



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

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558*6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 28, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1810 Green Street	Case No.: 2016-003905VAR
Cross Street(s): Octavia Street	Building Permit: 2016.0301.0868
Block /Lot No.: 0543 / 043	Applicant: Ricardo Royo
Zoning District(s): RH-2 / 40-X	Telephone: (415) 699-0645
Area Plan: N/A	E-Mail: rick@rraconstruction.com

PROJECT DESCRIPTION

The proposal includes a small horizontal addition at the side and rear of the existing top story of the 4-story two-unit building. The proposal will not expand or alter the footprint of the existing building.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 25 feet based upon the average depth of the adjacent building walls. Planning Code Section 134 states that the last 10 feet of building depth gained through the averaging method is limited to a height of 30 feet. The proposal is to expand at the rear of the top story in the portion of the rear yard that is limited to 30 feet. The proposed addition would be up to 40 feet in height to match the height of the existing top story; therefore, the project requires a rear yard variance.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-003905VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **David Weissglass** Telephone: **(415) 575-9177** E-Mail: david.weissglass@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On June 6, 2017, the Department issued the required Section 311 notification for this project, which expires on July 6, 2017.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

GENERAL NOTES:

- UNLESS OTHERWISE SPECIFICALLY SHOWN ON THE DRAWINGS, THE FOLLOWING NOTES SHALL APPLY THROUGHOUT CONSTRUCTION.
- ANY DISCREPANCY IN THE DRAWINGS SHALL BE REFERRED TO THE ARCHITECT FOR FURTHER CLARIFICATION BEFORE STARTING CONSTRUCTION.
- IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES OR SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLETELY FAMILIARIZE HIMSELF WITH THESE PLANS AND THE EXISTING SITE CONDITIONS, PRIOR TO THE START OF CONSTRUCTION.
- INDICATED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- ALL WORK SHALL EQUAL OR EXCEED ALL CURRENT APPLICABLE BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, FIRE, SAFETY AND ZONING CODES AND ORDINANCES.
- WHERE NECESSARY, THE CONTRACTOR SHALL PROVIDE LINE DIAGRAMS, LOAD CALCULATIONS, SHOP DRAWINGS, ETC., TO THE OWNER'S REPRESENTATIVE AND/OR LOCAL BUILDING OFFICIALS FOR APPROVAL.
- VERIFY LOCATIONS AND REQUIREMENTS FOR UNDERGROUND WORK AND WORK EMBEDDED IN SLABS INCLUDING UTILITY SERVICE, SANITARY SEWER, DRAINAGE AND IRRIGATION PRIOR TO START OF WORK. SPECIAL COORDINATION WITH UTILITY COMPANIES WILL BE REQUIRED TO COORDINATE GAS ELECTRIC CABLE AND WATER SERVICE LINES.
- ALL FOOTINGS SHALL REST ON FIRM UNDISTURBED OR COMPACTED SOIL. CONFORM TO SOILS REPORT.
- VERIFY ALL PLAN DIMENSIONS AND ROUGH OPENING REQUIREMENTS PRIOR TO START OF FRAMING.
- VERIFY SPACE REQUIRED FOR PLENUMS AND DUCTS WITH HEATING CONTRACTOR BEFORE START OF WORK.
- VERIFY SPACE REQUIRED AND COMPLIANCE WITH CODE REQUIREMENTS FOR PIPING AND DRILLING THROUGH STRUCTURAL WOOD MEMBERS BEFORE START OF WORK.
- BOLTS BEARING ON WOOD SHALL HAVE STANDARD CAST IRON ON MALLEABLE IRON WASHERS. BOLT HOLES SHALL BE DRILLED TO THE NET DIAMETER OF BOLTS.
- WHERE PLYWOOD SHEATHING IS USED ON ROOF OR FLOOR, SHEETS SHALL BE LAID PERPENDICULAR TO DIRECTION OF JOISTS OR RAFTERS. PLYWOOD SHEETS SHALL BE STAGGERED.

CODE REVIEW:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2010 SAN FRANCISCO BUILDING CODE.
- ALL MECHANICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2010 SAN FRANCISCO MECHANICAL CODE.
- ALL PLUMBING CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2010 SAN FRANCISCO PLUMBING CODE.
- ALL ELECTRICAL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2010 SAN FRANCISCO ELECTRICAL CODE.
- ALL ENERGY EFFICIENCY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2010 SAN FRANCISCO ENERGY CODE.
- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE SHALL BE PROCEEDING AT HIS OWN RISK.
- OMISSIONS FROM THE DRAWINGS AND SPECIFICATION OR THE MISDESCRIPTION OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECS.
- PORTIONS OF THE WORK NOT SPECIFICALLY SHOWN OR DETAILED ON THE DRAWINGS, BUT WHICH ARE REQUIRED AND NECESSARY FOR FINAL APPROVAL OF THE WORK BY THE AUTHORITIES IN JURISDICTION SHALL BE CONSTRUED TO BE INCLUDED IN THE SCORE OF WORK AND SHALL BE INCLUDED IN THE CONTRACTORS BID TO THE OWNER AND SHALL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- OWNER SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED BY GOVERNMENT AUTHORITIES HAVING JURISDICTION OVER THIS WORK.
- DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- SUBCONTRACTORS SHALL COOPERATE WITH EACH OTHER, CORRECTING AND COORDINATING THEIR WORK IN SUCH MANNER AS NOT TO DELAY OR INTERFERE WITH WORK OF OTHERS.
- APPLIANCES, CABINETS, LIGHT FIXTURES, FLOOR COVERINGS, AND ALL FINISHES SHALL BE APPROVED BY OWNER PRIOR TO PURCHASE AND INSTALLATION.
- CONVENIENCE OUTLETS IN BATHROOMS, OUTDOORS, AND GARAGES (OTHER THAN LAUNDRY AND SIMILAR EQUIPMENT) SHALL BE GFI PROTECTED, NEC ART. 210-52.
- THE ELECTRICAL SYSTEM GROUND TO BE PROVIDED PER NEC. 250-85.
- IN ALL NEW CONSTRUCTION BRANCH CIRCUITRY PANELS SHALL BE SIZED TO PROVIDE FOUR (4) FULL SIZE SPACE CIRCUIT SPACES FOR FUTURE EXPANSION PURPOSES.
- NO BRANCH CIRCUIT PANEL OR PROTECTIVE DEVICES SHALL BE INSTALLED IN BATHROOMS, CLOTHES CLOSETS, LAUNDRY CLOSETS, PANTRIES, AND SIMILAR TYPE CLOSETS, OR WATER HEATER AND FURNACE COMPARTMENTS.
- SMOKE DETECTORS SHALL BE HARD WIRED.
- ELECTRICAL OUTLET GASKETS ARE REQUIRED AT ALL EXTERIOR WALLS.

PLUMBING:

- TOILETS SHALL HAVE A MAXIMUM OF 3-1/2 GALLONS PER FLUSH.
- SHOWER HEAD FLOW SHALL NOT EXCEED 3 GALLONS PER MINUTE AT 40 PSI.
- WATER PRESSURE IN BUILDING SHALL BE LIMITED TO 80 PSI OR LESS.
- ALL TUB AND SHOWER ENCLOSURES SHALL BE TEMPERED GLASS.
- FINISH OF SHOWER AND TUB WALLS TO BE TILE OR A WATERPROOF MATERIAL TO A HEIGHT OF 6'-0" ABOVE FINISHED FLOOR.
- PROVIDE A MINIMUM 12"x12" ACCESS PANEL OR UTILITY SPACE FOR ALL PLUMBING FIXTURES HAVING CONCEALED SLIP-JOINT CONNECTIONS.
- ALL FLASHING OF EXTERIOR OPENINGS SHALL COMPLY TO SECTION 3203 UBC.

WINDOW:

- ALL EGRESS OR RESCUE FROM BEDROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. MINIMUM NET CLEAR OPENINGS SHALL BE 20 INCHES FOR WIDTH AND 24 INCHES FOR HEIGHT. SILL HEIGHTS SHALL NOT BE MORE THAN 44 INCHES ABOVE FINISHED FLOOR.
- WINDOWS WITHIN 12 INCHES OF A DOOR SHALL BE TEMPERED GLAZING.
- WINDOWS WHICH HAVE A GLAZED AREA IN EXCESS OF 9 SQUARE FEET AND THE LOWEST EDGE IS LESS THAN 18" ABOVE THE FINISHED FLOOR SHALL HAVE TEMPERED GLASS.
- ALL WIDOW FRAMES SHALL BE WHITE BAKED ENAMEL ALUMINUM U.N.O.
- ALL OPENED VENTS SHALL BE SCREENED INCLUDING SLIDING GLASS DOORS.
- ALL WINDOWS WITHIN TUB/SHOWER ENCLOSURES THAT HAVE SILLS WITHIN 60" ABOVE FINISHED FLOOR SHALL BE TEMPERED.

DOORS:

- INTERIOR DOORS SHALL BE 1-3/8" HOLLOW CORE, STAIN GRADE WOOD, PRE-HUNG ON WOOD FRAMES.
- ENTRY DOOR SHALL BE 1-3/4" SOLID CORE WOOD STAIN GRADE, WITH PANELS AND PEEP HOLE STYLE SHALL BE SELECTED BY OWNER.
- GARAGE/ENTRY DOOR SHALL BE 1-3/4" SOLID CORE WOOD STAIN GRADE, WITH SELF CLOSING HARDWARE.
- ALL EXIT DOORS SHALL BE OPENED FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED AT EXIT DOORS.
- ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPED.
- ALL SLIDING GLASS DOORS SHALL HAVE TEMPERED GLAZING.
- ALL GLAZING IN DOORS SHALL BE TEMPERED GLASS EXCEPT AS NOTED.

WEATHER PROTECTION:

- WEATHERPROOF EXTERIOR CONSTRUCTION PER CBC SEC. 1707.
- PROVIDED CORROSION PROTECTION FOR ALL HARDWARE EXPOSED TO THE EXTERIOR.
- PROVIDE FLASHING A INTERSECTION OF ROOF AND VERTICAL SURFACES.

ABBREVIATIONS:

A.B.	ANCHOR BOLT
ACT	ACOUSTICAL CEILING TILE
A.F.F.	ABOVE FINISH FLOOR
AL BD	ALUMINIUM BOARD
AGGR.	AGGREGATE
AL	ALUMINIUM
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG	BLOCKING
BM	BEAM
B.U.R.	BUILT UP ROOFING
CLG.	GEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT.	CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
DEG	DEGREE
DET	DETAIL
DIAG.	DIAGONAL
DIA	DIAMETER
DR	DOOR
DN	DOWN
(E)	EXISTING
E/A	EACH
EL OR ELEV.	ELEVATION
ELEC	ELECTRICAL
EP	EPOXY PAINT
EQ.	EQUAL
E.W	EACH WAY
EXIST	EXISTING
EXT	EXTERIOR
FIN FLR	FINISH FLOOR
FWC	FABRIC WALL COVERING
GB	GYPSPUM BOARD
GYP	GYPSPUM
HM	HOLLOW METAL
INSUL	INSULATION
INT	INTERIOR
MAT	MATERIAL
MET.	METAL
MFR	MANUFACTURER
O.A.	ON CENTERS
O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
P	PAINT
PLY.	PLYWOOD
Q.T.	QUARRY TILE
S.G.	SAFETY GLAZING
SIM	SIMILAR
TEMP	TEMPERED
TYP	TYPICAL
VB	VINYL BASE
VCT OR VIN	VINYL COMPOSITION TILE
WD	WOOD
W.R.	WATER RESISTANT

OWNERSHIP OF DRAWINGS:

DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THIS ARCHITECT WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED AND CONSTRUCTED OR NOT. THESE DOCUMENTS ARE NOT TO BE REPRODUCED IN ANY FORM AND THEY ARE NOT TO BE USED BY THE PROJECT OWNER NOR ANY OTHER ENTITY ON ANY OTHER PROJECTS OR FOR ANY EXTENSIONS OR ADDITIONS OR ALTERATIONS TO THE ORIGINAL PROJECT EXCEPT BY WRITTEN AUTHORIZATION AND PERMISSION FROM AND AGREEMENT WITH THIS ARCHITECT.

