



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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San Francisco,
CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, April 26, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place,
Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION | APPLICATION INFORMATION |
|---|---|
| Project Address: 3490 20th Street Cross Street(s): Mission Street Block /Lot No.: 3595/021 Zoning District(s): Mission NCT/ 55-X Area Plan: Mission | Case No.: 2016-005042VAR Building Permit: 2016.0412.4497 Applicant: Augustine Fallay Telephone: (510) 469-5202 E-Mail: afallay@aol.com |

PROJECT DESCRIPTION

The proposal is to convert the 2nd and 3rd floors of an existing mixed use (retail and office) building from office to residential use. The conversion will include expansion of the structure through the addition of one egress stair and the expansion of an existing egress stair including roof stair penthouses. Minor alteration of the façade to create a new egress door will be included in the scope of work.

PER PLANNING CODE SECTION 134 the subject property is required to maintain a rear yard of 23.75. The existing structure is constructed with full lot coverage. The required rear yard area of 712.5 square feet will be met through the provision of a roof deck of 734.5 square feet and is requesting a modification pursuant to Section 134(e).

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department’s website at: <http://notice.sfplanning.org/2016-005042VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department’s website or in other public documents

Planner: **Kimberly Durandet** Telephone: **(415) 575-9108** E-Mail: kimberly.durandet@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

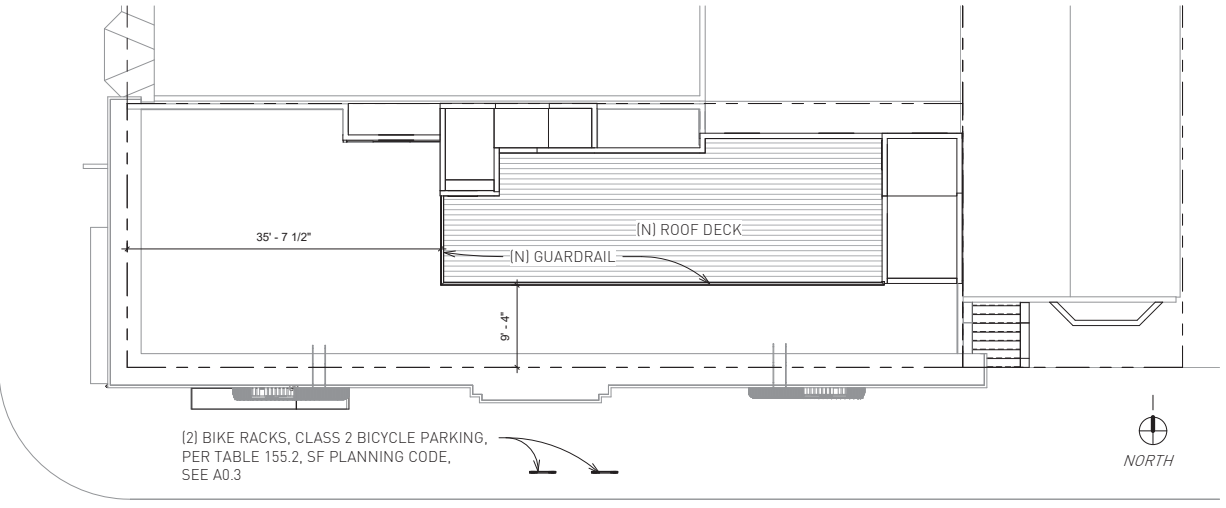
An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

GENERAL NOTES

1. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF THE BUILDING AND SITE, NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING SITE/BUILDING CONDITIONS AND MAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICING. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
3. THE GENERAL CONTRACTOR SHALL BEAR RESPONSIBILITY FOR THE COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, CIVIL, LANDSCAPE, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERS ARE PLACED AND/OR WORK IS INSTALLED. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.
4. THE GENERAL CONTRACTOR SHALL REPORT, IN WRITING, ANY AND ALL ERRORS, OMISSIONS, INCOMPLETE INFORMATION, OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS TO THE OWNER AND ARCHITECT BEFORE PROCEEDING WITH THE WORK.
5. DRAWING INFORMATION IS NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL GOVERN.
6. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
7. THE GENERAL CONTRACTOR SHALL HOLD RESPONSIBILITY FOR APPLYING FOR, AND OBTAINING, ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
8. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SUFFICIENT BACKING/BLOCKING FOR ALL WALL-MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO THE WALLS.
9. INSTALL ALL FIXTURES, EQUIPMENT, and MATERIALS per MANUFACTURER'S RECOMMENDATIONS and the REQUIREMENTS of the CODES. ALL APPLIANCES, FIXTURES, and EQUIPMENT ASSOCIATED with PLUMBING, ELECTRICAL, and MECHANICAL SYSTEMS SHALL BE LISTED by a NATIONALLY RECOGNIZED and APPROVED AGENCY.
10. PROVIDE FIRE-BLOCKING and DRAFTSTOPS at ALL CONCEALED DRAFT OPENINGS (VERTICAL and HORIZONTAL) as per 2007 CBC SEC 717.
11. MECHANICAL, PLUMBING, ELECTRICAL, and PENETRATIONS OF FLOOR, WALLS, CEILINGS SHALL BE SEALED AIRTIGHT w/ ACOUSTICAL SEALANT AND FIRESAFING AS REQ'D.
12. CONTRACTOR SHALL INSURE THAT GUIDELINES SET FORTH in the DOCUMENTS ARE MAINTAINED DURING CONSTRUCTION, INSTALLATION, and FINISHING of ALL ASPECTS of THIS PROJECT.
13. PROVIDE I.C.B.O. EVALUATION SERVICES INC. REPORT ON TEST DATA FOR ALL SKYLIGHTS.
14. PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS, INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18 INCHES OF A WALKING SURFACE. GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH SECTION 2406.4.
15. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER CBC 2406.2
16. ALL SMOKE DETECTORS TO BE HARD WIRED.
17. ALL ASSEMBLIES SHALL BE of APPROVED CONSTRUCTION.
18. SPECIAL INSPECTION or STRUCTURAL OBSERVATION IS NOT a SUBSTITUTE for INSPECTION by the BUILDING OFFICIAL or BUILDING INSPECTOR. SPECIALLY INSPECTED WORK THAT IS INSTALLED or COVERED WITHOUT the APPROVAL of the BUILDING OFFICIAL and the SPECIAL INSPECTOR and DESIGN ENGINEER IS SUBJECT to REMOVAL or EXPOSURE.
19. STRUCTURAL OBSERVATION SHALL BE REQUIRED for STRUCTURAL COMPLIANCE of the APPROVED PLANS per CBC Sec. 1702.
20. ENGINEER MUST NOTE ON JOB CARD, IN INSPECTION NOTES SECTION, THAT STRUCTURAL OBSERVATION HAS BEEN PERFORMED and STRUCTURE IS IN COMPLIANCE to the APPROVED PLANS PRIOR to BUILDING INSPECTION by SAN FRANCISCO BUILDING INSPECTOR.
21. PLACE and SECURE ALL ANCHOR BOLTS and OTHER ITEMS to BE CAST IN CONCRETE for FOUNDATION INSPECTION. WET SETTING ANCHOR BOLTS or REINFORCING AFTER PLACEMENT of CONCRETE IS NOT ALLOWED.
22. SPECIAL INSPECTION IS REQUIRED for WELDING and EPOXY SET ANCHOR BOLTS.
23. GAS LINE SCHEMATIC DIAGRAM, CALCULATIONS, and PIPE SIZING MUST BE APPROVED by BUILDING OFFICIAL PRIOR to REQUESTING PLUMBING INSPECTION.
24. THE PLANNING DEPARTMENT'S NOISE MAPS INDICATE THAT EXISTING AMBIENT NOISE LEVELS AT THE PROJECT SITE MIGHT EXCEED ACCEPTABLE LEVELS. THE PROJECT IS SUBJECT TO THE CALIFORNIA NOISE INSULATION STANDARDS IN TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS.
25. AS PART OF ENVIRONMENTAL REVIEW, THE DEPARTMENT WILL REQUIRE AN ACOUSTICAL ANALYSIS CONDUCTED BY A QUALIFIED CONSULTANT THAT DEMONSTRATES COMPLIANCE WITH TITLE 24 NOISE STANDARDS. NOISE INSULATION FEATURES IDENTIFIED AND RECOMMENDED BY THE ANALYSIS MUST BE INCLUDED IN THE DESIGN.

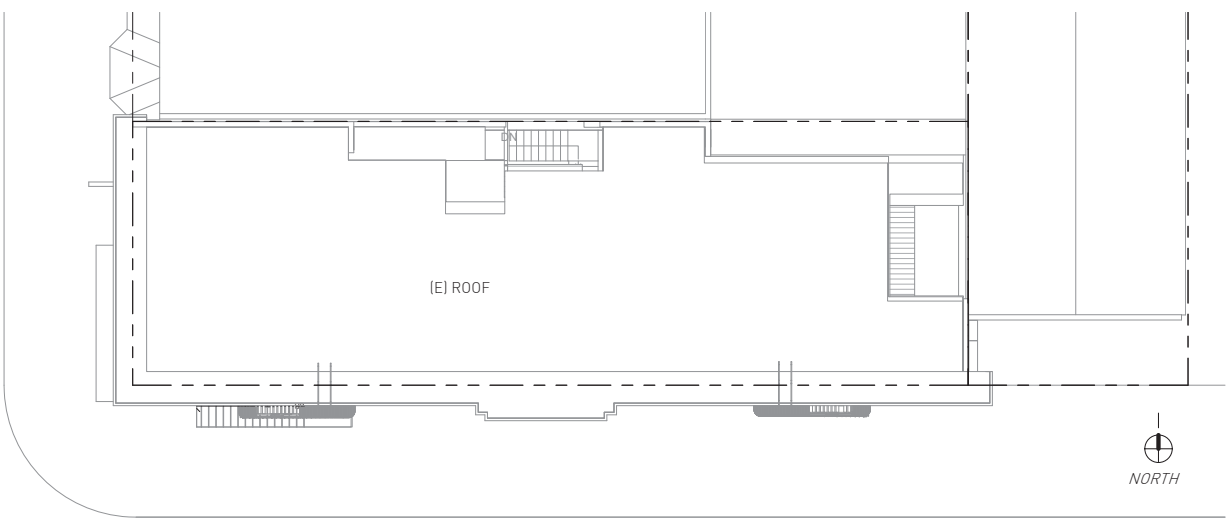
MISSION STREET



20TH STREET

2 PROPOSED PLOT PLAN
1" = 10'-0"

MISSION STREET



20TH STREET

1 EXISTING PLOT PLAN
1" = 10'-0"

CHANGE OF USE: (B TO R-2)

3490 20TH ST
SAN FRANCISCO, CA, 94110

OWNER: SECRET AGENT VENTURES LLC,
3490 20TH STREET, 94110.

