FIELD VERIFY ALL DIMENSIONS PRIOR TO LAYING OUT OR FABRICATING ASSUMED WORK. PRIOR TO THE ENGINEER'S REVIEW, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWINGS AND DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED OR UNDER THE SPECIAL CONTRACTUAL AGREEMENT BETWEEN THE ENGINEER AND CLIENT. THE ENGINEER, EXTENSION, RESERVES TO HER/HIS/ITSELF ALL RIGHTS IN ANY FORM OR MANNER WHATSOEVER, AND WILL NOT BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND WRITTEN CONSENT OF ARCHITECT. IN THE EVENT OF UNAUTHORIZED USE OF THESE DOCUMENTS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE PRADO ENGINEER HARMLESS AND AGREE TO REIMBURSE THE ENGINEER FOR SUCH USE IN AN AMOUNT EQUAL TO THE ORIGINAL FEE FOR THE ORIGINAL DOCUMENTS, PLUS LEGAL FEES, COURT COSTS, COLLECTION FEES AND OTHER COSTS.

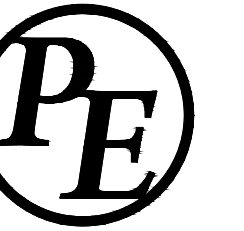


01 (E) FRONT BLDG. WEST ELEVATION
A6 SCALE:1/4":1'-0"



02 (N) FRONT BLDG. WEST ELEVATION
A6 SCALE:1/4":1'-0"

CONSULTANT



PRADO ENGINEERING
2785 WHITNEY DR.
FAIRFIELD CA 94533
TEL. (415) 889-0878

SEAL



PROJECT TITLE

**NEW 3-STORY
3-UNIT APARTMENT**

ADDRESS

18 SHOTWELL ST.
SAN FRANCISCO CA 94103

OWNER

MUNAWAR HUSSEIN

INFO REVISIONS

#	DATE	DESCRIPTION

DRAWN BY: ABP
CHECKED BY: ABP
DATE: 1.06.2016

SHEET #

A6

JOB NUMBER: 13032