



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 28, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 403 Fair Oaks Street	Case No.: 2016-003926VAR
Cross Streets: 25th and 26th Streets	Building Permit: 2016.03.17.2356
Block /Lot No.: 6533/038	Applicant: Juliana Raimondi
Zoning District: RH-3/ 40-X	Telephone: (401) 524-6076
Area Plan: N/A	E-Mail: julianarai@gmail.com

PROJECT DESCRIPTION

The proposal is for demolition and reconstruction of a legal noncomplying detached one-story, two-car garage in the rear yard. The proposed one-story two-car garage will have a roof deck atop and access stairs along the south façade.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a minimum rear yard of 25 feet. Currently, the existing detached garage encroaches into the northeast corner of the required rear yard. The proposed garage would be located in the same location as the existing structure and would encroach entirely into the required rear yard, thus a variance is required from the rear yard requirement.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department’s website at: <http://notice.sfplanning.org/2016-003926VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department’s website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sylvia Jimenez** Telephone: **(415) 575-9187** E-Mail: sylvia.jimenez@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On June 12, 2017, the Department issued the required Section 311 notification for this project (expires July 12, 2017).**

APPEAL INFORMATION

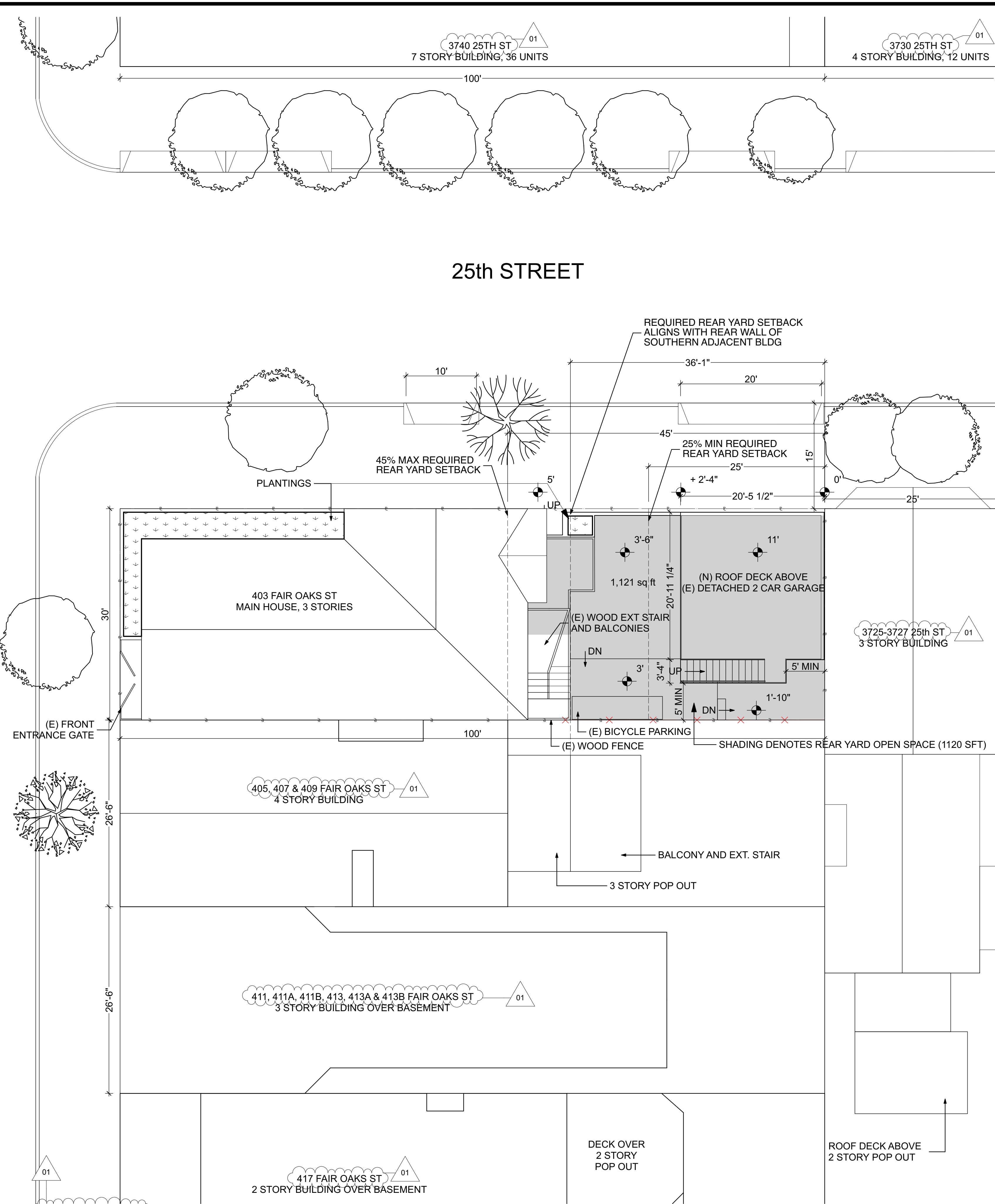
An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

25TH		3701	
38	41	1	100
37	2		2250
2009 56to60	40	3	100
36	39	4	135
	43	5	25
	42	6	135
	33		
	32		
	31		
	30	8	2010 61/63
	29	9	
	28	10	
	27	11	
		12	

2 ASSESSOR MAP
NOT TO SCALE



FAIR OAKS STREET

25th STREET

PROJECT INFO

BLOCK & LOT- 6533/038
 ZONING- RH-3
 CURRENT USE- R2, 4 RESIDENCES, 3,550 SF PER ASSESSOR
 PROPOSED USE- R2, 4 RESIDENCES, 3,550 SF PER ASSESSOR
 LOT SIZE- 2,996 SF
 TYPE OF CONSTRUCTION- VB UNSPRINKLERED

SCOPE OF WORK

- NO CHANGE TO BLDG FOOTPRINT.
- NO CHANGE TO MAIN HOUSE.
- PARTIAL FOUNDATION REPLACEMENT AT (E) DETACHED GARAGE
- REBUILD (E) DETACHED GARAGE. INCREASE HEIGHT 2' TO ACCOMMODATE ROLL UP DOORS.
- REPLACE (E) WOOD LATTICE FENCE ABOVE GARAGE IN KIND
- ADD ROOF DECK ABOVE (E) GARAGE TO PROVIDE 400 SF OF USEABLE OPEN SPACE FOR RESIDENTS. ADD EXT. METAL STAIR FOR ACCESS TO ROOF DECK.