PARCEL NO.: 3595021
CONSTRUCTION TYPE: TYPE V
FIRE SPRINKLER: NO
YEAR BUILT: 1900
STORIES: 3
ZONING: RH-3
HEIGHT AND BULK DISTRICT: 55-X
EXISTING OCCUPANCY: B
PROPOSED OCCUPANCY: R-2

TOTAL BUILDING AREA : **8,230** sq ft
Unit 2A : 948.5 sq ft
Unit 2B : 1111.5 sq ft
Unit 3A : 948.5 sq ft
Unit 3B : 1111.5 sq ft
Residential Total Net : 4120 sq ft

SCOPE OF WORK

THIS DESIGN IS FOR APPLICATION FOR CHANGE OF USE FROM OFFICE (4 TENANT SPACES) TO MULTI-FAMILY RESIDENTIAL, VIA 2 UNITS ON THE SECOND AND THIRD FLOORS. PROJECT TO COMPLY WITH CHAPTER 11A OF THE CBC.

- SUMMARY OF ITEMS
- 1ST FLR
 - STAIR PLACEMENT CHANGED
 - 2ND STAIRCASE ADDED
 - SOME PARTITIONS CHANGED
 - 2ND FLR
 - STAIR PLACEMENT CHANGED
 - 2ND STAIRCASE ADDED
 - ADDING 2 RESIDENTIAL UNITS
 - 3RD FLR
 - STAIR PLACEMENT CHANGED
 - 2ND STAIRCASE ADDED
 - ADDING 2 RESIDENTIAL UNITS
 - ROOF
 - 2ND STAIRCASE TO ROOF ADDED
 - ROOF DECK & RAILINGS ADDED

SPRINKLER PERMIT TO BE DEFERRED AFTER SUBMITTAL

APPLICABLE CODES

- 2013 SAN FRANCISCO PLANNING CODE
- 2013 MUNICIPAL CODE
- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 GREEN BUILDING CODE
- 2013 CALIFORNIA ENERGY CODE - EFFECTIVE JULY 1, 2014
- 2013 SAN FRANCISCO BUILDING CODE AMENDMENTS
- 2013 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
- 2013 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
- 2013 SAN FRANCISCO PLUMBING CODE AMENDMENTS
- 2013 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS
- 2013 SAN FRANCISCO HOUSING CODE

SHEET LIST

| Sheet Number | Sheet Name |
|--------------|---------------------|
| A0.0 | SITE PLAN / INFO |
| A0.1 | CBC CODE ANALYSIS |
| A0.3 | BIKE PARKING |
| A1.0 | BASEMENT PLAN |
| A1.1 | GROUND FLOOR |
| A1.2 | SECOND FLOOR PLAN |
| A1.3 | THIRD FLOOR PLAN |
| A1.4 | ROOF PLAN |
| A2.0 | EXISTING ELEVATIONS |
| A2.1 | PROPOSED ELEVATIONS |
| A3.1 | SECTION |
| A4.0 | PHOTOS |

VICINITY MAP



| No. | Description | Date |
|-----|-------------|---------|
| 1 | Planning | 3-25-16 |
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SHEET TITLE
SITE PLAN / INFO

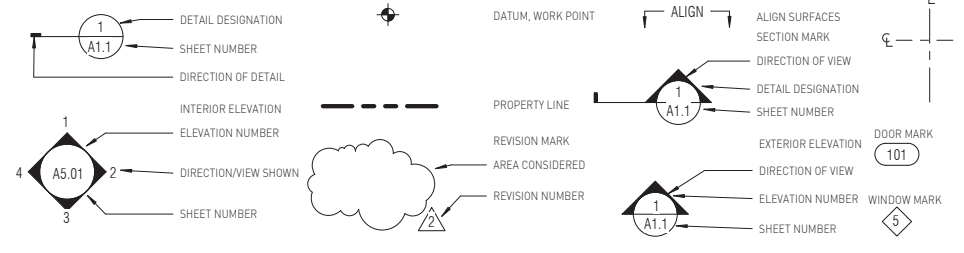
SHEET NUMBER
A0.0

SCALE As indicated DATE

ABBREVIATIONS

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| ABV ABOVE | ACCS ACCESS | ACDUS ACQUIS | ACH ASPHALT CONCRETE PAVING | ACS ACCESS PANEL | ACT ACCESSIBLE TILE | ADA AMERICANS WITH DISABILITIES ACT | ADJ ADJUSTABLE | AFR ABOVE FINISHED FLOOR | AGOR AGGRADATE | AIE AIR INFILTRATION BARRIER | ALT ALTERNATE | ALUM ALUMINUM | APPROX APPROXIMATE | ARCH ARCHITECTURAL | ASPH ASPHALT | AUTO AUTOMATIC | BO BOARD | BTM BT MINIMUM | BLDG BUILDING | BLNG LOADING | BM BEAM | BO BOTTOM OF | BO BOTTOM | BRG BEARING | BSMT BASEMENT | BUR BUILT UP ROOFING | CAB CABINET | CB CATCH BASIN | CEM CEMENT | CER CERAMIC | CP CAST-IN-PLACE | CJ CONTROL JOIN | CLT CEILING | CLK CALCULATING | CLO CLOSET | CLR CLEAR | CMU CONCRETE MASONRY UNIT | CNT COUNTER | COL COLUMN | CONC CONCRETE | CONP CONSTRUCTION | CONSTR CONSTRUCTION | CONT CONTINUOUS | CONTR CONTRACTOR | CORR CORROSION | CPT CARPET-CARRIET | CRS COLLECTED ROLLED STEEL | CSK COUNTERSINK | CT CERAMIC TILE | CTR CENTER | CU FT CUBIC FEET | GA GAUGE | GC GALVANIZED | GLV GENERAL CONTRACTOR | GLASS GLASS | GMB GRADIENT | GWB GYPSUM WALL BOARD | GYP GYPSUM | HB HOSE BIBB | BC HOLLOW CORE | DS DOWNSPOUT | OSP DRY STANDOFF | DTG DRAIN TILE | DRW DRAWING | E EAST | EA EACH | EJ EXPANSION JOIN | ELEC ELECTRICAL | ELEV ELEVATION | ENCL ENCLOSURE | EQ EQUAL | EQIP EQUIPMENT | EST ESTIMATE | ICH INSIDE DIAMETER | EXH EXHAUST | EXH EXHAUST FAN | EXST EXISTING | EXP EXPANDED EXPANSION | EXPBT EXPANSION BOLT | EXPDP EXPANDED DRIP | EXT EXTERIOR | JV JUNCTION BOX | JF JOINT FILLER | JT JOINT | KB KNOCKOUT | KD KITCHEN | FA FIRE ALARM | FB FLAT BAR | FD FLOOR DRAIN | FE FIRE EXTINGUISHER | FECE FIRE EXTINGUISHER CABINET | FFL FINISH FLOOR ELEVATION | FI FIRE RESISTANT | FHC FIRE HOSE CABINET | FIN FISH FLOOR | FF FINISH FLOOR | FL FLASH | FLR FLOOR FLOORING | FLU FLUORESCENT | LT LIGHT | LD LOW POINT | LP LIGHT | MAS MASONRY | MATL MATERIAL | MAX MAXIMUM | MB MACHINE BOLT | MC MEDICINE CABINET | MDF MEDIUM DENSITY FIBERBOARD | MDC MEDIUM DENSITY OVERLAY | MEL MECHANICAL | MEMB MEMBRANE | MFT MANUFACTURER | MES MESSAGING | MIR MIRROR | MISC MISCELLANEOUS | MO MASONRY OPENING | MTO MOUNTED | MT METAL | MUL MULLION | R RIBBER | RA RETURN AIR | RAD RADIUS | RD ROOF DRAIN | REF REFERENCE | REFR REFRIGERATOR | MECH MECHANICAL | REIN REINFORCE | REIN REINFORCER | REIN REINFORCE | RESL RESILIENT | REV REVISION REVISIONS, REVISED | RIGHT HAND | RH ROOM | RUSH OPENING | RW RAIN WATER LEADER | S SOUTH | SAF SELF-ADHERED FLASHING | SAM SOLID CORE | SCHED SCHEDULE | SDC SMOKE DETECTOR | SECTION SECTION | SG SAFETY GLASS | SHV SHELVING | SHR SHOWER | SHT SHEET | SHT MET SHEET METAL | SHT SHEATHING | SM SLAB ON GRADE | SOC SQUARE (FEET) | SO IN SQUARE (INCHES) | SST STANDARD STEEL | STD STEEL | STOR STORAGE | STR STRUCTURAL | SUSP SUSPENDED | SYM SYMMETRICAL | TAG TONGUE AND GROOVE | TEL TELEPHONE | TER TERRAZZO | TO TEMPERED GLASS | THK THICK | TOB TOP OF BEAM | TOC TOP OF CONCRETE | TOF TOP OF FRAME | TOP OF FRAME | TOM TOP OF MASONRY | TOP OF PARAPET | TOPO TOPOGRAPHY | TOS TOP OF SLAB | TS TOP OF STEEL | TOW TOP OF WALL | TUB TUB STEEL | TSAT THERMOSTAT | TYP TYPICAL | UNO UNLESS NOTED OTHERWISE | UNO UNLESS NOTED OTHERWISE | SV VINYL BASE | VEN VENER | VERT VERTICAL | VESTR VESTIBULE | VG VERTICAL GRAN | VERIF VERIFY IN FIELD | VT VINYL TILE | W WEST | WD WITHOUT | WC WATER CLOSET | WD WOOD | WDW WINDOW | WF WIDE FLANGE | WFB WIDE FLANGE BEAM | WF WIRE CLASE | WG WATER HEATER | WL WATER LINE | WLD WELDED | WP WATERPROOF | WPM WATERPROOF MEMBRANE | WR WATER RESISTANT | WSC WANGSCOTT | WSG WIRE SAFETY GLASS | WTR WATER | WWF WELDED WIRE FABRIC | WWM WELDED WIRE MESH | WT WEIGHT |
|-----------|-------------|--------------|-----------------------------|------------------|---------------------|-------------------------------------|----------------|--------------------------|----------------|------------------------------|---------------|---------------|--------------------|--------------------|--------------|----------------|----------|----------------|---------------|--------------|---------|--------------|-----------|-------------|---------------|----------------------|-------------|----------------|------------|-------------|------------------|-----------------|-------------|-----------------|------------|-----------|---------------------------|-------------|------------|---------------|-------------------|---------------------|-----------------|------------------|----------------|--------------------|----------------------------|-----------------|-----------------|------------|------------------|----------|---------------|------------------------|-------------|--------------|-----------------------|------------|--------------|----------------|--------------|------------------|----------------|-------------|--------|---------|-------------------|-----------------|----------------|----------------|----------|----------------|--------------|---------------------|-------------|-----------------|---------------|------------------------|----------------------|---------------------|--------------|-----------------|-----------------|----------|-------------|------------|---------------|-------------|----------------|----------------------|--------------------------------|----------------------------|-------------------|-----------------------|----------------|-----------------|----------|--------------------|-----------------|----------|--------------|----------|-------------|---------------|-------------|-----------------|---------------------|-------------------------------|----------------------------|----------------|---------------|------------------|---------------|------------|--------------------|--------------------|-------------|----------|-------------|----------|---------------|------------|---------------|---------------|-------------------|-----------------|----------------|-----------------|----------------|----------------|---------------------------------|------------|---------|--------------|----------------------|---------|---------------------------|----------------|----------------|--------------------|-----------------|-----------------|--------------|------------|-----------|---------------------|---------------|------------------|-------------------|-----------------------|--------------------|-----------|--------------|----------------|----------------|-----------------|-----------------------|---------------|--------------|-------------------|-----------|-----------------|---------------------|------------------|--------------|--------------------|----------------|-----------------|-----------------|-----------------|-----------------|---------------|-----------------|-------------|----------------------------|----------------------------|---------------|-----------|---------------|-----------------|------------------|-----------------------|---------------|--------|------------|-----------------|---------|------------|----------------|----------------------|---------------|-----------------|---------------|------------|---------------|-------------------------|--------------------|---------------|-----------------------|-----------|------------------------|----------------------|-----------|