PROJECT INFORMATION

OWNERS: SUSAN & EDWARD WALSZAK
 ADDRESS: 1810 GREEN STREET
 SAN FRANCISCO, CA 94123

BLOCK & LOT: 543 / 43

OCCUPANCY & USE: R3 - RESIDENTIAL TWO FAMILY

ZONING DISTRICT: RH-2

HISTORIC STATUS: A-HISTORIC RESOURCE PRESENT

NUMBER OF STORIES: 4

CONSTRUCTION TYPE: TYPE V-N

PLANNING DISTRICT: MARINA DISTRICT

LOT SIZE: 2,500 S.F. (25'X100')

HEIGHT DISTRICT: 40-X
 BUILDING HEIGHT: 39' - 2"

PROPOSED BUILDING HEIGHT @ UPPER FLOOR: 39'- 8"
 MASTER BEDROOM ONLY

BUILDING AREA CALCULATIONS

EXISTING UPPER LEVEL: 710.38 S.F.
 PROPOSED ADDITIONS: **103.80 S.F.**
 NEW TOTAL: 814.18 S.F.

EXISTING LOWER LEVEL: 1,159.18 S.F. (NO CHANGE)

NEW PROJECT TOTAL: 1,973.36 S.F.

DECKS:
 EX. FRONT TERRACE: 326.00 S.F.
 PROPOSED: 303.50 S.F. (-22.5 SF)
 EX. REAR TERRACE: 310.00 S.F.
 PROPOSED: 229.12 S.F. (-81.67 SF)
 N. ROOFTOP DECK: 198.50 S.F.

NEW DECK TOTALS: **731.12 S.F.**

SETBACKS:

EXISTING:
 FRONT: 15' - 0" - NO CHANGE
 SIDE YARD: 0' - 0" - NO CHANGE
 REAR: 15' - 0" - NO CHANGE

APPLICABLE CODES:

PLANNING CODE: 2007 SF PLANNING WITH ALL AMENDMENTS TO PRESENT DATE.

INDEX TO DRAWINGS:

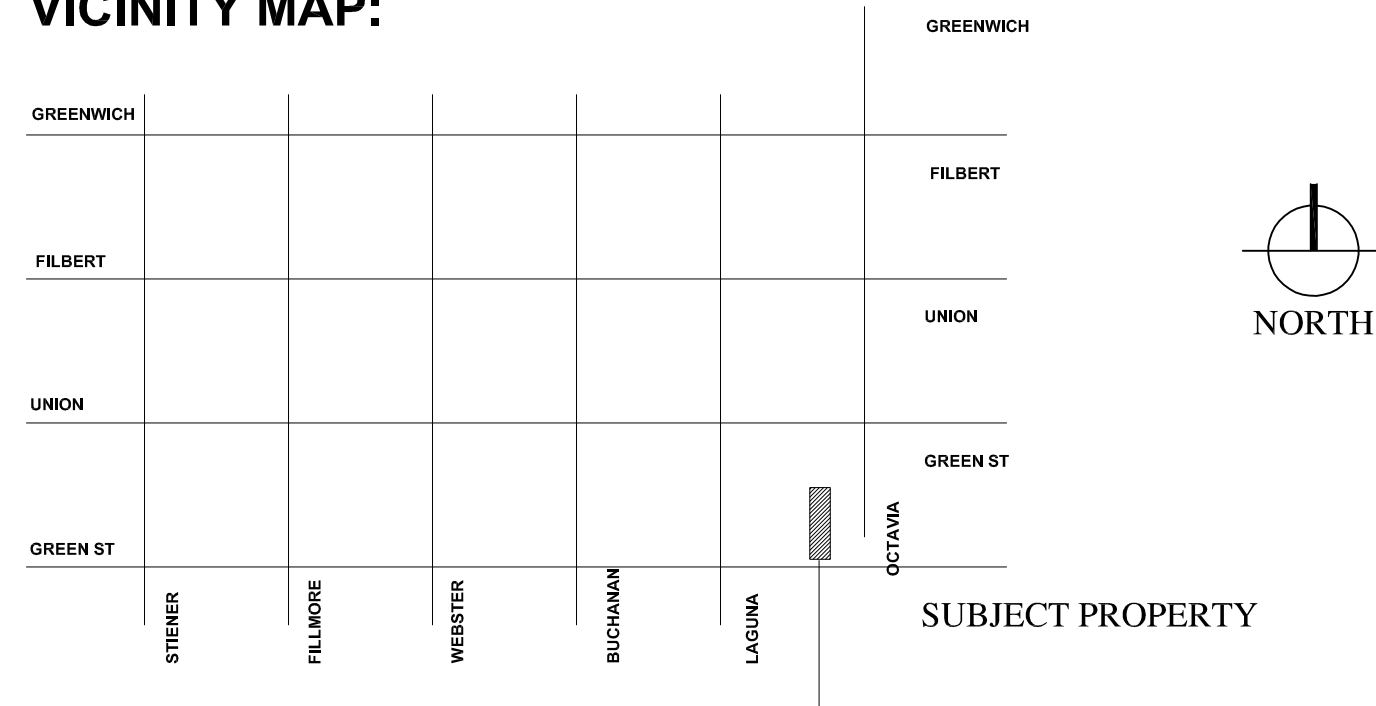
- TS1.0 TITLE SHEET, PROJECT DATA, VICINITY MAP
- A1.0 EX. & PROPOSED SITE PLANS
- A1.1 EX. 1ST LEVEL FLOOR PLAN - BASEMENT LEVEL
- A2.0 EX. & PROPOSED 3RD LEVEL FLOOR PLANS
- A2.1 EX. & PROPOSED 4TH LEVEL FLOOR PLANS
- A2.2 EX. & PROPOSED ROOF PLANS
- A3.0 EX. & PROPOSED SOUTH ELEVATIONS
- A3.1 EX. & PROPOSED NORTH ELEVATIONS
- A3.2 EX. & PROPOSED EAST & WEST ELEVATIONS
- A4.0 PROPOSED BUILDING SECTION
- A4.1 EX. & PROPOSED BUILDING SECTIONS

PROJECT DESCRIPTION:

PROJECT CONSISTS OF ADDING A LAUNDRY ROOM 6'-5" X 12'-6" TO THE EXISTING REAR DECK AREA. ALL EXTERIOR FINISHES AND HEIGHTS ARE TO MATCH EXISTING AND IN KIND.

WE ALSO PROPOSE TO RELOCATE THE EXISTING FRONT DECK DOOR TO A SIDE "BUMP-OUT" WITH AN ADDED SMALL INTERIOR CLOSET SPACE ON THE WESTERN SIDE OF THE BUILDING.

VICINITY MAP:



PERMITS:

INTERIOR PERMITS 2016 - 0301 - 0874

NOV 2016 - 1006 - 9720

WINDOW REPLACEMENT PERMIT: 2016 - 1006 - 9721

LAUNDRY ROOM & SIDE ADDITION 2016 - 0301 - 0868

ROYO architects
 Reynaldo R. Royo, AIA
 3221 Buchanan Street Ste #69, SF, CA 94123
 415-674-1473 rroyo@comcast.net

WALCZAK RESIDENCE
 1810 GREEN STREET
 SAN FRANCISCO, CA 94123

BLOCK 543 / LOT 43

JOB # 100715-1

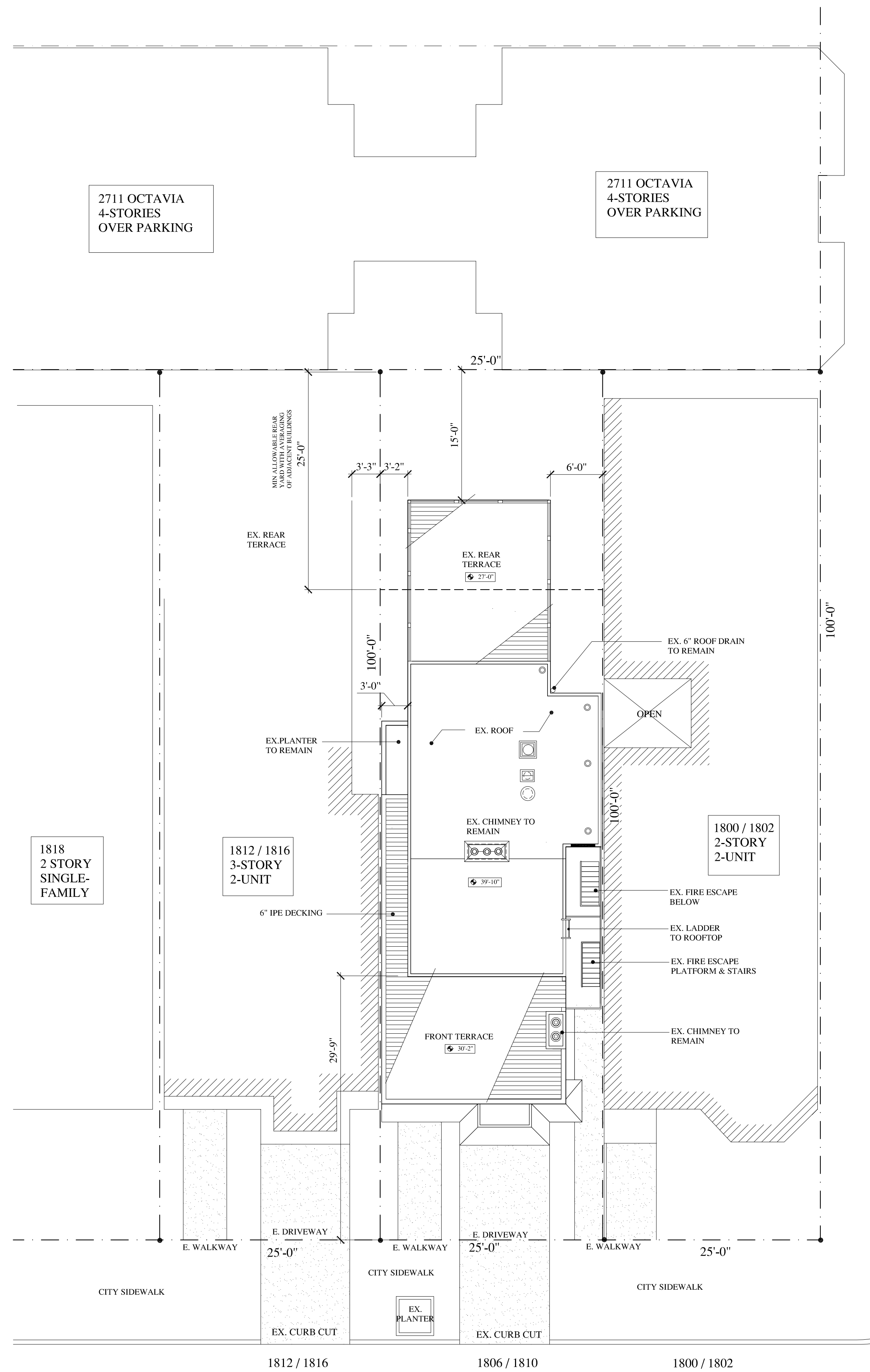
REVISIONS:

TITLE SHEET
 GENERAL NOTES
 PROJECT DATA

Scale: AS NOTED

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Date: 03/23/2017

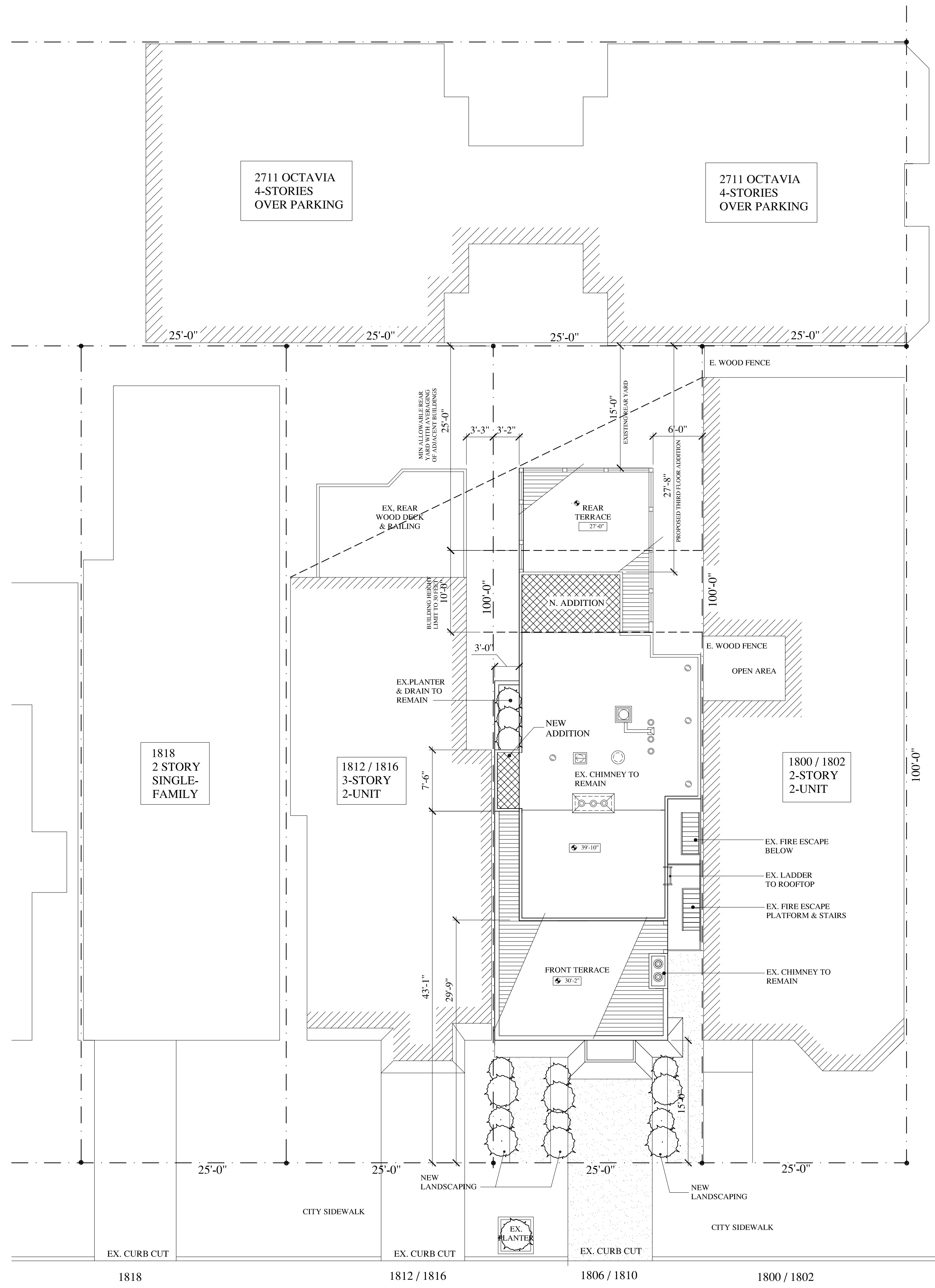
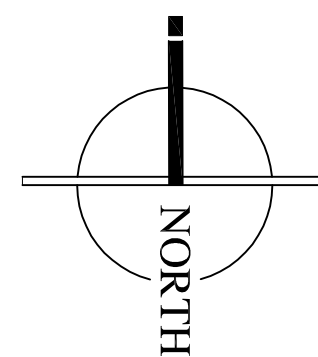


GREEN STREET

2 EX. SITE PLAN
SCALE: 1/8" = 1' - 0"

OCTAVIA STREET

OCTAVIA STREET



GREEN STREET

1 PROPOSED SITE PLAN
SCALE: 1/8" = 1' - 0"

OCTAVIA STREET

OCTAVIA STREET

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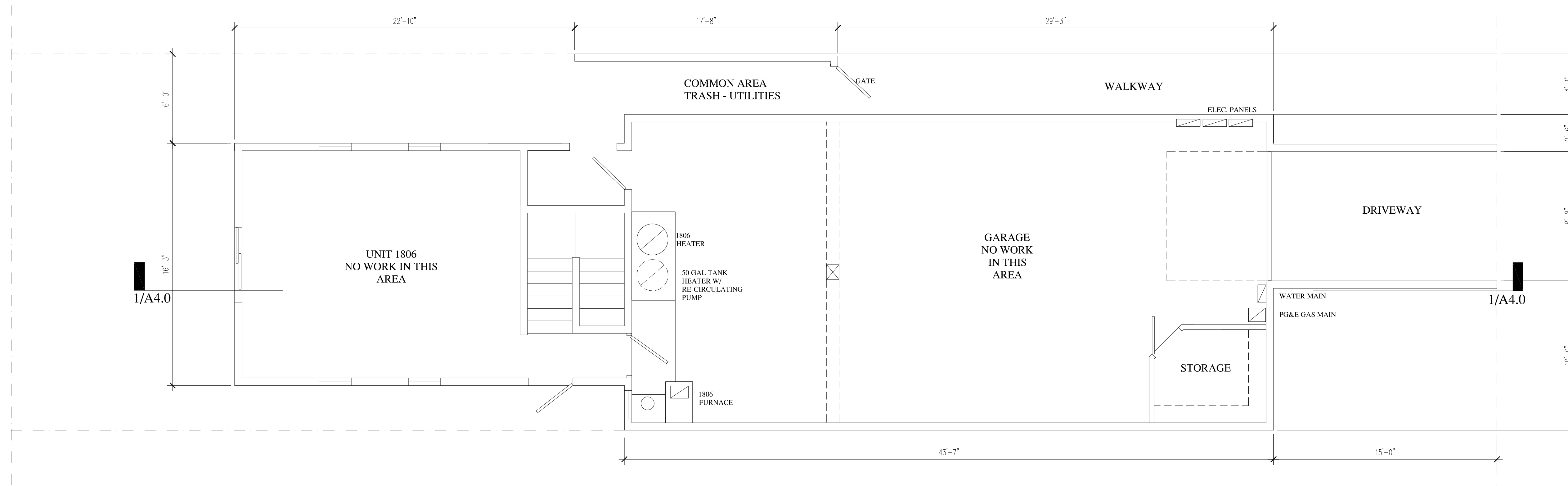
REVISIONS:

EXISTING & PROPOSED SITE PLAN

Scale: AS NOTED

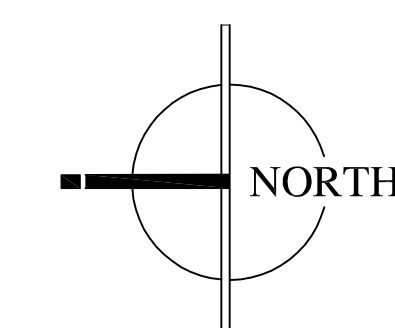
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Date: 03/23/2017



1 EX. 1ST. FLOOR / BASEMENT LEVEL - (NO WORK OR CHANGES IN THIS AREA)
 SCALE: 1/4" = 1' - 0"

— EX. WALL TO REMAIN



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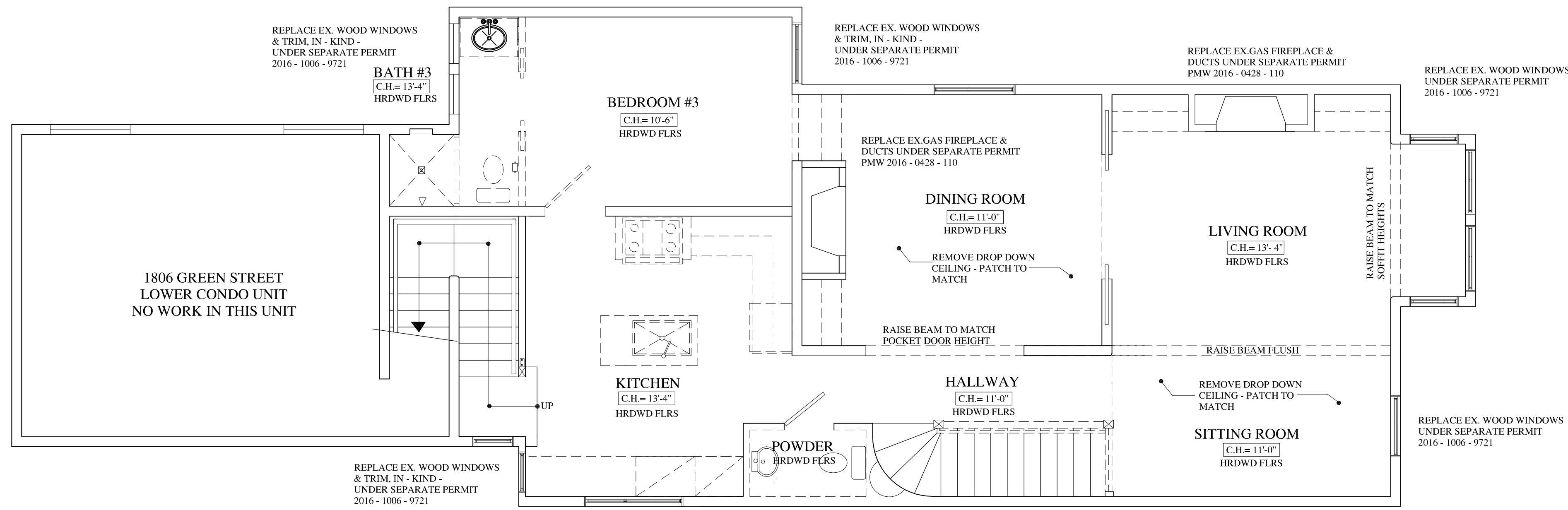
REVISIONS:

EX. 1ST LEVEL FLOOR PLAN

Scale: AS NOTED

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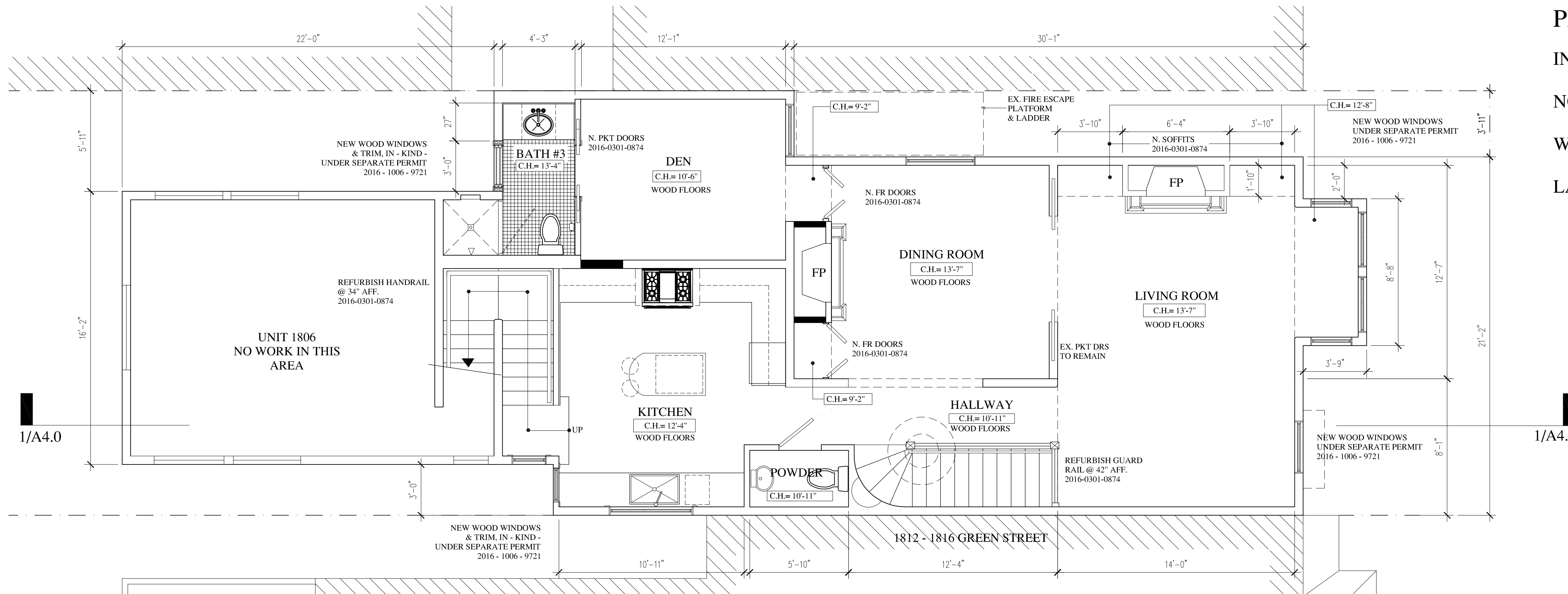
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DEMOLITION PLAN

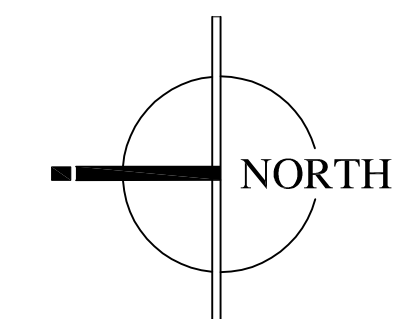
1 EXISTING 3RD FLOOR - LOWER LEVEL - (INTERIOR REMODELING WORK IN THIS AREA ONLY)
SCALE: 1/4" = 1' - 0"

- EX. WALL TO REMAIN
- WALL TO BE REMOVED



2 PROPOSED 3RD FLOOR - LOWER LEVEL - (INTERIOR REMODELING WORK IN THIS AREA ONLY)
SCALE: 1/4" = 1' - 0"

- EX. WALL TO REMAIN
- NEW WALL TO MATCH EX.
- WALL TO BE REMOVED



3RD FLOOR INTERIOR ONLY SCOPE OF WORK:

1. RELOCATE BEDROOM #3 ENTRANCE FROM KITCHEN TO DINING ROOM
2. REMODEL KITCHEN AND LOWER CEILING - NEW APPLIANCES
3. COMPLETE REMODEL OF 1.5 BATHROOMS - IN KIND- NEW TILE FLOORS
4. RESTORE STAIR TREADS, SKIRTBOARD AND HANDRAILS
5. RE-BUILD GUARDRAIL AND POST - REMOVE OLD
6. REMOVE DROP CEILING OVER SITTING ROOM - PATCH TO MATCH
7. REMOVE DROP CEILING IN DINING ROOM - PATCH TO MATCH
8. REMOVE DIAGONAL CEILING OVER BEDROOM #3 - PATCH TO MATCH- FLAT
9. EXTEND BATHROOM #3 WALL 24" & ADD NEW POCKET DOORS.
10. NEW FIREPLACE SURROUNDS & CASEWORK @ LIVING & DINING ROOM
11. NEW CROWN MOLDING, WINDOW AND DOOR TRIM THROUGH OUT
12. NEW BASEBOARD WITH POWER OUTLETS
13. NEW HARDWOOD FLOORING AND INSULATION MATS - REMOVE OLD
14. WINDOW REPLACEMENT UNDER SEPARATE PERMIT 2016-1006-9721
15. REPLACE EX. GAS FIREPLACE IN-KIND - SEPARATE PERMIT PMW 2016-1019-959
16. REPLACE EX. INSULATION W/ NEW OPEN CELL SPRAY FOAM INSULATION
17. RAISE LIVING ROOM BEAM FLUSH WITH CEILING - PATCH TO MATCH
18. RAISE BEAM OVER BAY WINDOW FLUSH WITH NEW SOFFITS
19. RAISE DINING ROOM BEAM FLUSH WITH POCKET DOOR HEIGHT
20. ALL NEW MECHANICAL FANS, SUPPLY AND RETURN DUCTS

PERMITS:

INTERIOR PERMITS	2016 - 0301 - 0874
NOV	2016 - 1006 - 9720
WINDOW REPLACEMENT PERMIT:	2016 - 1006 - 9721
LAUNDRY ROOM & SIDE ADDITION	2016 - 0301 - 0868

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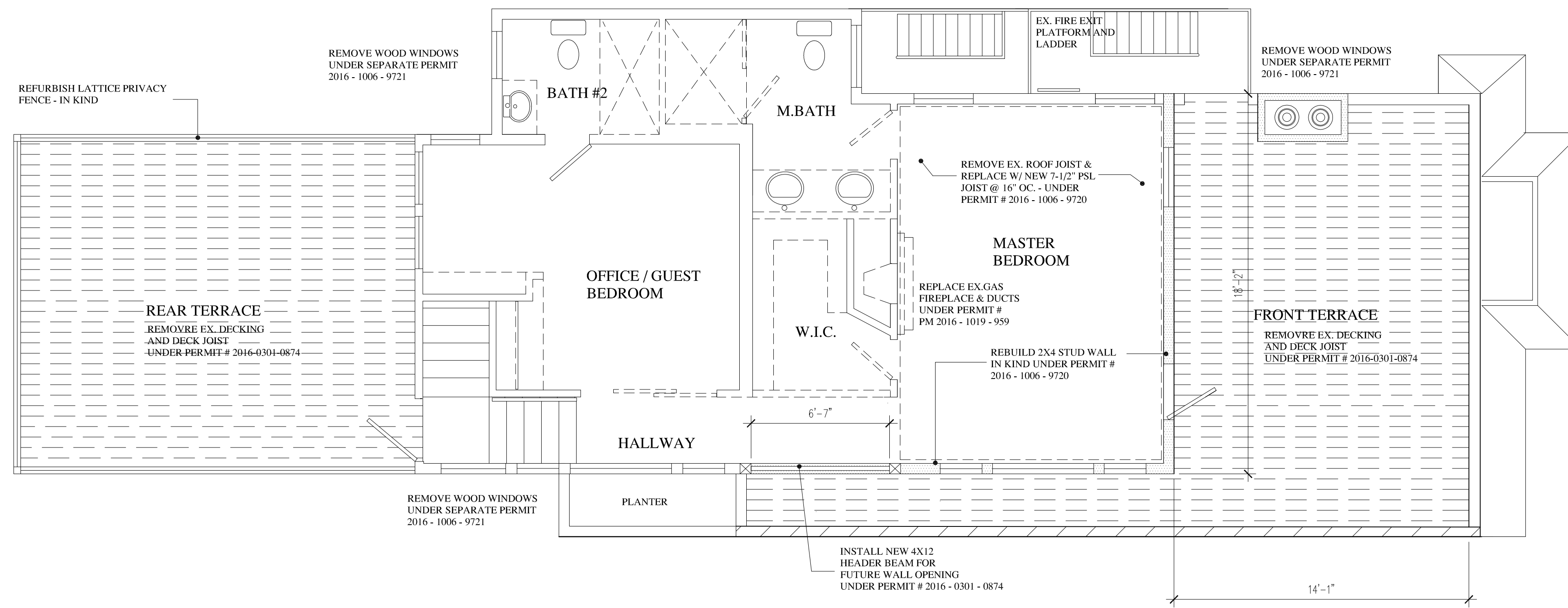
REVISIONS:

UPPER & LOWER
LEVEL FLOOR
PLANS

Scale: AS NOTED

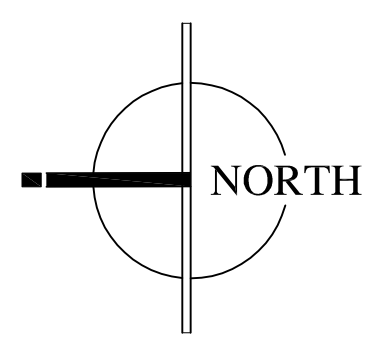
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Date: 03/23/2017



1 EX. 4TH FLOOR - UPPER LEVEL - DEMOLITION PLAN
SCALE: 1/4" = 1' - 0"

- EX. WALL TO REMAIN
- WALL TO BE REMOVED
- N. WALL RE-BUILD IN KIND



4TH FLOOR SCOPE OF WORK -

PERMIT 2016-0301-0874

1. NEW POCKET DOORS @ MASTER BED & BATH
2. NEW POCKET DOOR @ MASTER CLOSET
3. COMPLETE REMODEL OF 2 BATHROOMS - IN KIND- TILE FLOORS
4. NEW STAIR TREADS, SKIRTBOARD AND HANDRAILS - REMOVE OLD
5. NEW FIREPLACE SURROUNDS & CASEWORK @ LIVING & DINING ROOM - UNDER SEPARATE PERMIT - PM 2016 - 1019 - 959
6. NEW CROWN MOLDING, WINDOW AND DOOR TRIM - REMOVE OLD
7. NEW BASEBOARD - REMOVE OLD
8. NEW HARDWOOD FLOORING - REMOVE OLD
9. REPAIR DRY ROT @ FRONT TERRACE - MASTER BEDROOM WALLS.
10. REPLACE EX. REDWOOD DECKING WITH IPE DECKING. FRONT AND REAR DECKS
11. REPAIR WATERPROOF MEMBRANE & DECK DRAIN W/ OVERFLOW AT FRONT AND REAR DECKS.
12. REFURBISH PRIVACY REDWOOD LATTICE FENCE AT REAR DECK- IN KIND
13. NEW WOOD WINDOWS UNDER SEPARATE PERMIT - 2016 - 1006 - 9721
14. REMOVE EX. CEILING JOIST & REPLACE WITH NEW 7-1/2" PSL JOIST @ 24" UNDER PERMIT # 2016 - 1006 - 9720
15. NEW SINGLE PLY THERMOPLASTIC ROOFING & GUTTERS
16. ADD NEW BEAMS AS SHOWN FOR NEW "BUMP-OUT" ADDITION.
17. REFURBISH FIRE RATED PARAPET WALL - ADD NEW GLASS TILE AS INDICATED

4TH FLOOR SCOPE OF WORK -

PERMIT 2016-0301 - 0868

1. RELOCATE DECK DOOR TO NEW SIDE "BUMP-OUT"
2. INSTALL NEW WOOD WINDOW TO MATCH ADJACENT WINDOWS IN KIND
3. NEW LAUNDRY ROOM AT REAR DECK AREA.