ALL WORK PER FOLLOWING CODES:

- 2013 California Building Code
- 2013 California Green Building Standards Code (CGBSC)
- 2013 California Mechanical Code (CMC)
- 2013 California Plumbing Code (CPC)
- 2013 California Electrical Code (CEC)(based on 2011 NEC)
- 2013 California Energy Standards (CEC Part 6)
- 2013 California Fire Code (CFC). Reference CRC Sec. 106.
- SF Construction & Demolition Debris Ordinance

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S1.3	TYPICAL DETAILS
S2.0	FOUNDATION PLAN
S2.1	ROOF FRAMING PLAN
S3.0	STRUCTURAL DETAILS

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 julianarai@gmail.com

STRUCTURAL ENGINEER
 Priya Naik
 3036 Richmond Blvd
 Oakland Ca 94611
 415 786 5134

**Bansner
 Garage & Roof Deck**
 403 Fair Oaks Street
 San Francisco
 Ca 94110

MARK	DATE	DESCRIPTION
1	7/15/15	CD
△	11/13/16	PLANNING NOPDR 1
2	5/8/17	PLANNING REVISION

PROJECT NO:
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SHEET TITLE
 PROJECT INFO

A-1

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01

STRUCTURAL ENGINEER

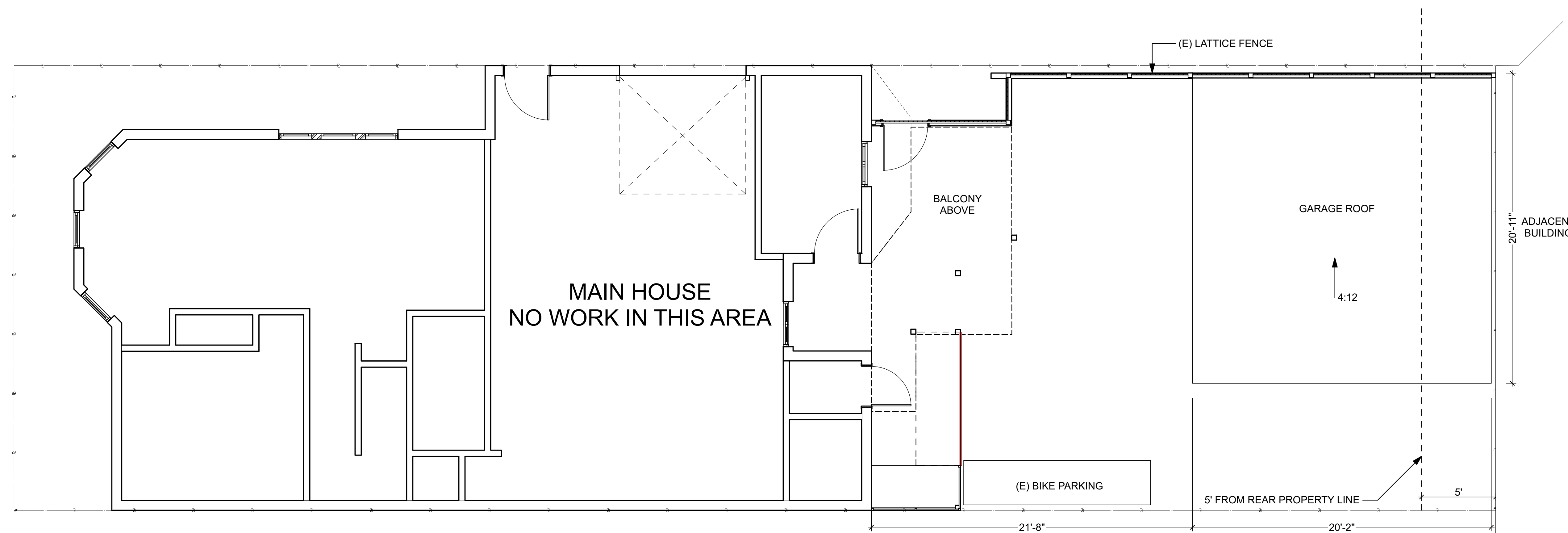
Priya Naik
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Ca 94110

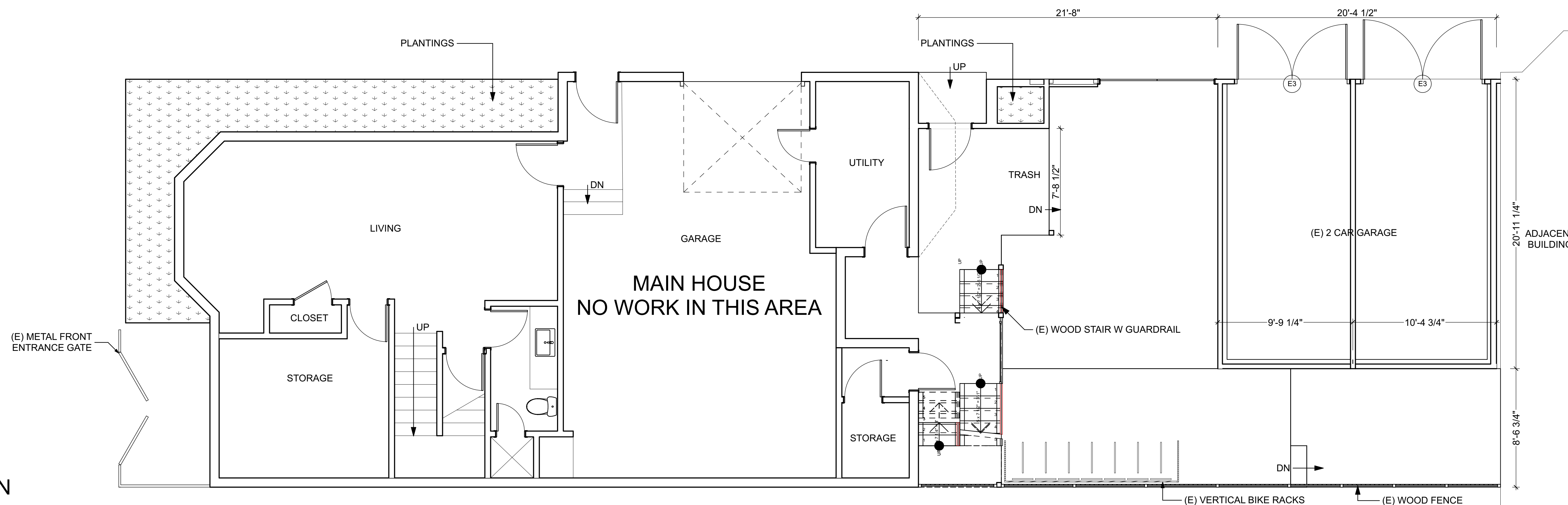
NOTES

-HATCHING DENOTES FRAMING TO BE REMOVED.