SYMBOLS



LEGEND:

- CORRIDOR WALL (1 HR)
- STAIR WALL (2 HR)
- PARTY WALL (1 HR)
- EXISTING WALL TO
- DEMOLISHED WALL

SCOPE:

- RENOVATE BATHROOM FOR ACCESSIBILITY COMPLIANCE
- RENOVATE STAIR FOR EGRESS COMPLIANCE
- NEW BIKE PARKING ROOM
- NEW ENTRY DOOR
- NEW STAIR AND ENTRY DOOR
- DEMOLISH EXISTING ELEVATOR

DOOR SCHEDULE - GROUND FLOOR - FRONT EXISTING

| MARK | HEIGHT | WIDTH | COMMENTS |
|------|--------|--------|----------|
| 11-1 | 6'-11" | 2'-10" | |
| 11-2 | 6'-8" | 3'-0" | |
| 11-3 | 7'-0" | 2'-8" | |
| 12-1 | 6'-8" | 3'-0" | |
| 12-2 | 6'-8" | 3'-0" | |
| 12-3 | 6'-8" | 2'-8" | |

WINDOW SCHEDULE - GROUND LEVEL - EXISTING

| Type | Mark | COUNT | WIDTH | HEIGHT | AREA | COMMENTS |
|------|------|-------|--------|--------|-------|----------|
| G-A | | 1 | 4'-0" | 4'-0" | 16 SF | |
| G-B | | 1 | 3'-0" | 4'-0" | 12 SF | |
| 3J | | 2 | 1'-0" | 7'-0" | 7 SF | |
| 3I | | 1 | 1'-0" | 8'-0" | 8 SF | |
| G-C | | 1 | 9'-6" | 6'-0" | 57 SF | |
| G-D | | 2 | 12'-0" | 3'-0" | 36 SF | |
| G-E | | 1 | 8'-0" | 3'-0" | 24 SF | |

Grand total: 9

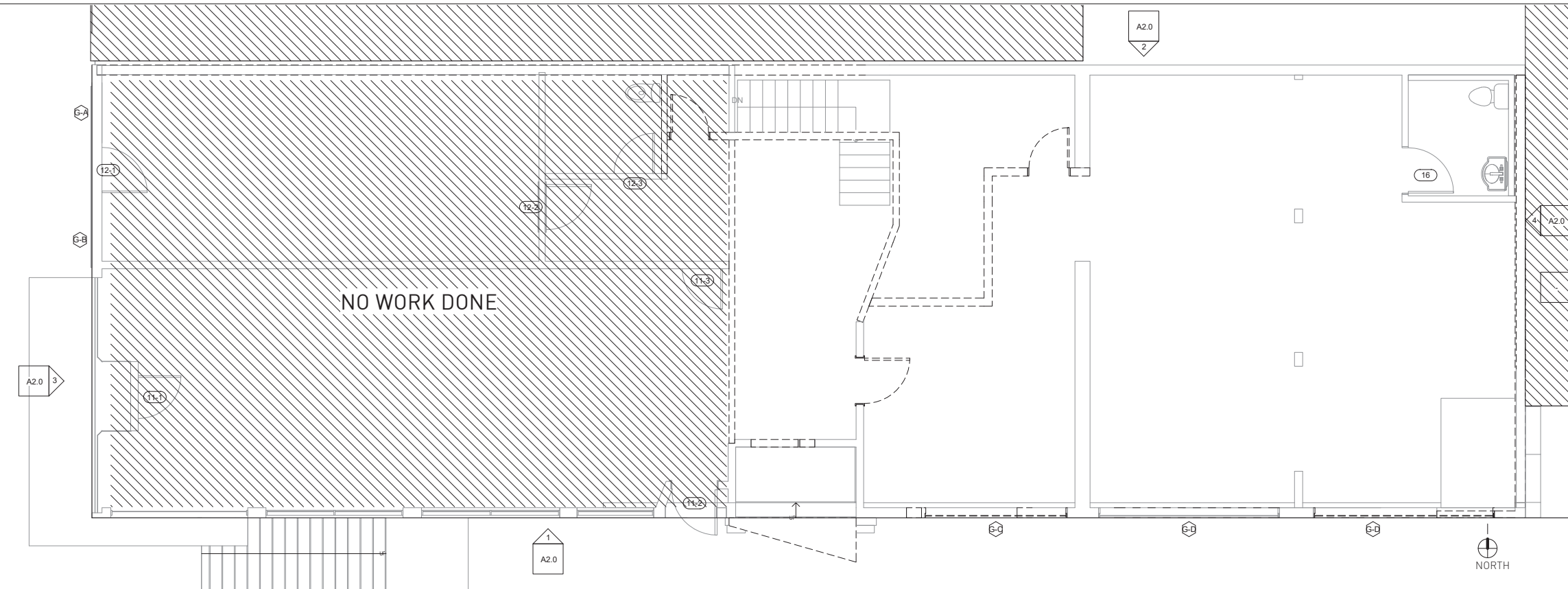
WINDOW SCHEDULE - GROUND LEVEL - PROPOSED

| Type | Mark | NEW OF EXISTING | COUNT | WIDTH | HEIGHT | AREA | COMMENTS |
|------|------|-----------------|-------|--------|--------|-------|----------|
| G-A | | | 1 | 4'-0" | 4'-0" | 16 SF | |
| G-B | | | 1 | 3'-0" | 4'-0" | 12 SF | |
| 3J | | | 2 | 1'-0" | 7'-0" | 7 SF | |
| 3I | | | 1 | 1'-0" | 8'-0" | 8 SF | |
| G-C | | | 1 | 9'-6" | 6'-0" | 57 SF | |
| G-D | | | 2 | 12'-0" | 3'-0" | 36 SF | |
| G-E | | | 1 | 8'-0" | 3'-0" | 24 SF | |

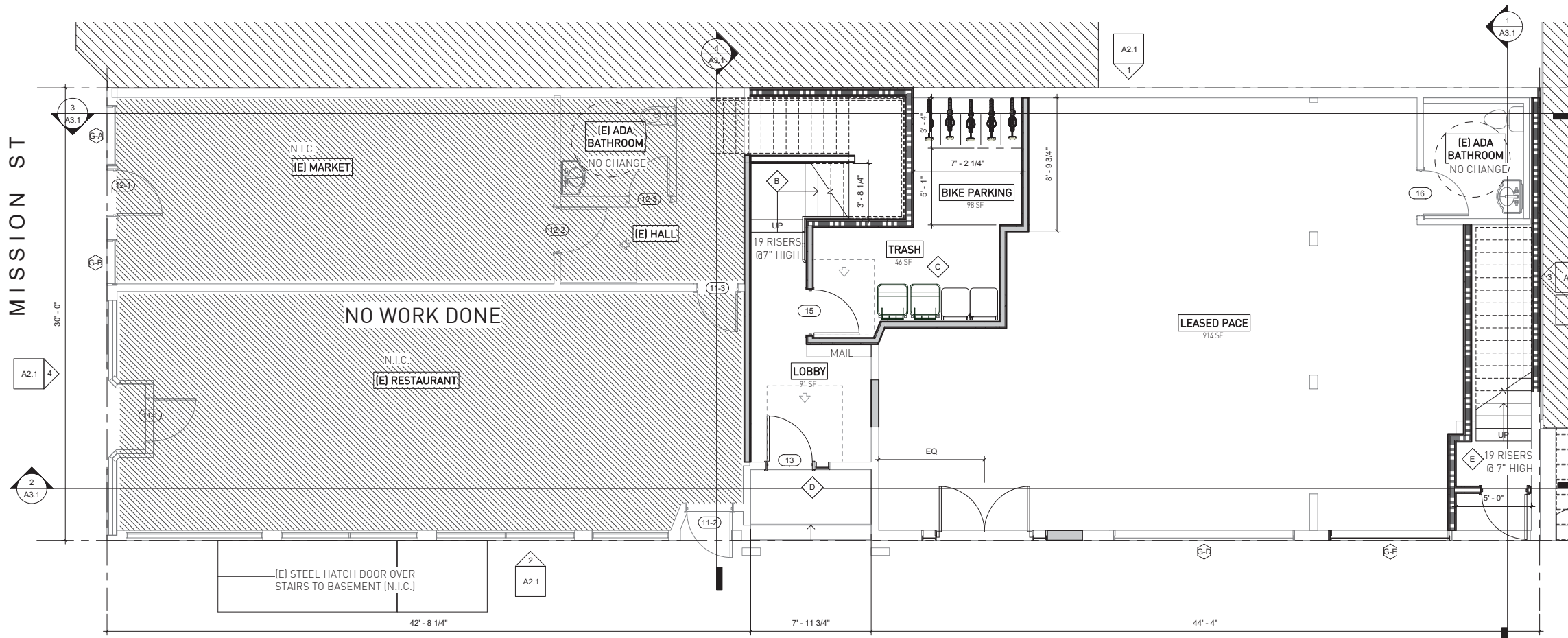
Grand total: 9

DOOR SCHEDULE - FIRST FLOOR

| MARK | HEIGHT | WIDTH | E or N | Fire Rating | COMMENTS |
|------|--------|-------|----------|-------------|---------------------------------------|
| 13 | 7'-10" | 3'-0" | NEW | 0 | METAL FRAME ENTRY, FLL LITE, TEMPERED |
| 14 | 6'-8" | 3'-0" | EXISTING | 1 HR | INTERIOR, SOLID WD |
| 15 | 6'-8" | 3'-0" | NEW | 1 HR | INTERIOR, SOLID WD |
| 16 | 7'-0" | 3'-0" | EXISTING | | INTERIOR, HOLLOW CORE |



1 GROUND FLOOR - EXISTING
1/4" = 1'-0"



2 GROUND FLOOR - NEW
1/4" = 1'-0"

(2) BIKE RACKS, CLASS 2 BICYCLE PARKING, PER TABLE 155.2, SF PLANNING CODE, SEE A0.3

SECRET AGENT
VENTURES LLC,
3490 20TH STREET, 94110.