LEGEND:

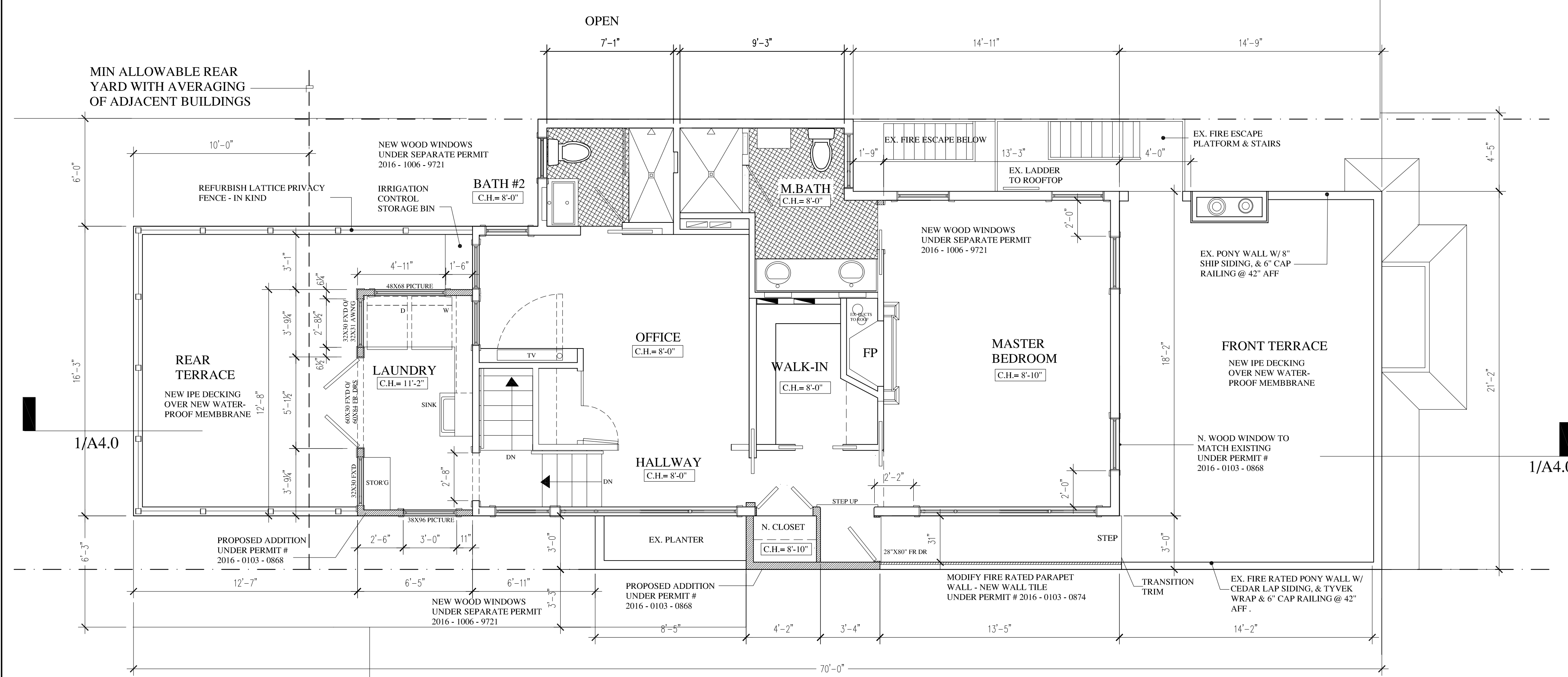
- EX. WALL TO REMAIN
- NEW WALL TO MATCH EX.
- WALL TO BE REMOVED

REPAIR IN-KIND DRY-ROT DAMAGED SIDING & WALLS.

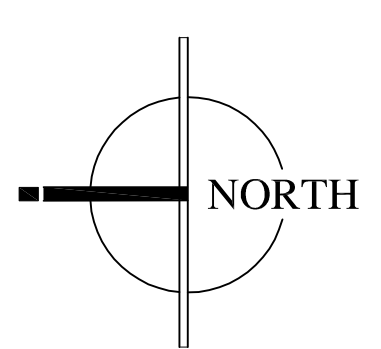
- WORK INCLUDES:
- REMOVE SIDING FOR DRY-ROT EXPLORATION
 - REPAIR TRY-ROT DAMAGE IN KIND (NEW MATERIALS)
 - RE-INSTALL SHIP LAP SIDING TO MATCH EXISTING.

PERMITS:

INTERIOR PERMITS	2016 - 0301 - 0874
NOV	2016 - 1006 - 9720
WINDOW REPLACEMENT PERMIT:	2016 - 1006 - 9721
LAUNDRY ROOM & ADDITION	2016 - 0301 - 0868



2 PROPOSED 4TH FLOOR - UPPER LEVEL
SCALE: 1/4" = 1' - 0"



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WALCZAK RESIDENCE
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BLOCK 543 / LOT 43

JOB # 100715-1

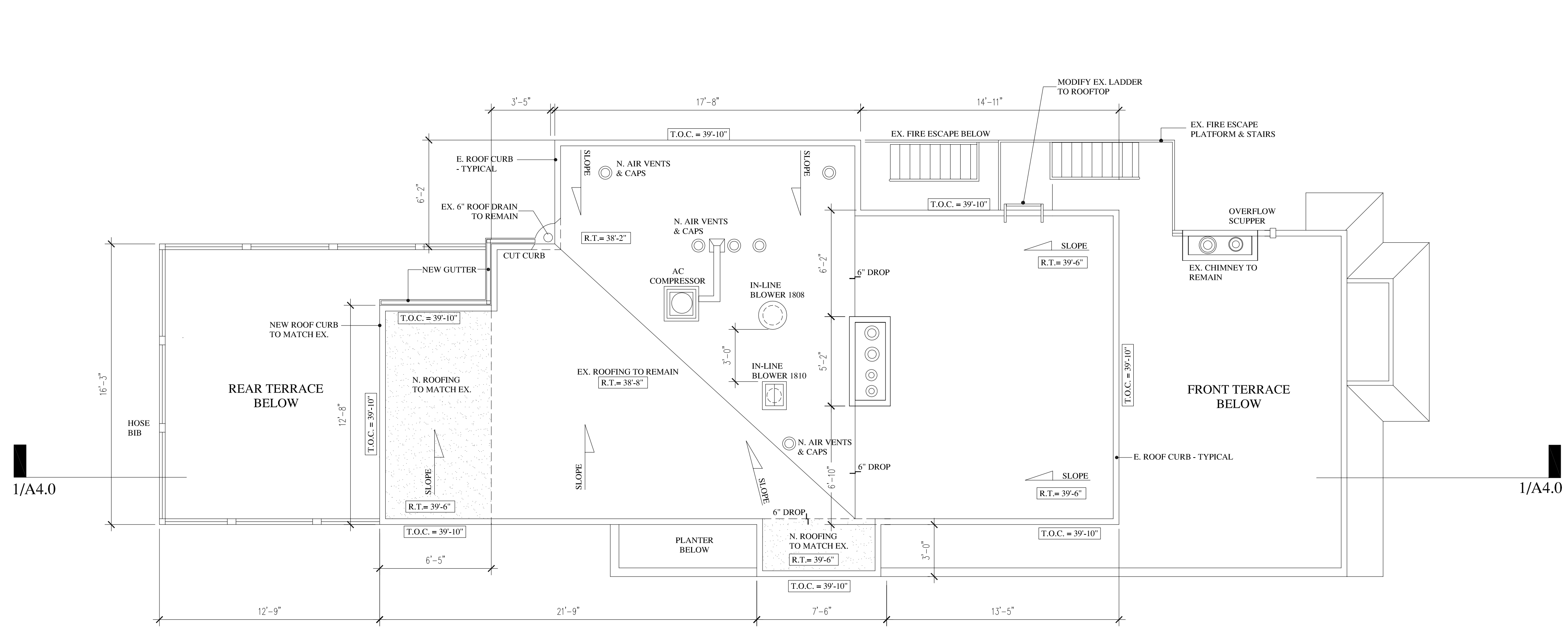
REVISIONS:

UPPER & LOWER LEVEL FLOOR PLANS

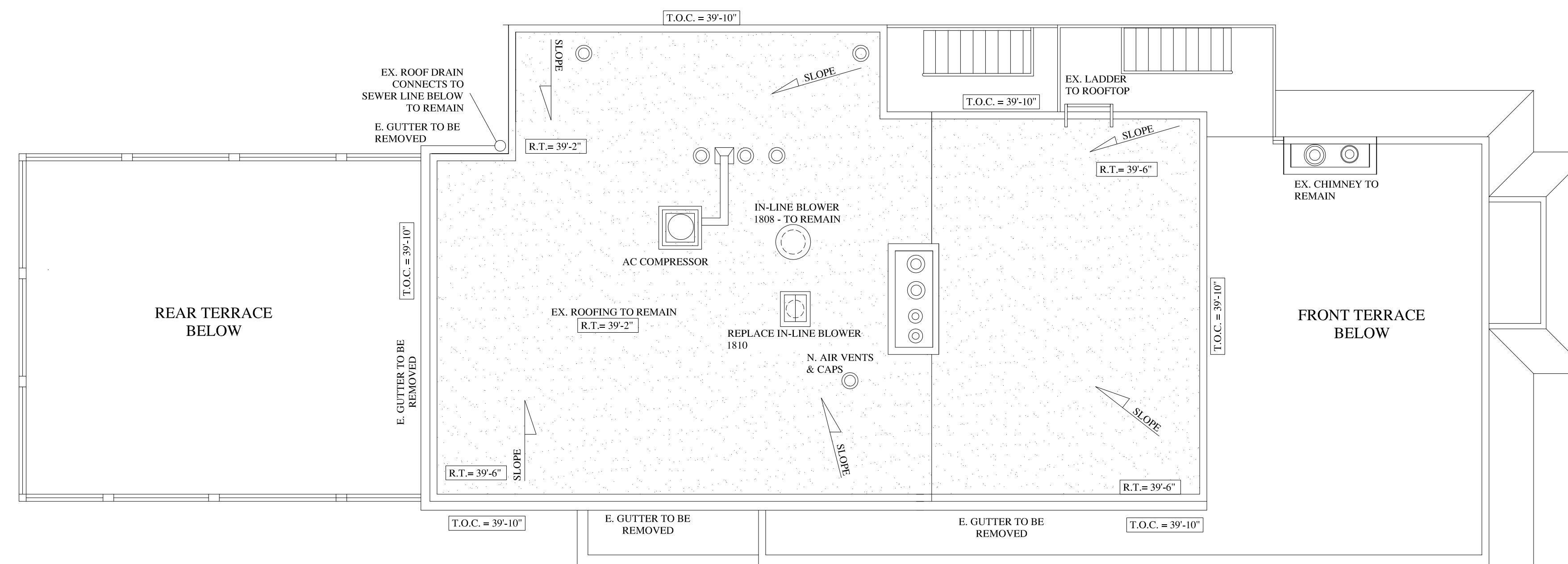
Scale: AS NOTED

A2.1

Date: 03/23/2016



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1' - 0"