2 EXISTING GARAGE ROOF

SCALE: 1/4" = 1'-0"



1 EXISTING GROUND LEVEL

SCALE: 1/4" = 1'-0"

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EXISTING PLANS

A-101

SHEET 3 OF 19

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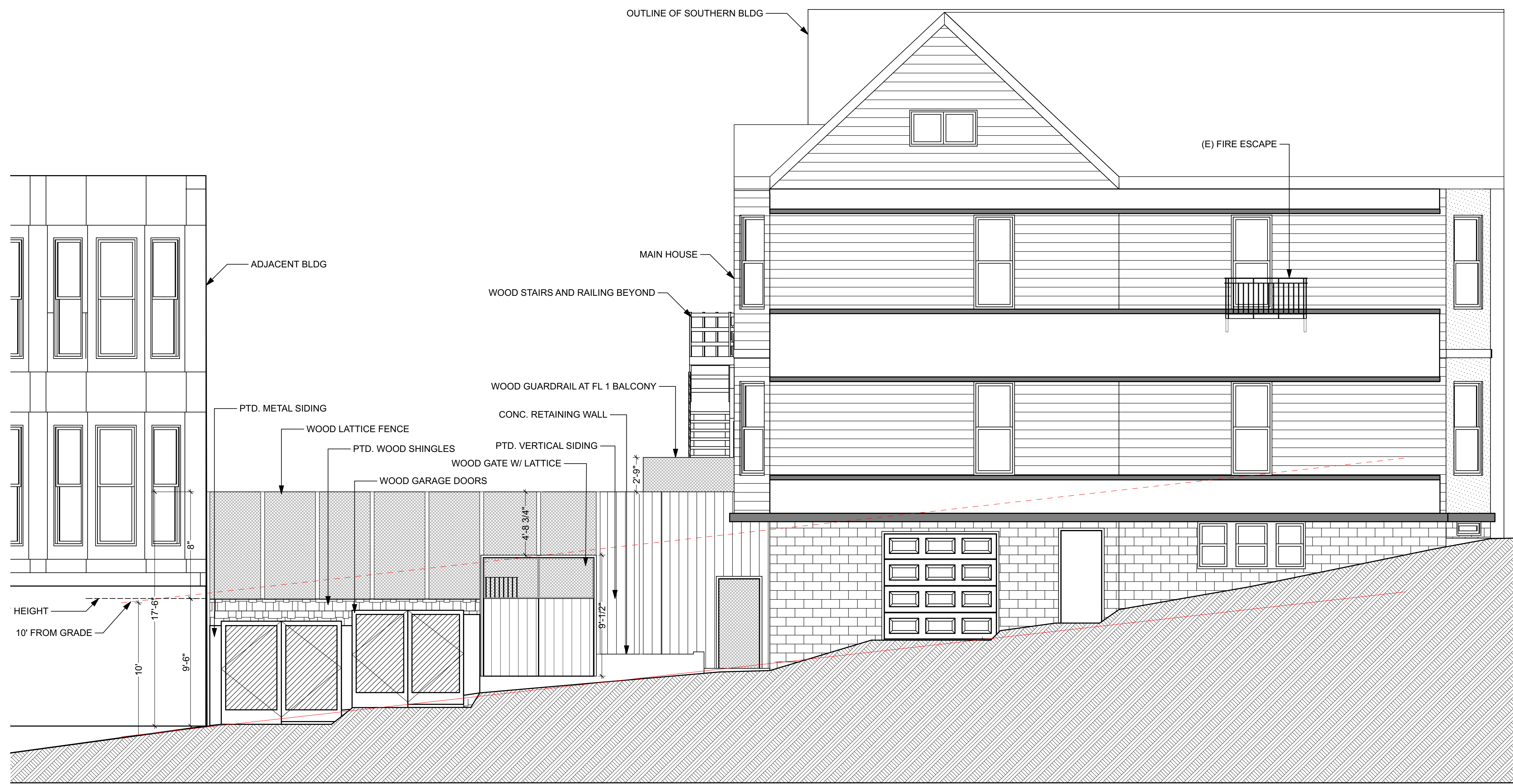
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SHEET TITLE
EXISTING ELEVATIONS