PROJECT

CHANGE OF USE FOR:
3490 20th st
SAN FRANCISCO, CA 94133

| No. | Description | Date |
|-----|-------------|---------|
| 1 | Planning | 3-25-16 |

SHEET TITLE

GROUND FLOOR

SHEET NUMBER

A1.1

SCALE 1/4" = 1'-0" DATE

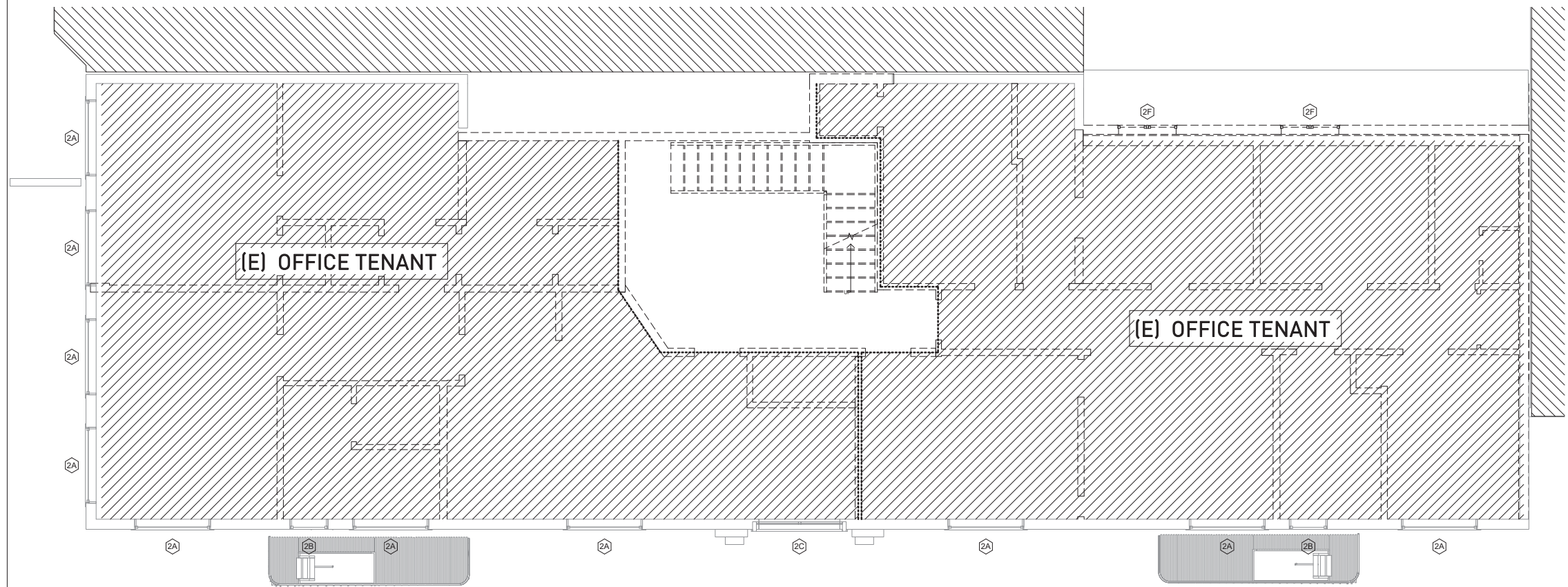
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LEGEND:

- CORRIDOR WALL (1 HR)
- STAIR WALL (2 HR)
- PARTY WALL (1 HR)
- EXISTING WALL TO
- DEMOLISHED WALL

SCOPE:

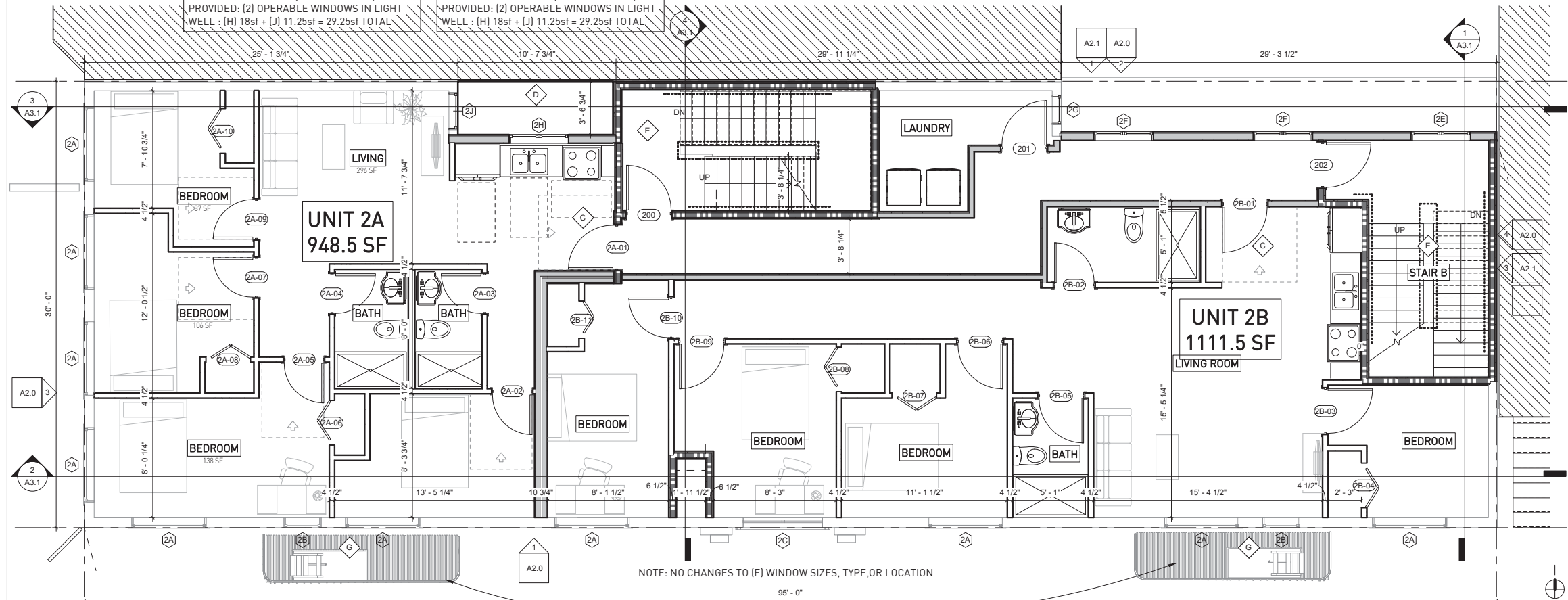
- RENOVATE BATHROOM FOR ACCESSIBILITY COMPLIANCE
- SHAFT FOR FUTURE VENTILATION DUCT
- NEW 4 BEDROOM/ 2 BATH UNIT
- NEW LIGHT WELL, PER CBC SECTION 1206.3
- NEW STAIR
- DEMOLISH EXISTING ELEVATOR
- REMOVE EXISTING FIRE ESCAPE



1 SECOND FLOOR - EXISTING
1/4" = 1'-0"

NOTE: MIN. CLEAR OPENING FOR VENTILATION IN LIVING ROOM:
4% OF 297 = +11.88sf (SECTION 1203.4)
PROVIDED: (2) OPERABLE WINDOWS IN LIGHT WELL : (H) 18sf + (J) 11.25sf = 29.25sf TOTAL

NOTE: MIN. CLEAR OPENING FOR NATURAL DAYLIGHTING IN LIVING ROOM:
8% OF 297 = +23.768 sf (SECTION 1205.2)
PROVIDED: (2) OPERABLE WINDOWS IN LIGHT WELL : (H) 18sf + (J) 11.25sf = 29.25sf TOTAL