2 EX. ROOF PLAN
SCALE: 1/4" = 1' - 0"

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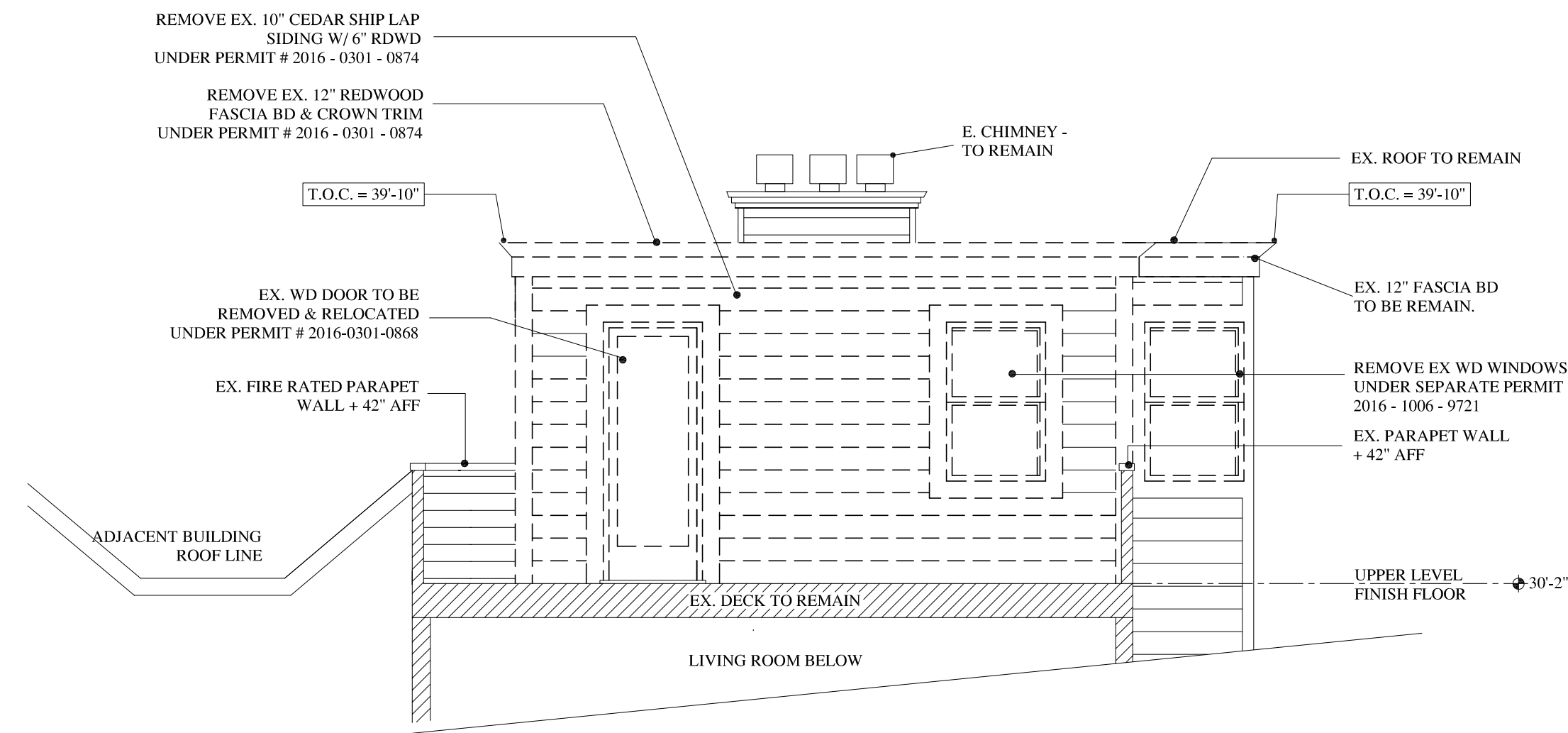
REVISIONS:

EX. & PROPOSED ROOF PLAN

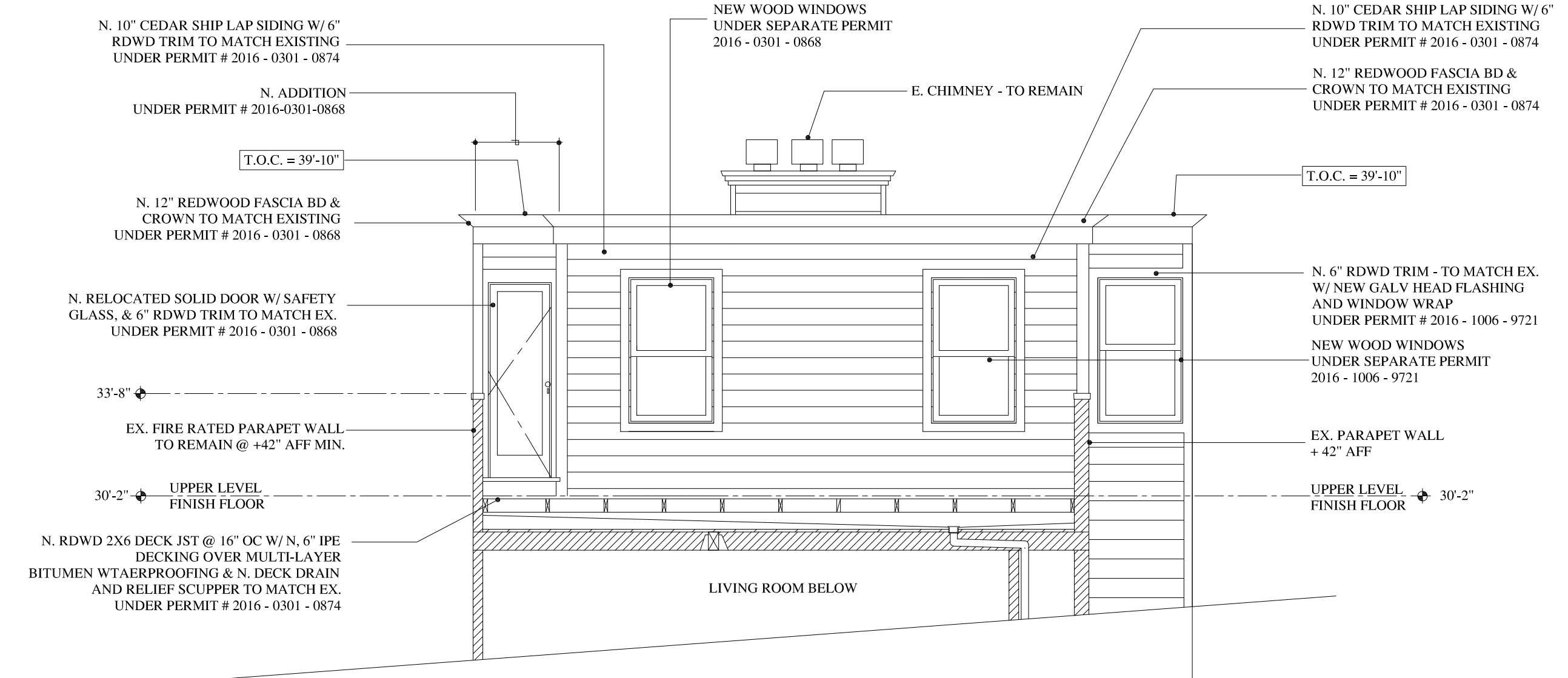
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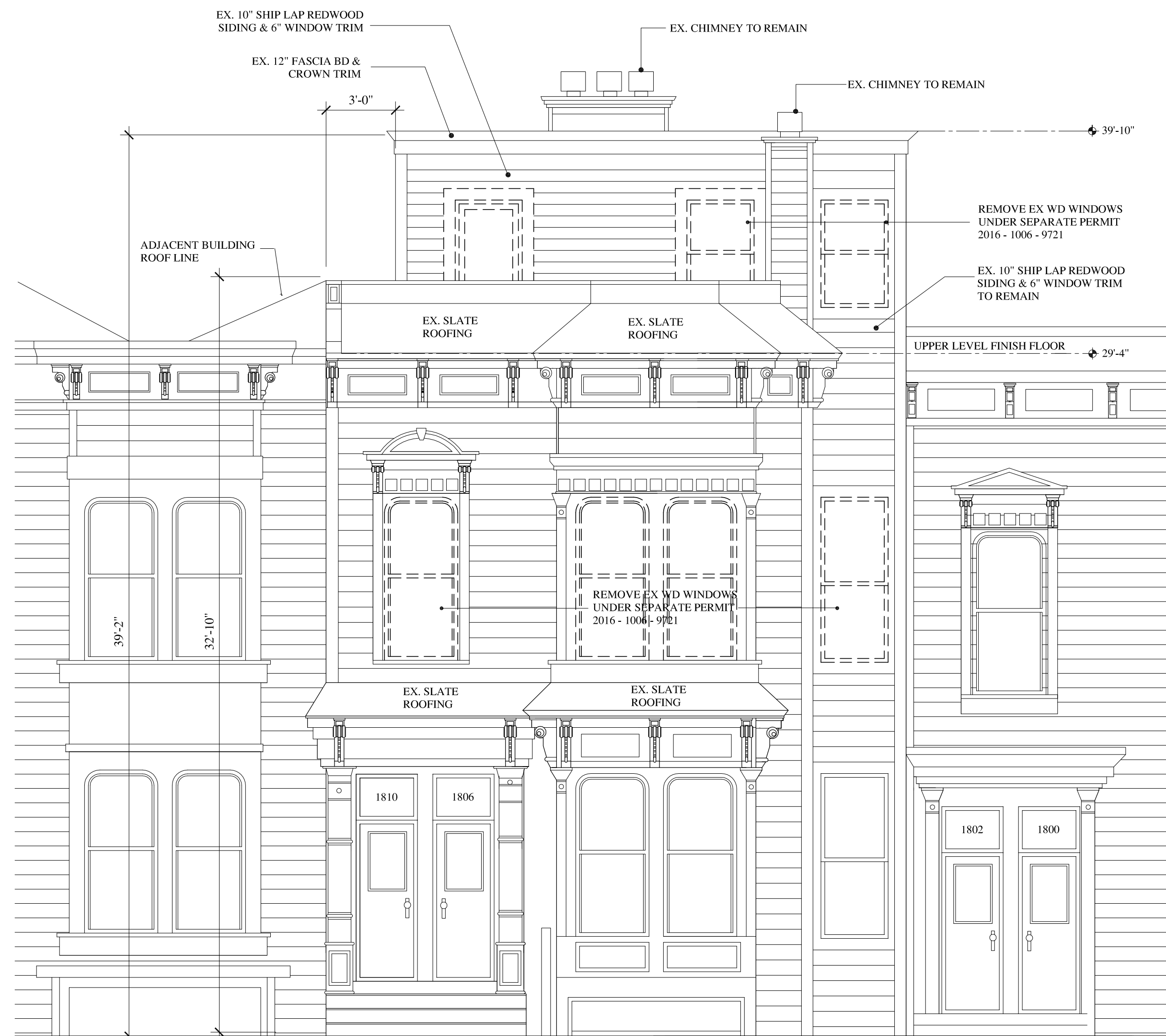
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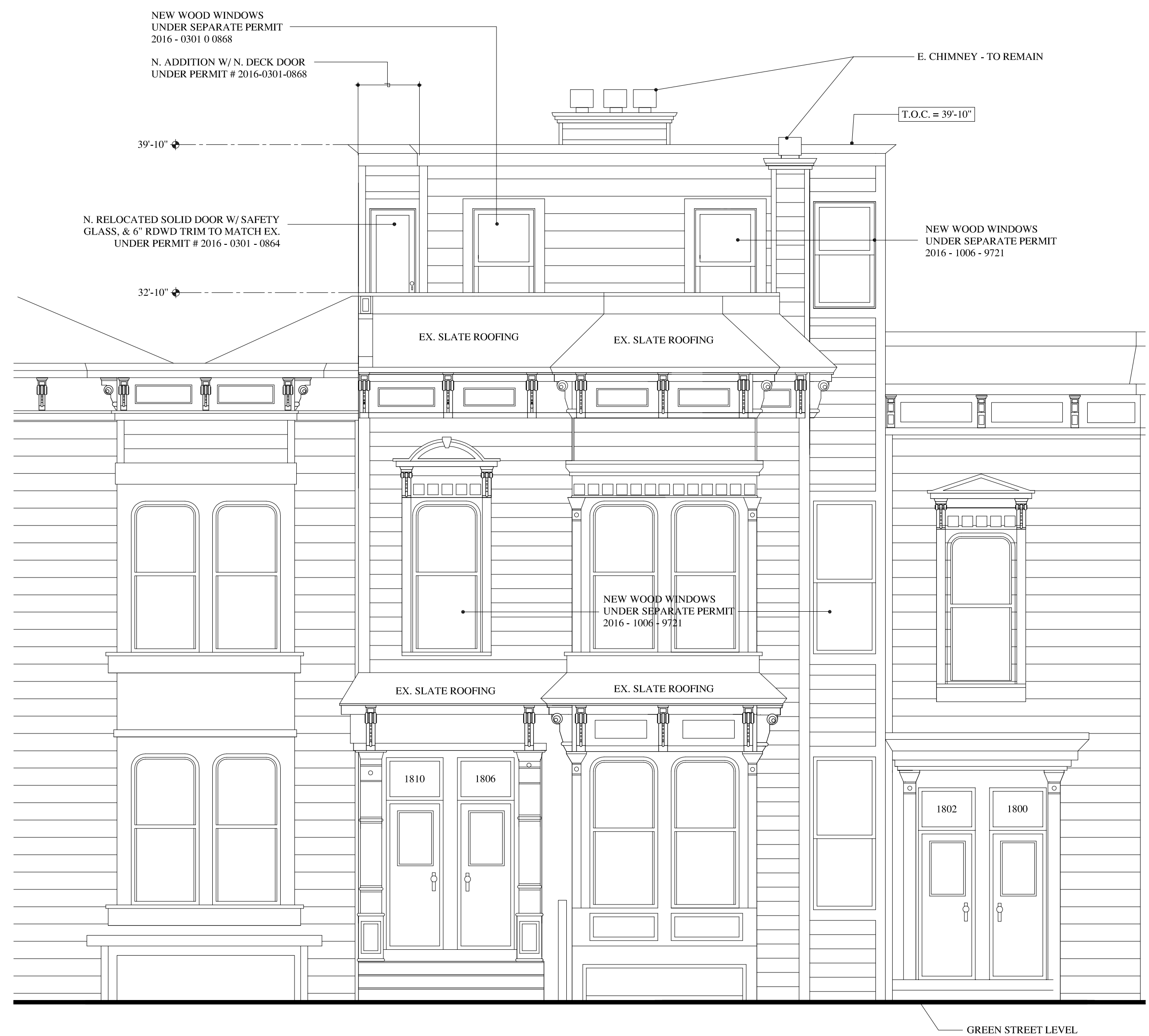
B EX. PARTIAL ELEVATION & DEMO PLAN
SCALE: 1/4" = 1' - 0"