A-103



1 EXISTING NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

/Users/vault/Documents/fair oaks/fair oaks proposed no fence.pln

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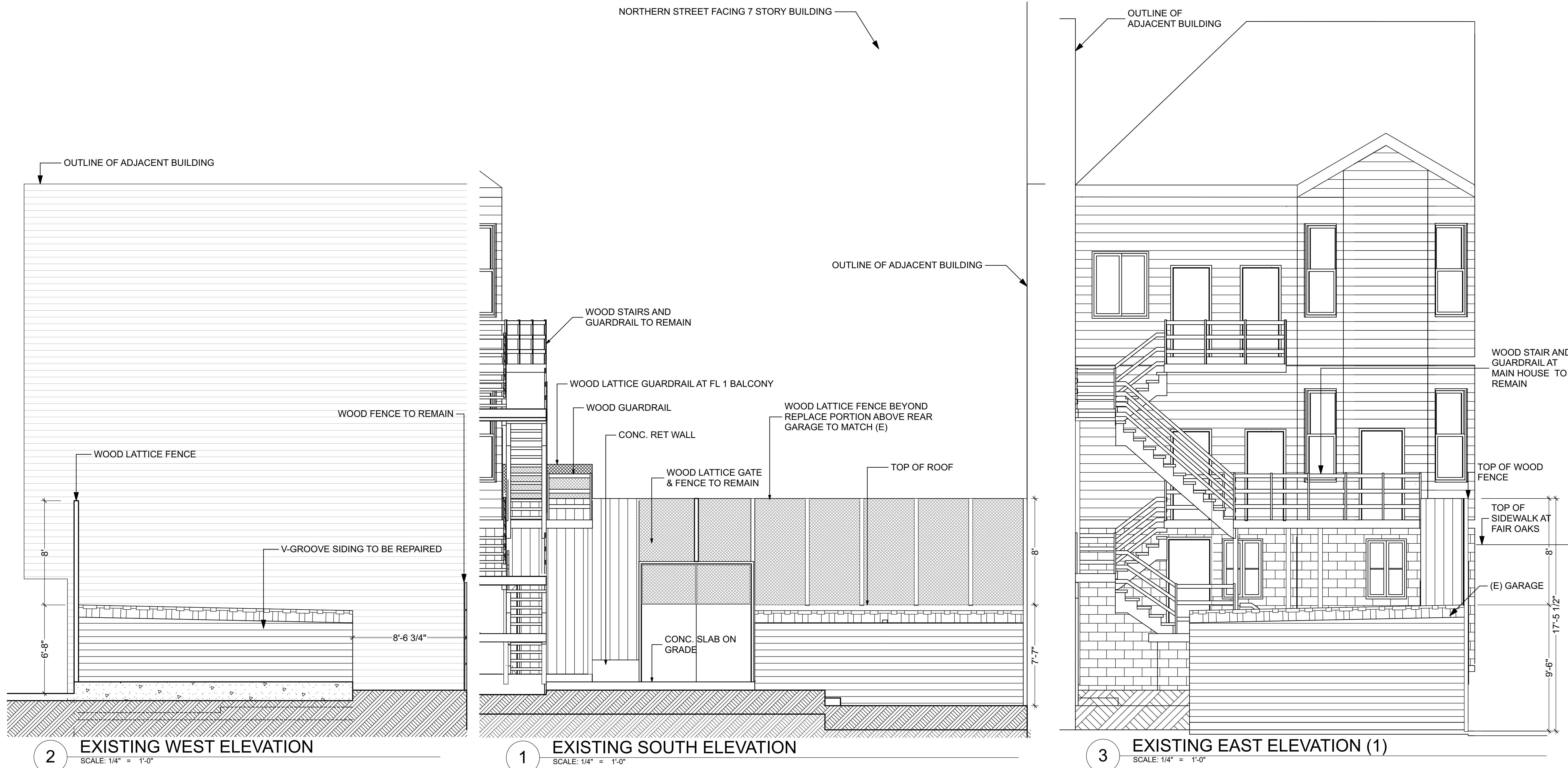
01

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SHEET TITLE
EXISTING ELEVATIONS

A-104

NOTES

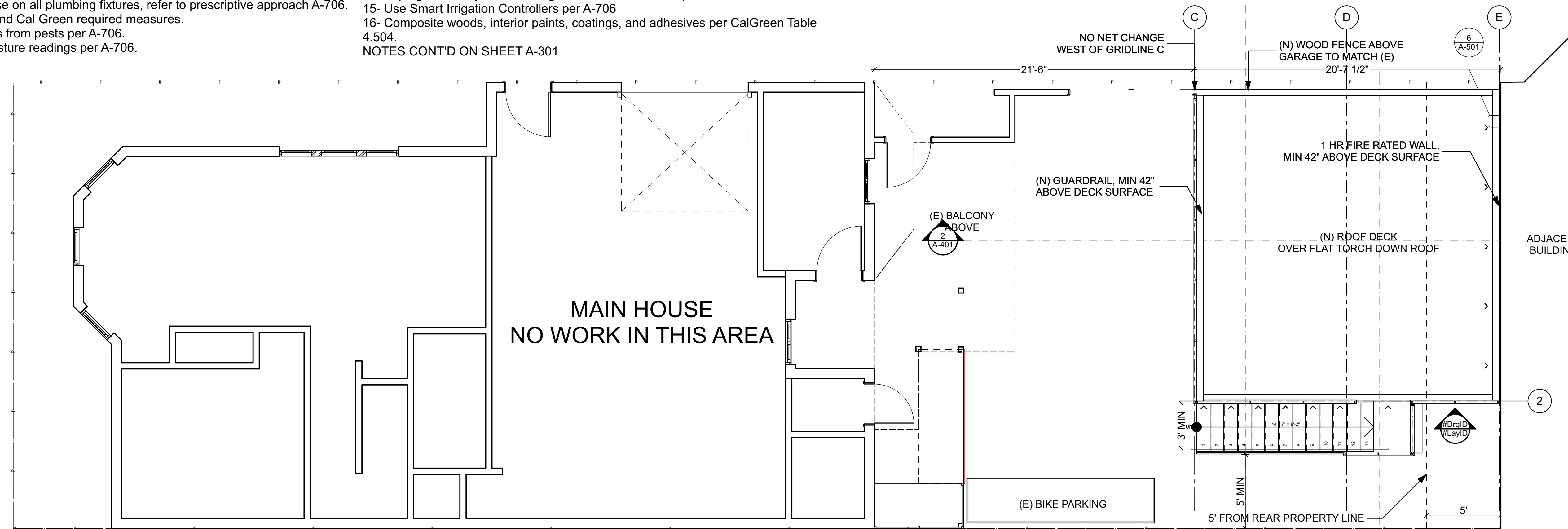
- 1-SHADING DENOTES NEW FRAMING
- 2-WALLS PARALLEL TO AND WITHIN 5' OF PROPERTY LINES TO BE 1 HR. RATED.
- 3-GYP TO BE LEVEL 5 SMOOTH FINISH, ONE COAT PRIMER, 2 COATS LATEX MIN.
- 4-Wood framing members, including sheathing that rest on exterior foundation walls must be at least 8" above grade or be pressure treated material.
- 5-Siding must have 6" clearance to grade or be pressure treated material.
- 6-Water resistant gypboard may not be used behind tile in shower or tub enclosures.
- 7-For required water use on all plumbing fixtures, refer to prescriptive approach A-706.
- 8-See A-706 for local and Cal Green required measures.
- 9-Seal all exterior holes from pests per A-706.
- 10-Provide interior moisture readings per A-706.