2 SECOND FLOOR - NEW
1/4" = 1'-0"

NOTE: NO CHANGES TO (E) WINDOW SIZES, TYPE, OR LOCATION

NO CHANGES TO PROPOSED FIRE ESCAPE

| WINDOW SCHEDULE - SECOND FLOOR | | | | |
|--------------------------------|-------|-------|--------|----------|
| Type Mark | Count | WIDTH | HEIGHT | Comments |
| 2A | 10 | 5'-0" | 7'-0" | |
| 2B | 2 | 2'-6" | 5'-0" | |
| 2C | 1 | 5'-4" | 6'-8" | |
| 2E | 2 | 4'-0" | 2'-6" | |
| 2F | 4 | 4'-0" | 4'-0" | |
| 2G | 1 | 2'-0" | 5'-0" | |
| 2H | 3 | 4'-0" | 5'-0" | |
| 2J | 1 | 2'-6" | 5'-0" | |
| Grand total: 24 | | | | |

| DOOR SCHEDULE - SECOND FLOOR | | | | | |
|------------------------------|--------|-------|-------------|--------|-----------------------|
| MARK | HEIGHT | WIDTH | Fire Rating | E or N | COMMENTS |
| 2A-01 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR SOLID WD |
| 2A-02 | 6'-8" | 2'-8" | | NEW | INTERIOR, HOLLOW CORE |
| 2A-03 | 6'-8" | 2'-8" | | NEW | INTERIOR, HOLLOW CORE |
| 2A-04 | 6'-8" | 2'-8" | | NEW | INTERIOR, HOLLOW CORE |
| 2A-05 | 6'-8" | 2'-8" | | NEW | INTERIOR, HOLLOW CORE |
| 2A-06 | 6'-8" | 3'-0" | | NEW | INTERIOR, HOLLOW CORE |
| 2A-07 | 6'-8" | 2'-8" | | NEW | INTERIOR, HOLLOW CORE |
| 2A-08 | 6'-8" | 3'-0" | | NEW | INTERIOR, HOLLOW CORE |
| 2A-09 | 6'-8" | 2'-8" | | NEW | INTERIOR, HOLLOW CORE |
| 2A-10 | 6'-8" | 3'-0" | | NEW | INTERIOR, HOLLOW CORE |
| 2B-01 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR SOLID WD |
| 2B-02 | 6'-8" | 2'-8" | 1 HR | NEW | INTERIOR, HOLLOW CORE |
| 2B-03 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR, HOLLOW CORE |
| 2B-04 | 6'-8" | 3'-0" | | NEW | INTERIOR, HOLLOW CORE |
| 2B-05 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR, HOLLOW CORE |
| 2B-06 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR, HOLLOW CORE |
| 2B-07 | 6'-8" | 3'-0" | | NEW | INTERIOR, HOLLOW CORE |
| 2B-08 | 6'-8" | 3'-0" | | NEW | INTERIOR, HOLLOW CORE |
| 2B-09 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR, HOLLOW CORE |
| 2B-10 | 6'-8" | 2'-8" | 1 HR | NEW | INTERIOR, HOLLOW CORE |
| 2B-11 | 6'-8" | 2'-6" | | NEW | INTERIOR, HOLLOW CORE |
| 200 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR SOLID WD |
| 201 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR SOLID WD |
| 202 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR SOLID WD |

CHANGE OF USE FOR:

SECRET AGENT VENTURES LLC,
3490 20th st
SAN FRANCISCO, CA 94133






| No. | Description | Date |
|-----|-------------|---------|
| 1 | Planning | 3-25-16 |

SHEET TITLE
SECOND FLOOR PLAN








SHEET NUMBER
A1.2

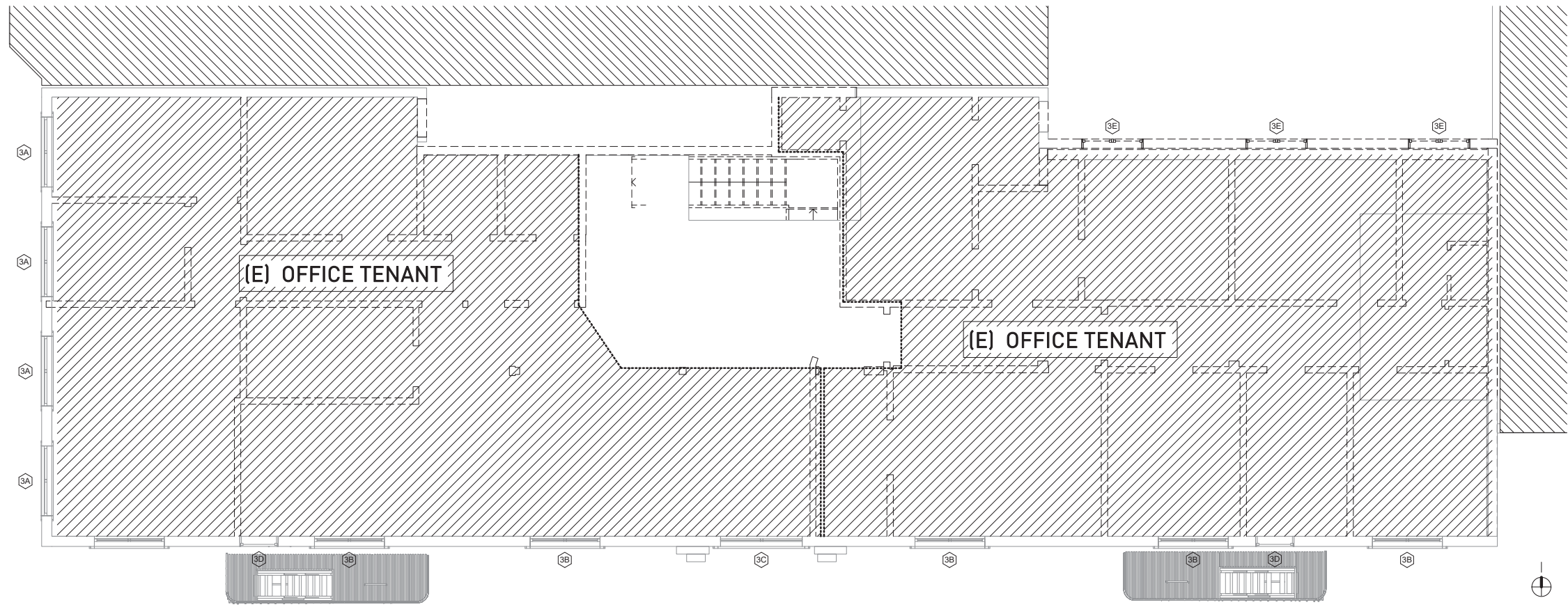
SCALE 1/4" = 1'-0" DATE 2/7/2017 6:41:33 PM

LEGEND:

-  CORRIDOR WALL (1 HR)
-  STAIR WALL (2 HR)
-  PARTY WALL (1 HR)
-  EXISTING WALL TO
-  DEMOLISHED WALL

SCOPE:

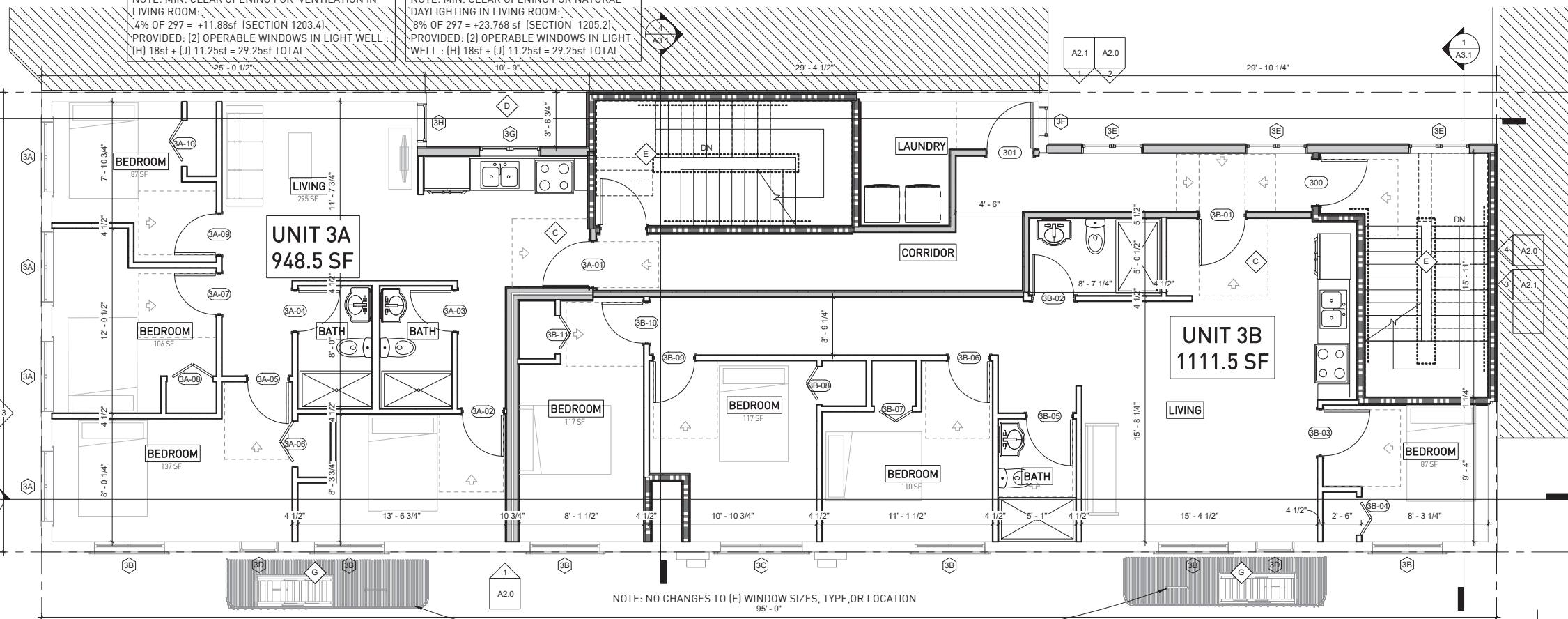
-  RENOVATE BATHROOM FOR ACCESSIBILITY COMPLIANCE
-  SHAFT FOR FUTURE VENTILATION DUCT
-  NEW 4 BEDROOM / 2 BATH UNIT
-  NEW LIGHT WELL
-  NEW STAIR
-  DEMOLISH EXISTING ELEVATOR
-  REMOVE EXISTING FIRE ESCAPE



1 THIRD FLOOR - EXISTING
1/4" = 1'-0"

NOTE: MIN. CLEAR OPENING FOR VENTILATION IN LIVING ROOM:
4% OF 297 = +11.88sf (SECTION 1203.4).
PROVIDED: (2) OPERABLE WINDOWS IN LIGHT WELL : (H) 18sf + (J) 11.25sf = 29.25sf TOTAL

NOTE: MIN. CLEAR OPENING FOR NATURAL DAYLIGHTING IN LIVING ROOM:
8% OF 297 = +23.768 sf (SECTION 1205.2).
PROVIDED: (2) OPERABLE WINDOWS IN LIGHT WELL : (H) 18sf + (J) 11.25sf = 29.25sf TOTAL



2 THIRD FLOOR - NEW
1/4" = 1'-0"

NOTE: NO CHANGES TO (E) WINDOW SIZES, TYPE, OR LOCATION

NOTE: NO CHANGES TO PROPOSED FIRE ESCAPE

WINDOW SCHEDULE - THIRD LEVEL

| Type Mark | WIDTH | HEIGHT | AREA | Comments |
|-----------|-------|--------|-------|----------|
| 2H | 4'-0" | 5'-0" | 20.5F | |
| 3A | 4'-5" | 6'-6" | 29.5F | |
| 3B | 4'-5" | 6'-5" | 28.5F | |
| 3C | 5'-4" | 6'-8" | 36.5F | |
| 3D | 2'-6" | 5'-0" | 13.5F | |
| 3E | 4'-0" | 4'-0" | 16.5F | |
| 3F | 2'-0" | 5'-0" | 10.5F | |
| 3G | 4'-0" | 5'-0" | 20.5F | |
| 3H | 2'-6" | 5'-0" | 13.5F | |