A PROPOSED PARTIAL SECTION
SCALE: 1/4" = 1' - 0"



2 EX. SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"



1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"

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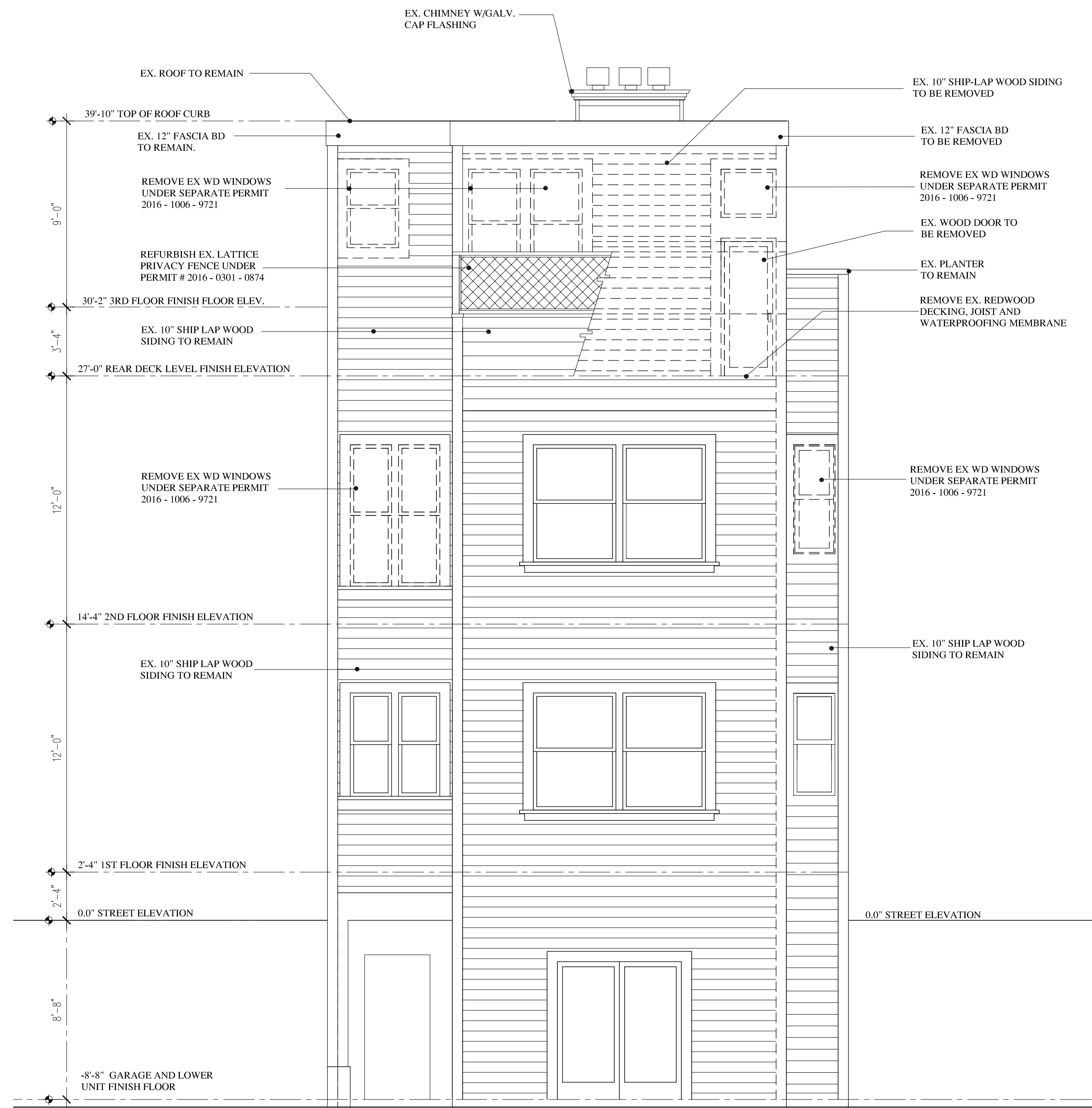
REVISIONS:

EX & PROPOSED
SOUTH
ELEVATIONS

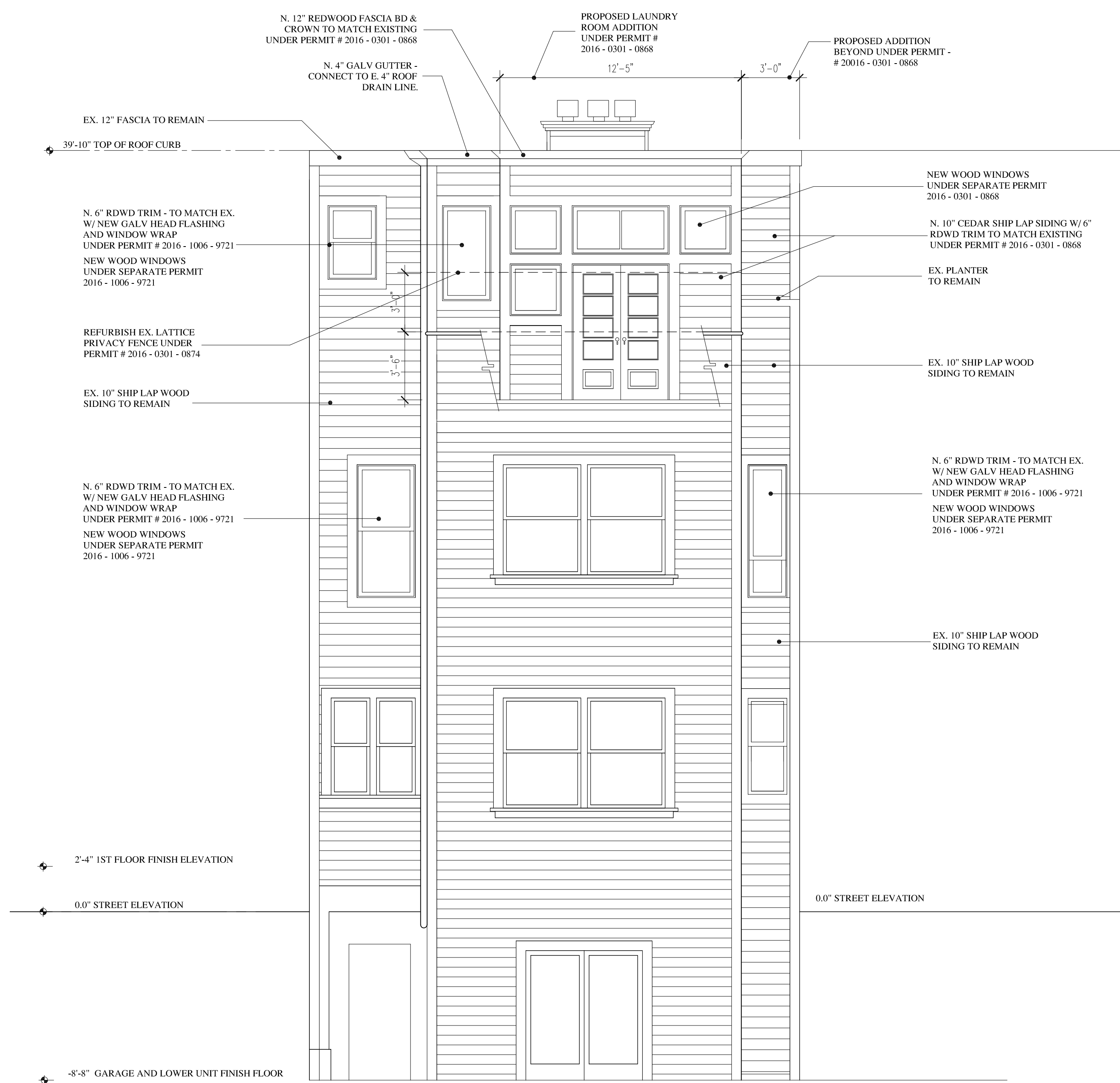
Scale: AS NOTED

A3.0

Date: 03/23/2017



2 EX. NORTH ELEVATION & DEMO PLAN
SCALE: 1/4" = 1' - 0"



1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

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WALCZAK RESIDENCE
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JOB # 100715-1