- 11- HVAC system and installer per A-706. Design system per ACCA Manual J,D, and S.
 - 12-X Denotes existing doors and windows.
 - 13-At least one egress window for each bedroom that meets all of the following requirements: a net clear openable area of not less than 5.7* sq. ft. *(5.0 sq ft allowed for grade floor openings), a minimum clear opening height of 24 inches, a minimum clear opening of 20 inches and bottom of clear opening not greater than 44 inches above the floor (2007 CBC § 1026). The net clear opening dimensions shall be the result of normal operation of the opening, and require no special knowledge or tools.
 - 14-Slope grade away from building and connect all downspouts to waste line.
 - 15- Use Smart Irrigation Controllers per A-706
 - 16- Composite woods, interior paints, coatings, and adhesives per CalGreen Table 4.504.
- NOTES CONT'D ON SHEET A-301

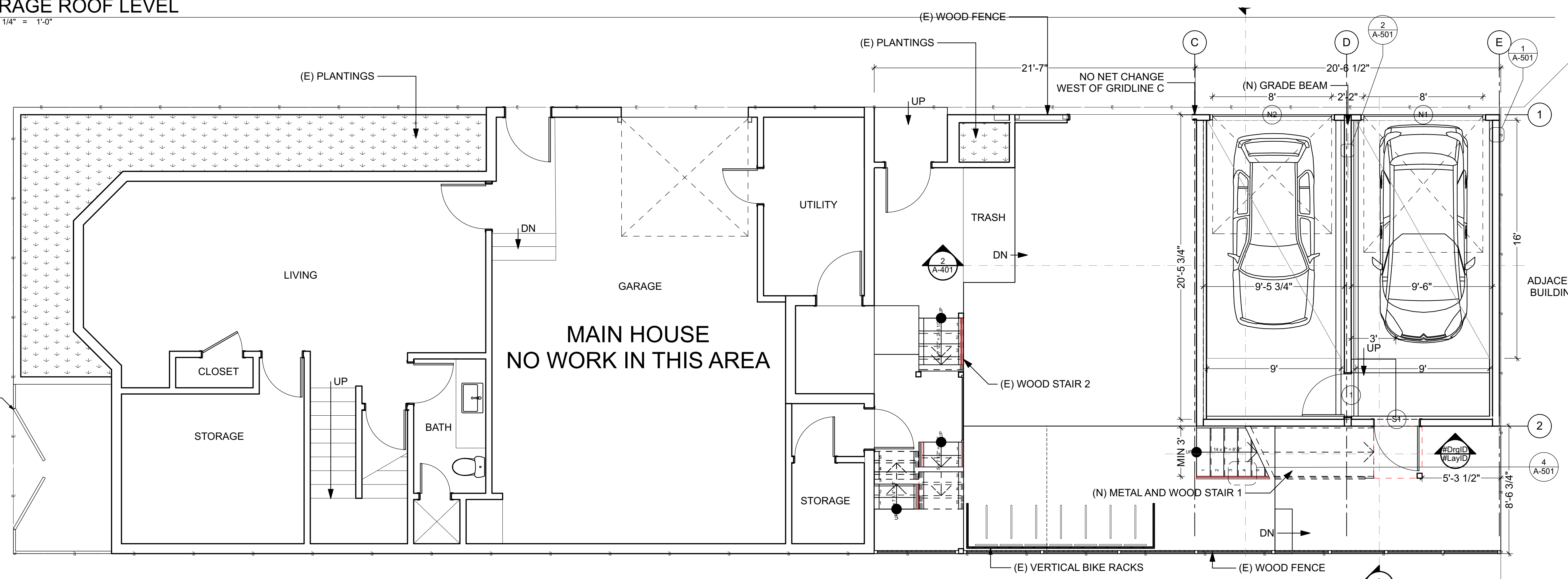
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1 GARAGE ROOF LEVEL
 SCALE: 1/4" = 1'-0"



2 GROUND (1)
 SCALE: 1/4" = 1'-0"

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SHEET TITLE
PROPOSED PLANS

A-201

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NOTES CONT'D FROM SHEET A-201
FIRE RESISTANT CONSTRUCTION NOTES

- Through and membrane penetrations shall be an approved fire-resistance-rated assembly or an approved penetration firestop system installed as tested in accordance with ASTM E 814 or UL 1479. CRC R302.4.1 and 302.4.2.
 Exception: Membrane penetrations of maximum 2 hour fire-resistive-rated walls and partitions by steel electrical boxes not exceeding 16 sq. inches in area and the aggregate area of the openings through the membranes does not exceed 100 sq. inches in any 100 sq. ft. of wall area. The annular space between the wall and box shall not to exceed 1/8 inch. Such boxes on opposite sides of the wall shall be separated by a horizontal distance of 24". Other exceptions may apply, refer to code. Also the annular space created by the penetration of a fire sprinkler shall have a metal escutcheon plate. CRC R302.4.24.
- Enclosed accessible space under stairs shall have the walls, under stair surface and soffits protected on the enclosed side with 1/2" gypsum board. CRC R302.7
- Insulation materials, including facings, such as vapor retarders and vapor-permeable membranes installed within floor-ceiling assemblies, roof-ceilings assemblies, wall assemblies, crawl spaces and attics shall have a flame spread index not to exceed 25 with an accompanying smoke-developed index not to exceed 450 when tested in accordance with ASTM E 84 or UL 723.
 Exception: When materials are installed in concealed spaces the indexes do not apply to the facings when facing is installed in contact with the unexposed surface of the ceiling, floor or wall finish. Cellulose loose-fill insulation, which is not spray applied, shall only be required to meet the smoke-developed index of not more than 450. CRC R302.10.1 & R302.10.3.