Grand total: 24

DOOR SCHEDULE - THIRD FLOOR

| MARK | HEIGH T | WIDTH | Fire Rating | E or N | COMMENTS |
|-------|---------|-------|-------------|-----------------------|-----------------------|
| 3A-01 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR SOLID WD |
| 3A-02 | 6'-8" | 2'-8" | NEW | INTERIOR, HOLLOW CORE | |
| 3A-03 | 6'-8" | 2'-8" | NEW | INTERIOR, HOLLOW CORE | |
| 3A-04 | 6'-8" | 2'-8" | NEW | INTERIOR, HOLLOW CORE | |
| 3A-05 | 6'-8" | 2'-8" | NEW | INTERIOR, HOLLOW CORE | |
| 3A-06 | 6'-8" | 3'-0" | NEW | INTERIOR, HOLLOW CORE | |
| 3A-07 | 6'-8" | 2'-8" | NEW | INTERIOR, HOLLOW CORE | |
| 3A-08 | 6'-8" | 3'-0" | NEW | INTERIOR, HOLLOW CORE | |
| 3A-09 | 6'-8" | 2'-8" | NEW | INTERIOR, HOLLOW CORE | |
| 3A-10 | 6'-8" | 3'-0" | NEW | INTERIOR, HOLLOW CORE | |
| 3B-01 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR SOLID WD |
| 3B-02 | 6'-8" | 2'-8" | 1 HR | NEW | INTERIOR, HOLLOW CORE |
| 3B-03 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR, HOLLOW CORE |
| 3B-04 | 6'-8" | 2'-6" | NEW | INTERIOR, HOLLOW CORE | |
| 3B-05 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR, HOLLOW CORE |
| 3B-06 | 6'-8" | 2'-8" | NEW | INTERIOR, HOLLOW CORE | |
| 3B-07 | 6'-8" | 2'-6" | NEW | INTERIOR, HOLLOW CORE | |
| 3B-08 | 6'-8" | 2'-6" | NEW | INTERIOR, HOLLOW CORE | |
| 3B-09 | 6'-8" | 2'-8" | NEW | INTERIOR, HOLLOW CORE | |
| 3B-10 | 6'-8" | 2'-6" | NEW | INTERIOR, HOLLOW CORE | |
| 3B-11 | 6'-8" | 2'-6" | NEW | INTERIOR, HOLLOW CORE | |
| 300 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR SOLID WD |
| 301 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR SOLID WD |
| R3 | 6'-8" | 3'-0" | 1 HR | NEW | INTERIOR SOLID WD |

SECRET AGENT
VENTURES LLC,
3490 20TH STREET, 94110.

CHANGE OF USE FOR:
3490 20th st
SAN FRANCISCO , CA 94133

| No. | Description | Date |
|-----|-------------|---------|
| 1 | Planning | 3-25-16 |






SHEET TITLE
THIRD FLOOR PLAN

SHEET NUMBER
A1.3





SCALE 1/4" = 1'-0" DATE

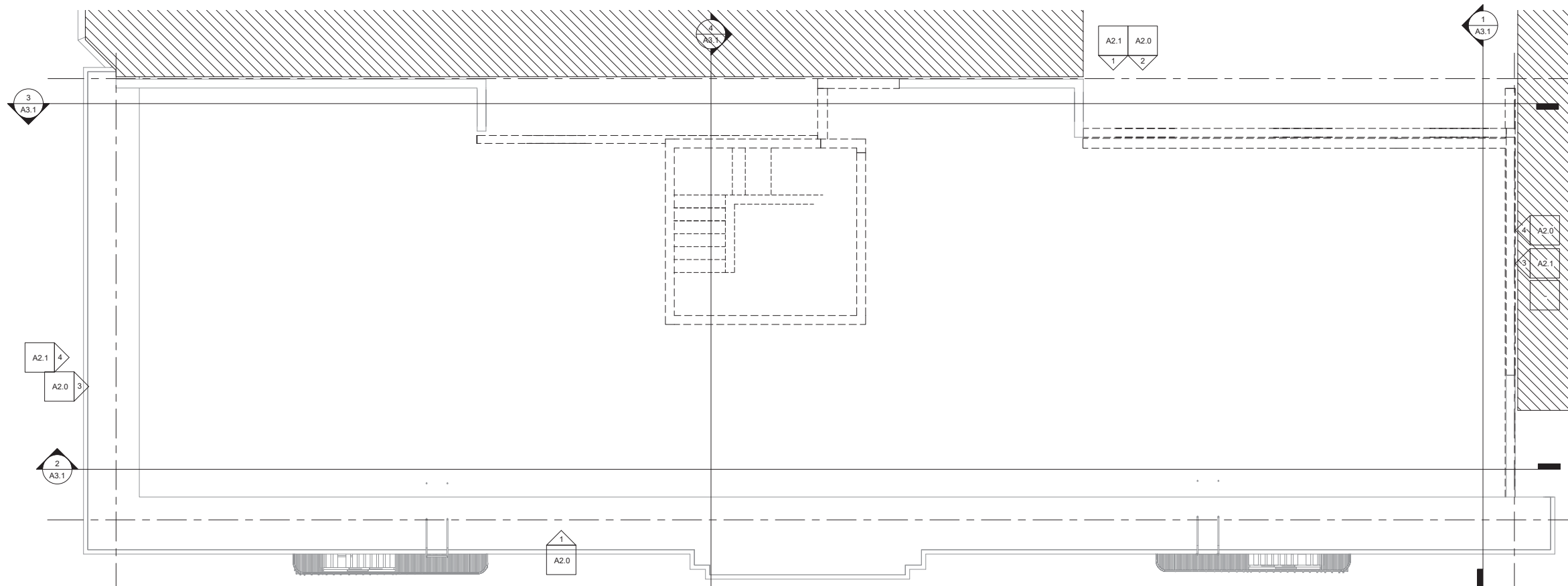
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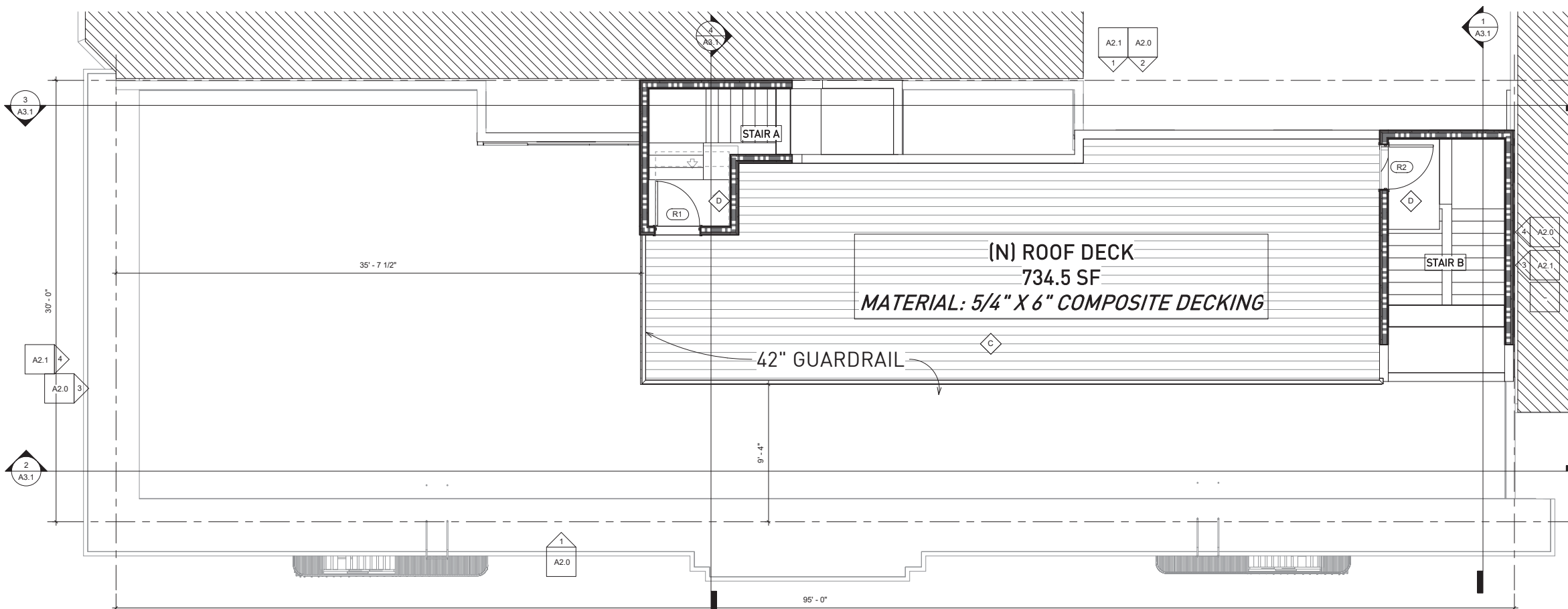
-  CORRIDOR WALL (1 HR)
-  STAIR WALL (2 HR)
-  PARTY WALL (1 HR)
-  EXISTING WALL TO
-  DEMOLISHED WALL

SCOPE:

-  REMOVE EXISTING ELEVATOR PENTHOUSE
-  SHAFT FOR FUTURE VENTILATION DUCT
-  ROOF DECK, 42" GUARDRAIL
-  NEW STAIR



1 ROOF DECK PLAN EXISTING
1/4" = 1'-0"



2 ROOF DECK PLAN
1/4" = 1'-0"

SECRET AGENT
VENTURES LLC,
3490 20TH STREET, 94110.