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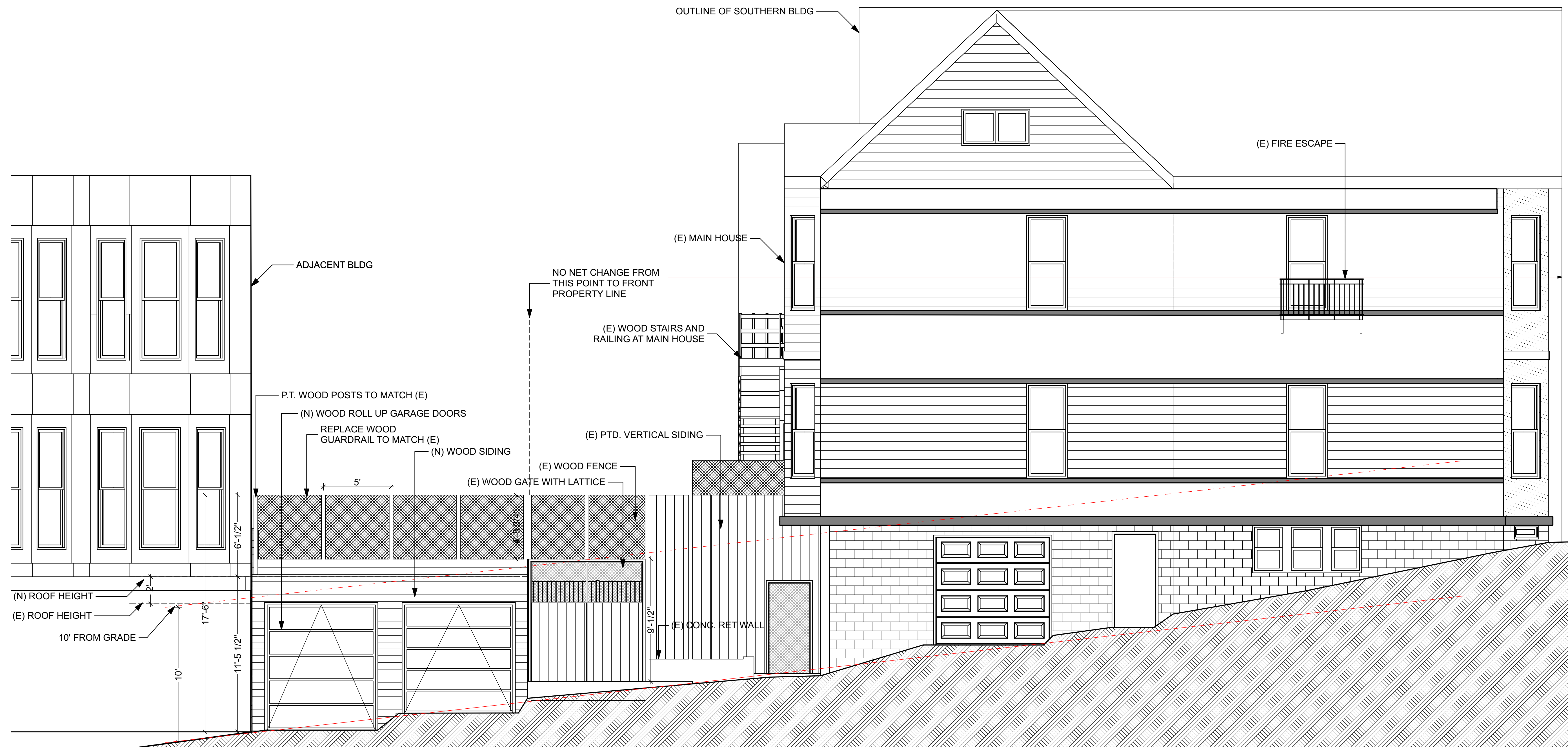
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SHEET TITLE
PROPOSED ELEVATIONS

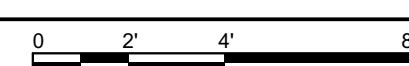
A-301

SHEET 7 OF 19



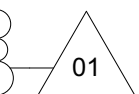
1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



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SHEET TITLE

PROPOSED ELEVATIONS

A-302

SHEET 8

OF 19

7 STORY BUILDING BEYOND

OUTLINE OF
ADJACENT BUILDING

ADJACENT BUILDING BEYOND

(E) MAIN HOUSE
NO CHANGE

OUTLINE OF ADJACENT BUILDING

(E) WOOD STAIRS AT MAIN
HOUSE NO CHANGE

NO NET CHANGE WEST OF
GRIDLINE C (N) GALV. METAL GUARDRAIL
MIN 42" ABOVE DECK SURFACE

REPLACE FENCE AT ROOF
DECK TO MATCH (E) TOP OF DECK

(E) WOOD STAIR &
GUARDRAIL AT
MAIN HOUSE
NO CHANGE

REPLACE (E) WOOD LATTICE FENCE

(N) GALV. METAL GUARDRAIL AT ROOF
DECK, 42" MIN ABOVE DECK SURFACE

TOP OF DECK (N) STEEL AND
WOOD STAIR

(E) WOOD LATTICE FENCE AND GATE
NO CHANGE

(N) STEEL AND WOOD STAIR

(E) CONC. SLAB
ON GRADE

(A-501)

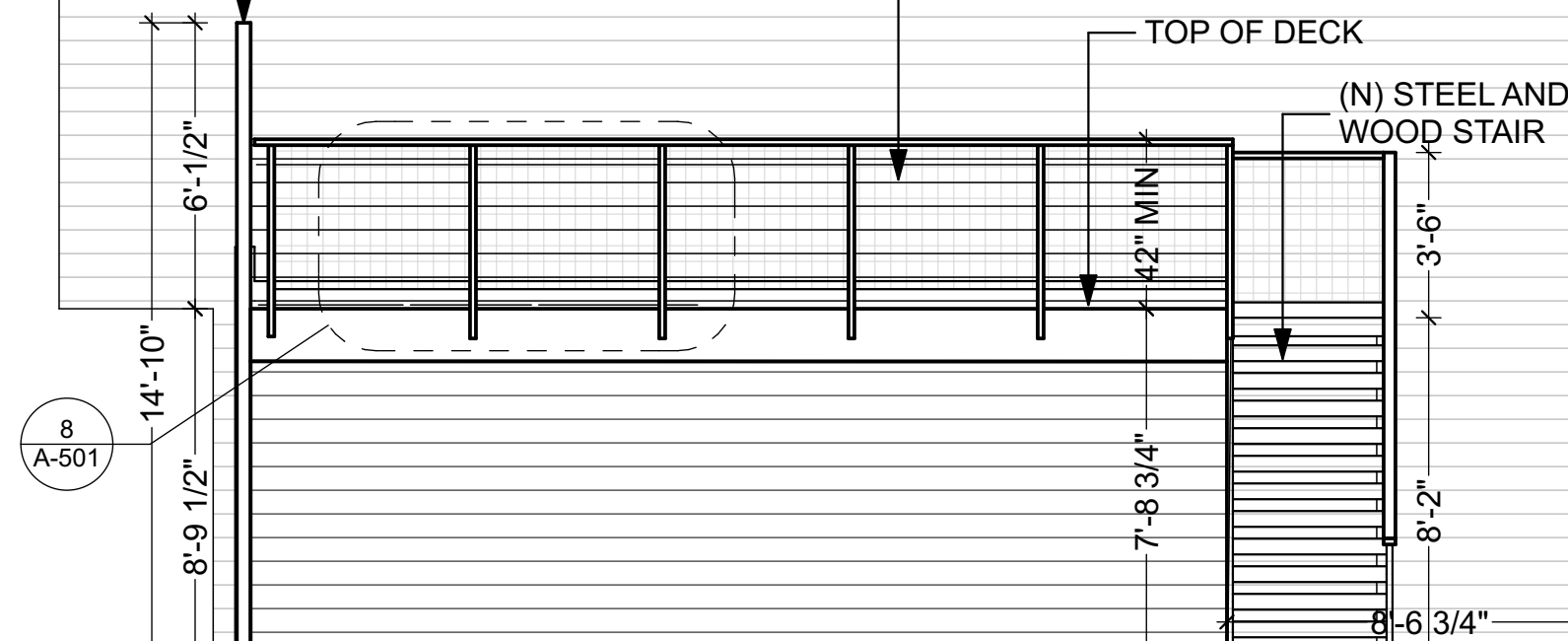
2X DECKING

(N) SMOOTH CEMENT
BOARD SIDING

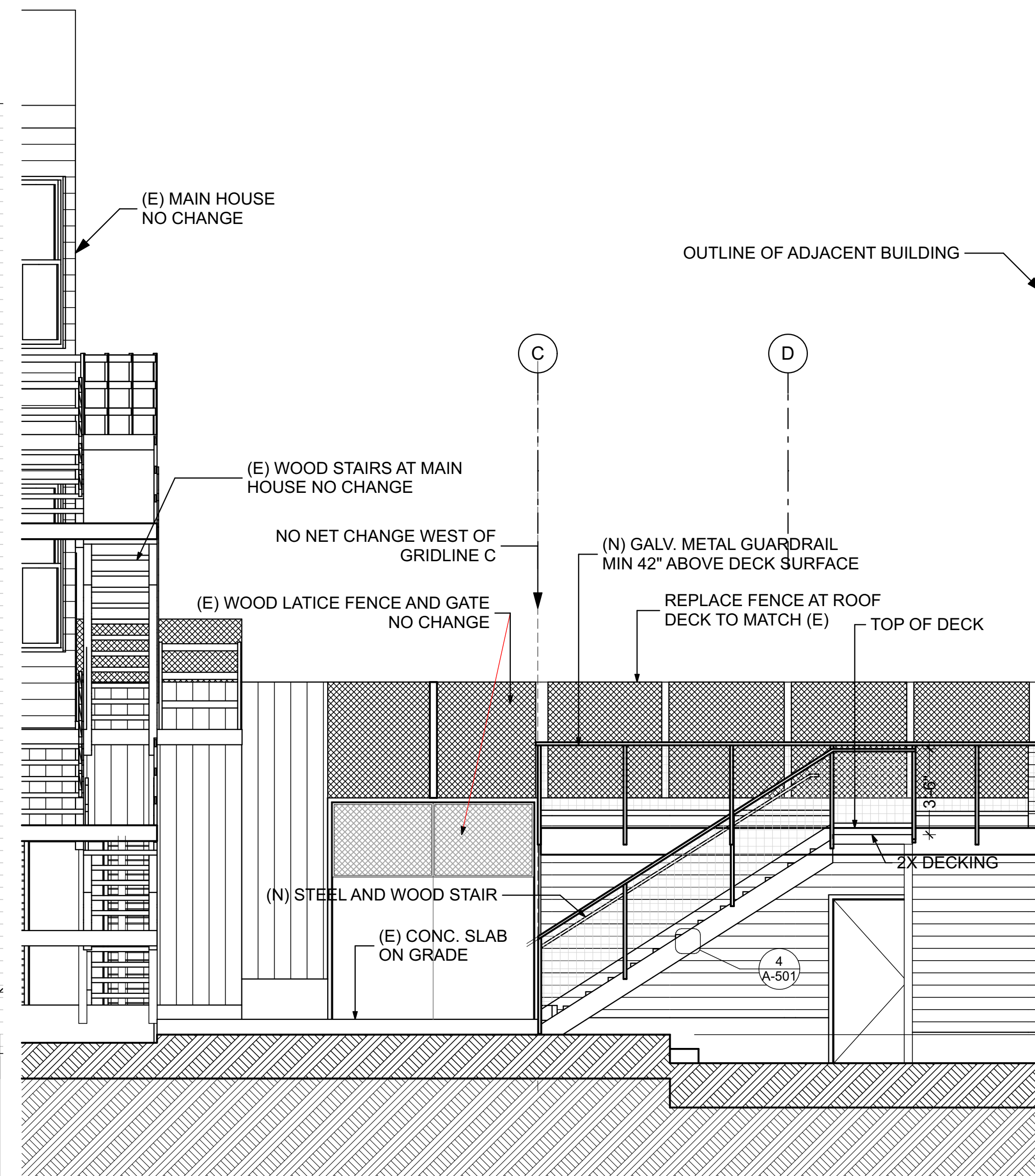
TOP OF FENCE

TOP OF SIDEWALK AT
FAIR OAKS

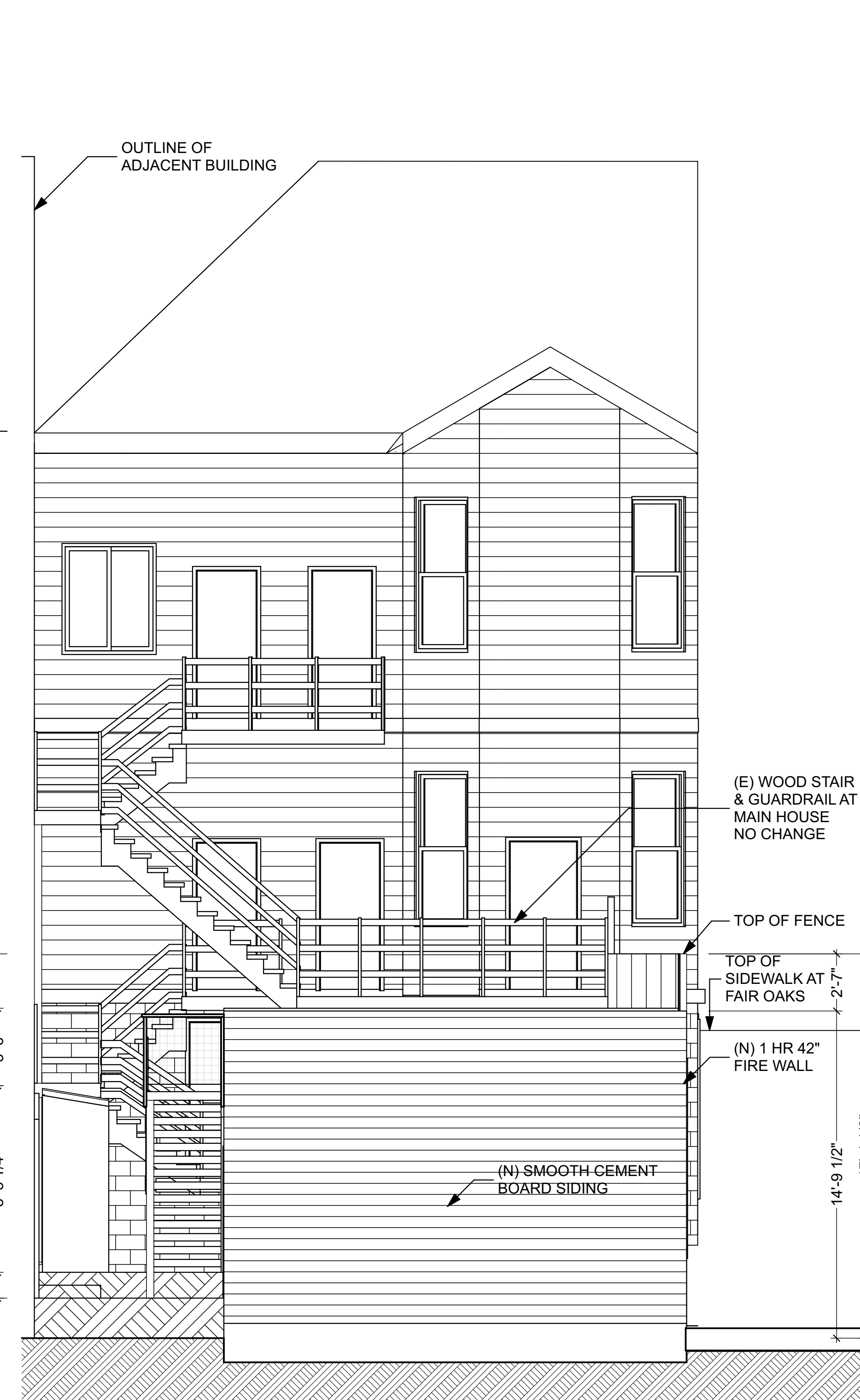
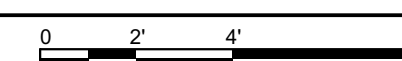
(N) 1 HR 42"
FIRE WALL