PROJECT

CHANGE OF USE FOR:
3490 20th st
SAN FRANCISCO, CA 94133

| No. | Description | Date |
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SHEET TITLE

ROOF PLAN

SHEET NUMBER

A1.4

SCALE
1/4" = 1'-0"

DATE

2/27/2017 6:41:30 PM

PROJECT

3490 20th st
SAN FRANCISCO, CA 94133

CHANGE OF USE FOR:

| No. | Description | Date |
|-----|-------------|---------|
| 1 | Planning | 3-25-16 |
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SHEET TITLE
**EXISTING
ELEVATIONS**

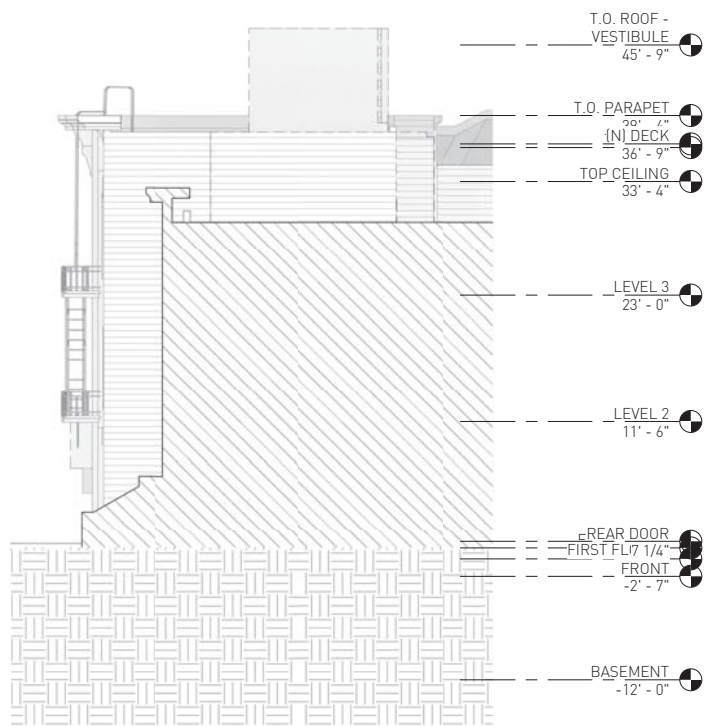
SHEET NUMBER

A2.0

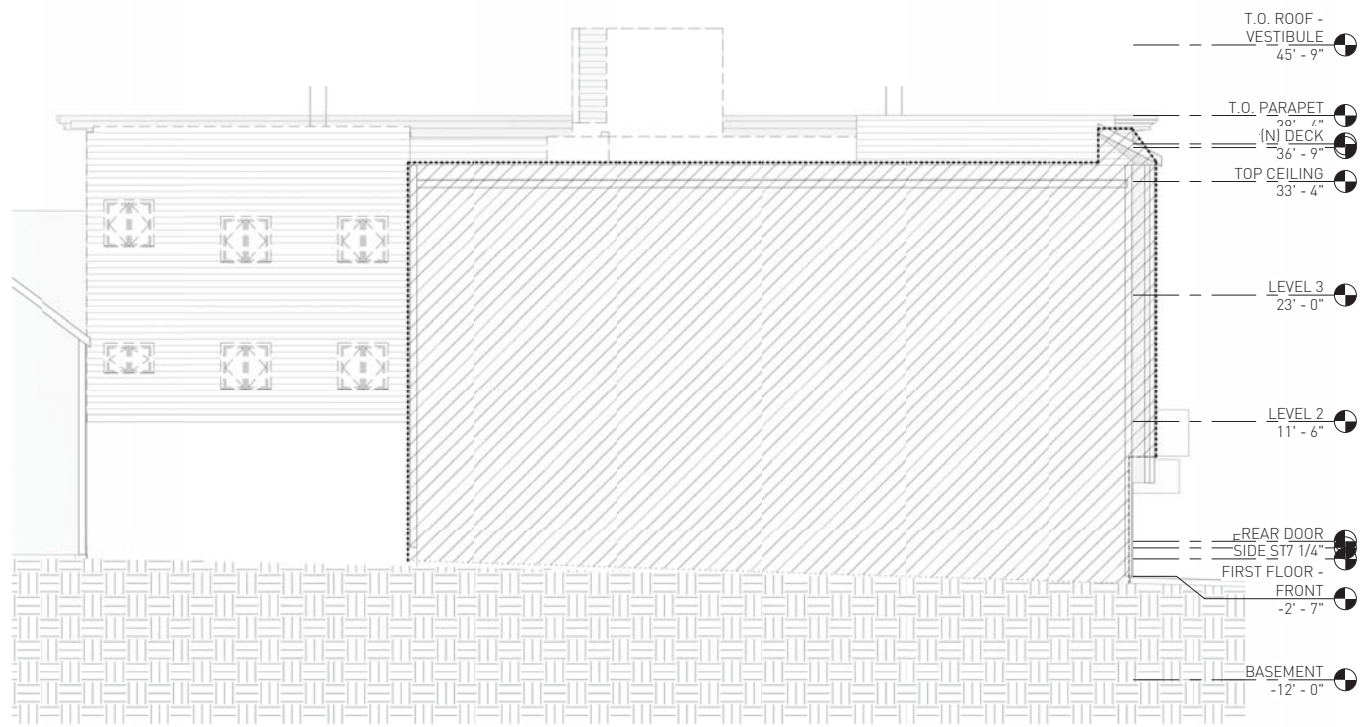
SCALE
1/8" =
1'-0"

DATE

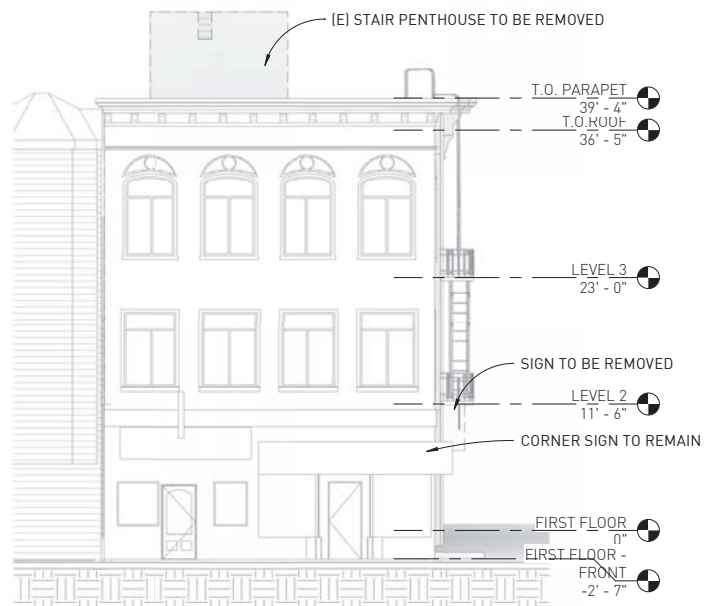
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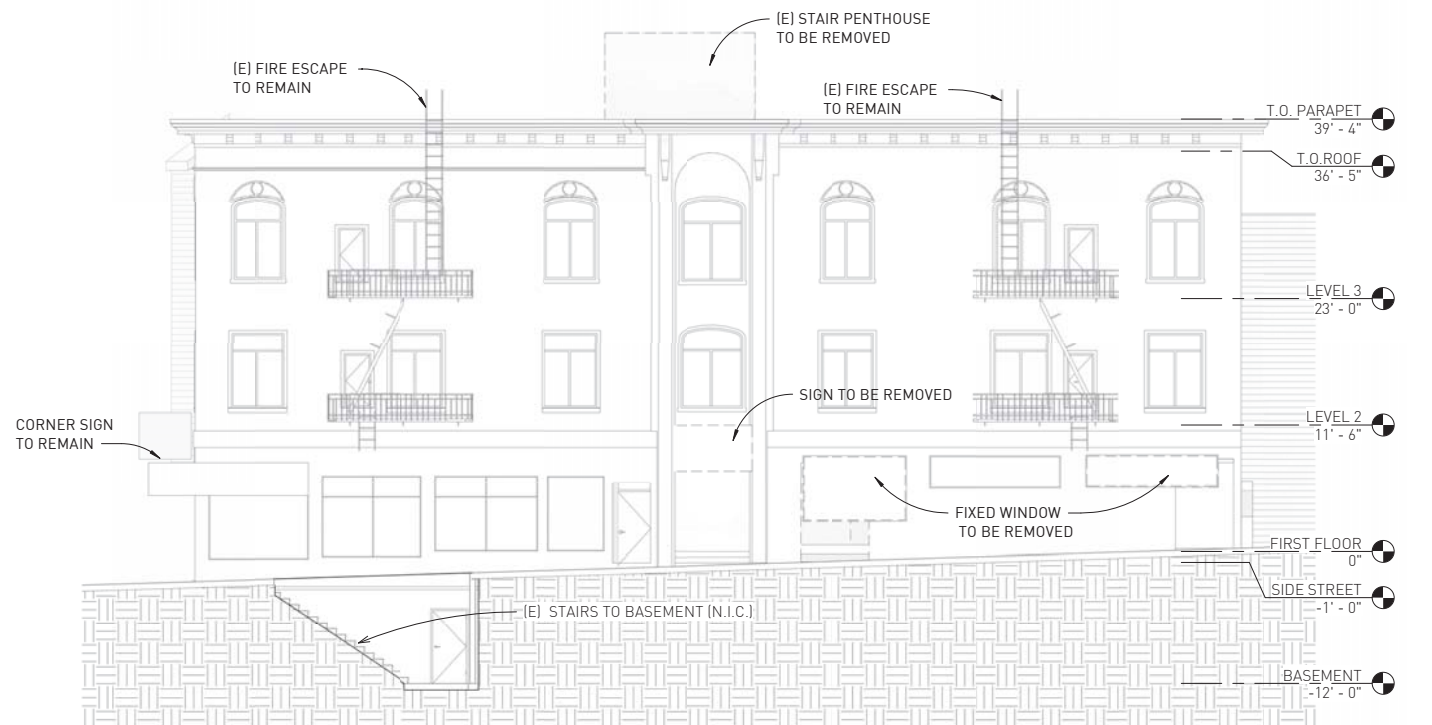
4 EXISTING EAST ELEVATION
1/8" = 1'-0"