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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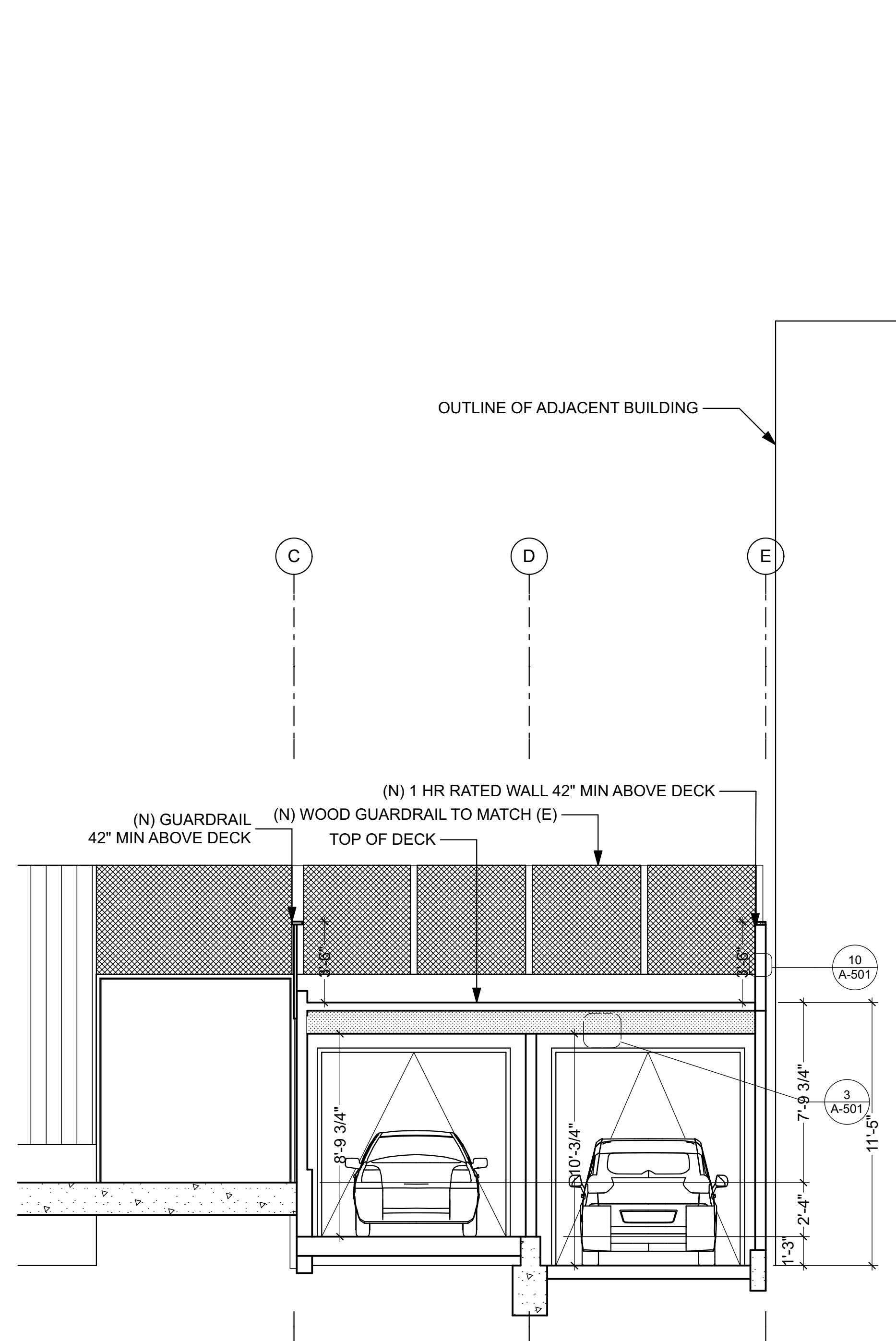
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SHEET TITLE
SECTIONS & SCHEDULE

A-401

SHEET 9 OF 19



2 SHORT SECTION
SCALE: 1/4" = 1'-0"



3 LONG SECTION
SCALE: 1/4" = 1'-0"

ID	2D Symbol	ELEVATION	DOOR		NOTES
			W	HT	
1			2'-10"	6'-8"	WOOD SOLID CORE, 20 MIN RATING
N1			8'	9'-3"	ROLL UP GARAGE DOOR
N2			8'	8'	ROLL UP GARAGE DOOR
S1			3'	6'-8"	WOOD SOLID CORE

1 Door Schedule