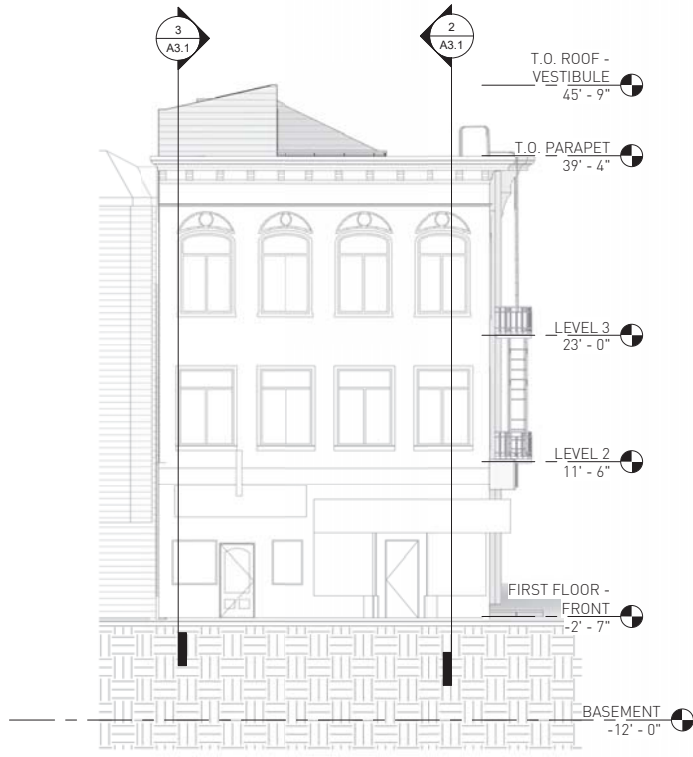
2 EXISTING NORTH ELEVATION
1/8" = 1'-0"



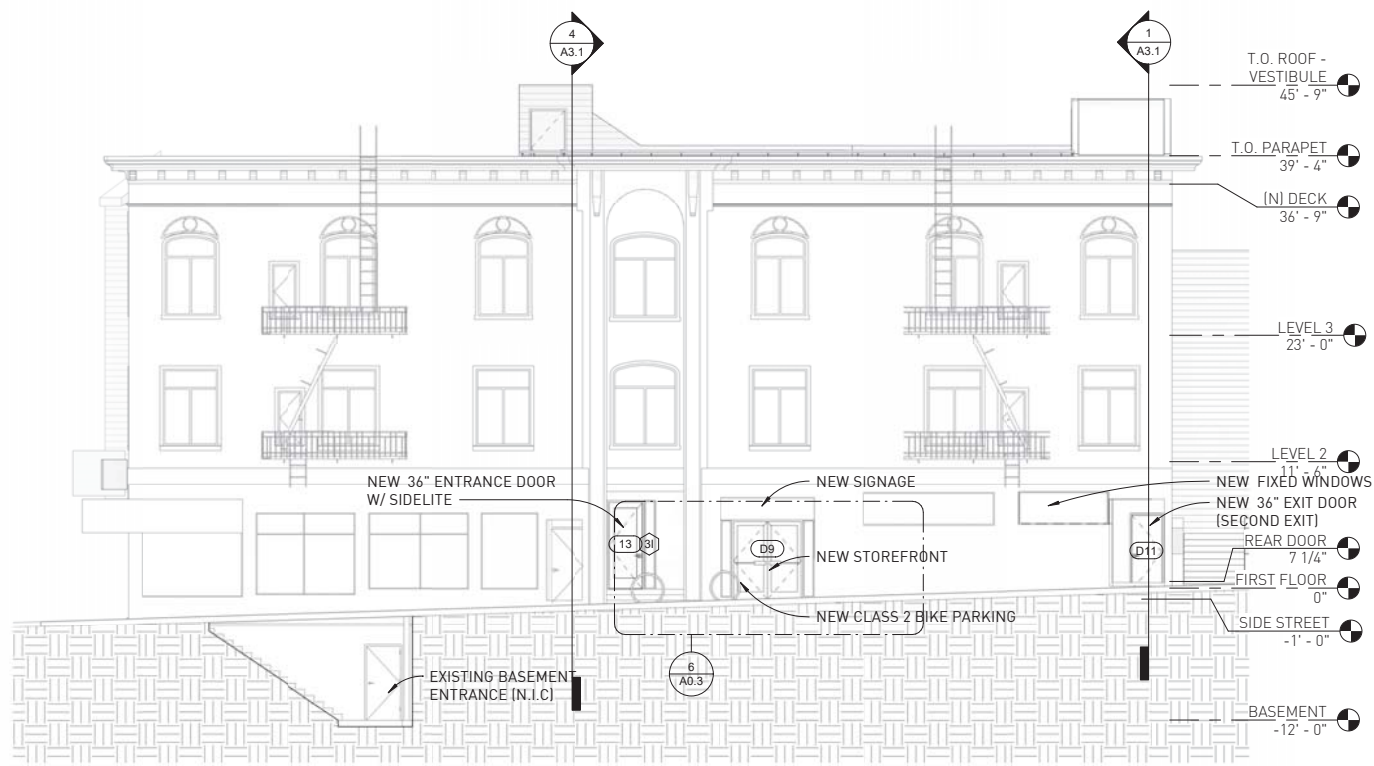
3 EXISTING WEST ELEVATION
1/8" = 1'-0"



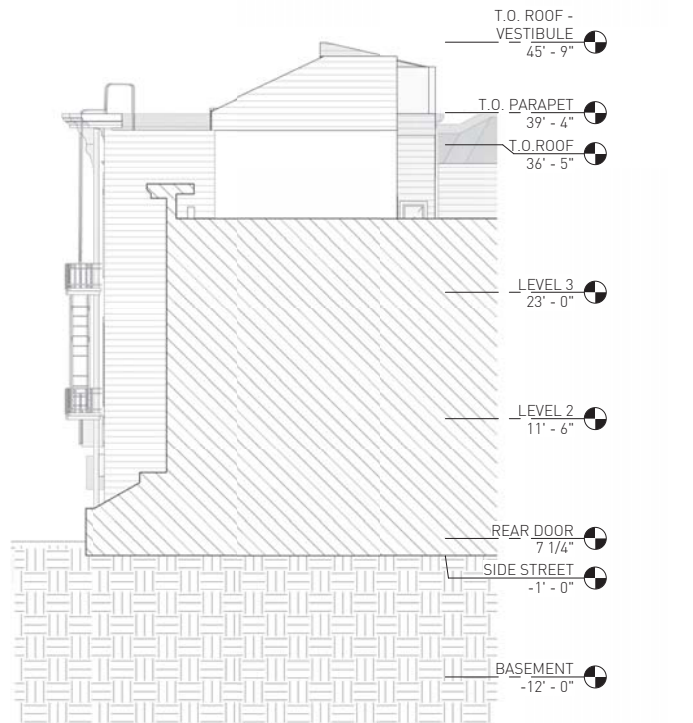
1 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



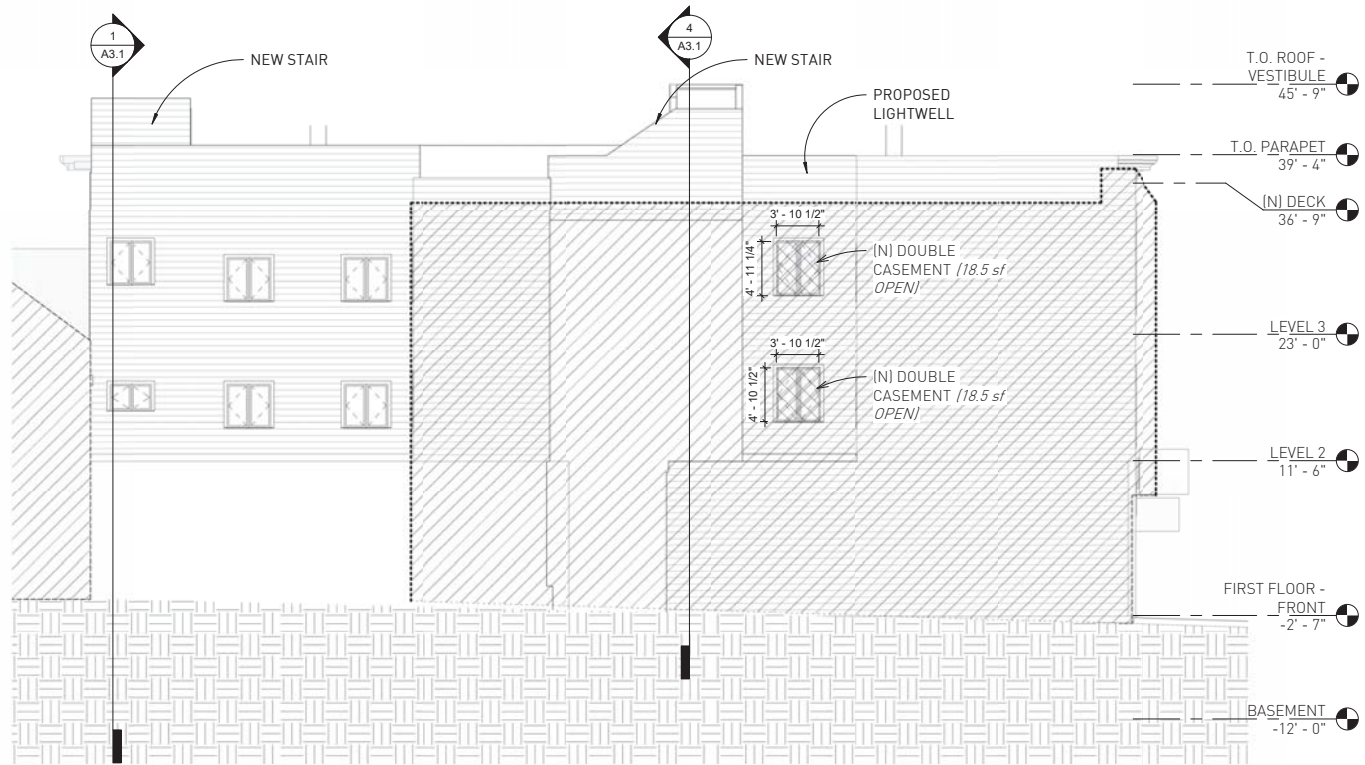
4 PROPOSED WEST ELEVATION
1/8" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"



3 PROPOSED EAST ELEVATION
1/8" = 1'-0"



1 PROPOSED NORTH ELEVATION
1/8" = 1'-0"

SECRET AGENT
VENTURES LLC,
3490 20TH STREET, 94110.

PROJECT

CHANGE OF USE FOR:
3490 20th st
SAN FRANCISCO , CA 94133

| No. | Description | Date |
|-----|----------------|---------|
| 1 | Planning | 3-25-16 |
| 2 | Planning Corr. | 1-31-17 |
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SHEET TITLE
PROPOSED
ELEVATIONS

SHEET NUMBER
A2.1

SCALE 1/8" = 1'-0" DATE 2/27/2017 6:43:21 PM

SECRET AGENT
VENTURES LLC,
3490 20TH STREET, 94110.

PROJECT

CHANGE OF USE FOR:
3490 20th st
SAN FRANCISCO, CA 94133

| No. | Description | Date |
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SHEET TITLE
PHOTOS

SHEET NUMBER

A4.0

SCALE DATE