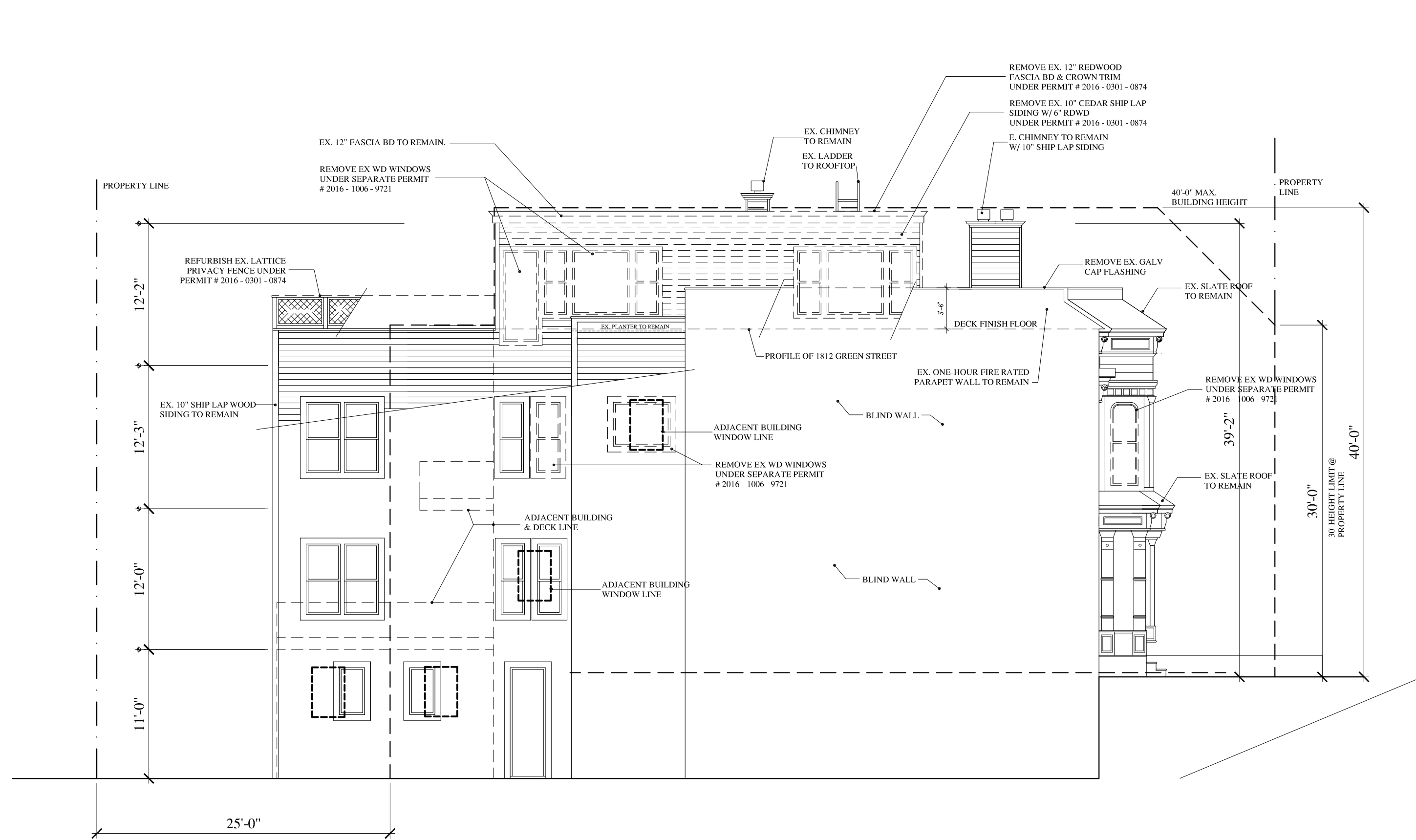
REVISIONS:

EX. & PROPOSED NORTH ELEVATION

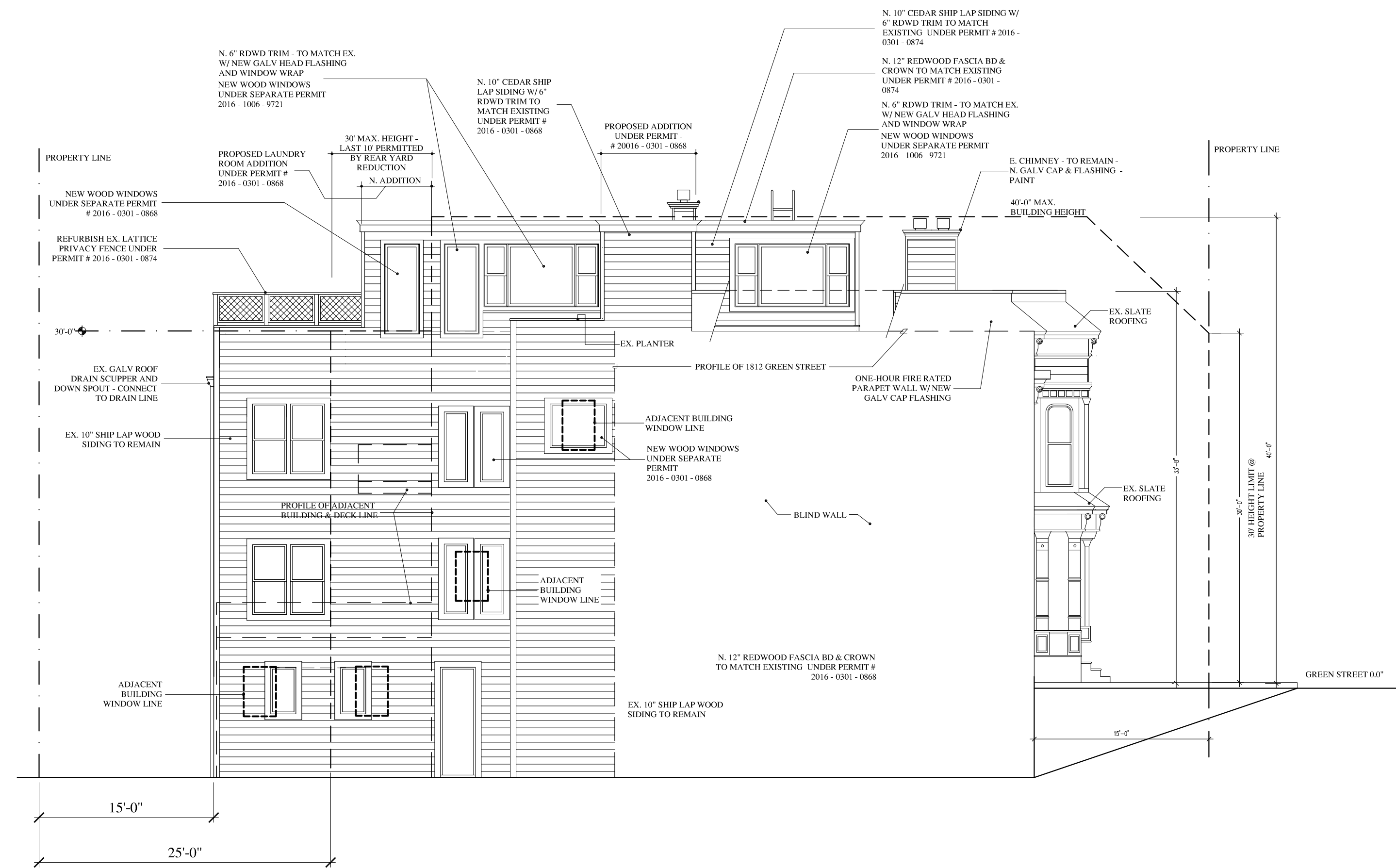
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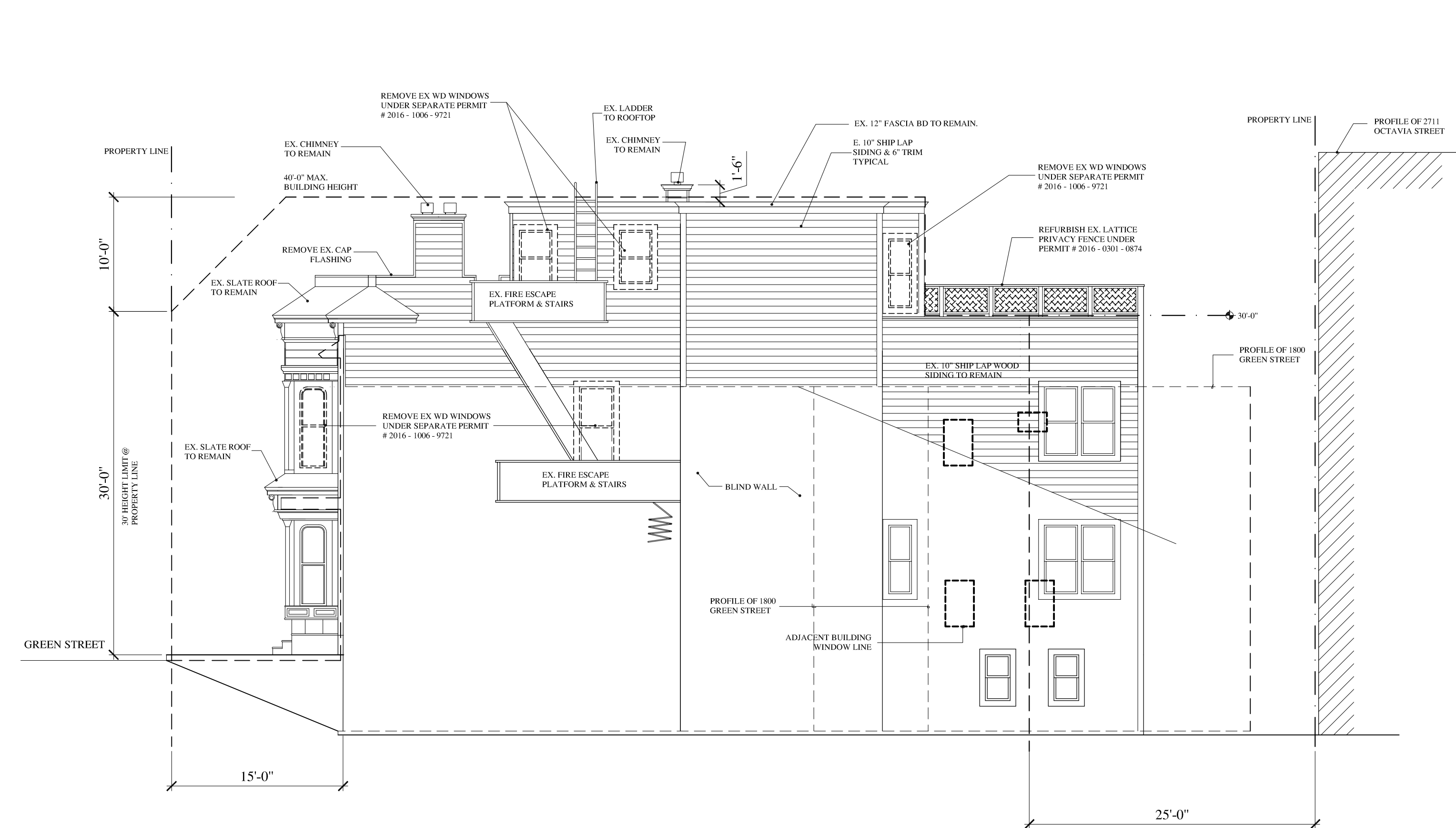
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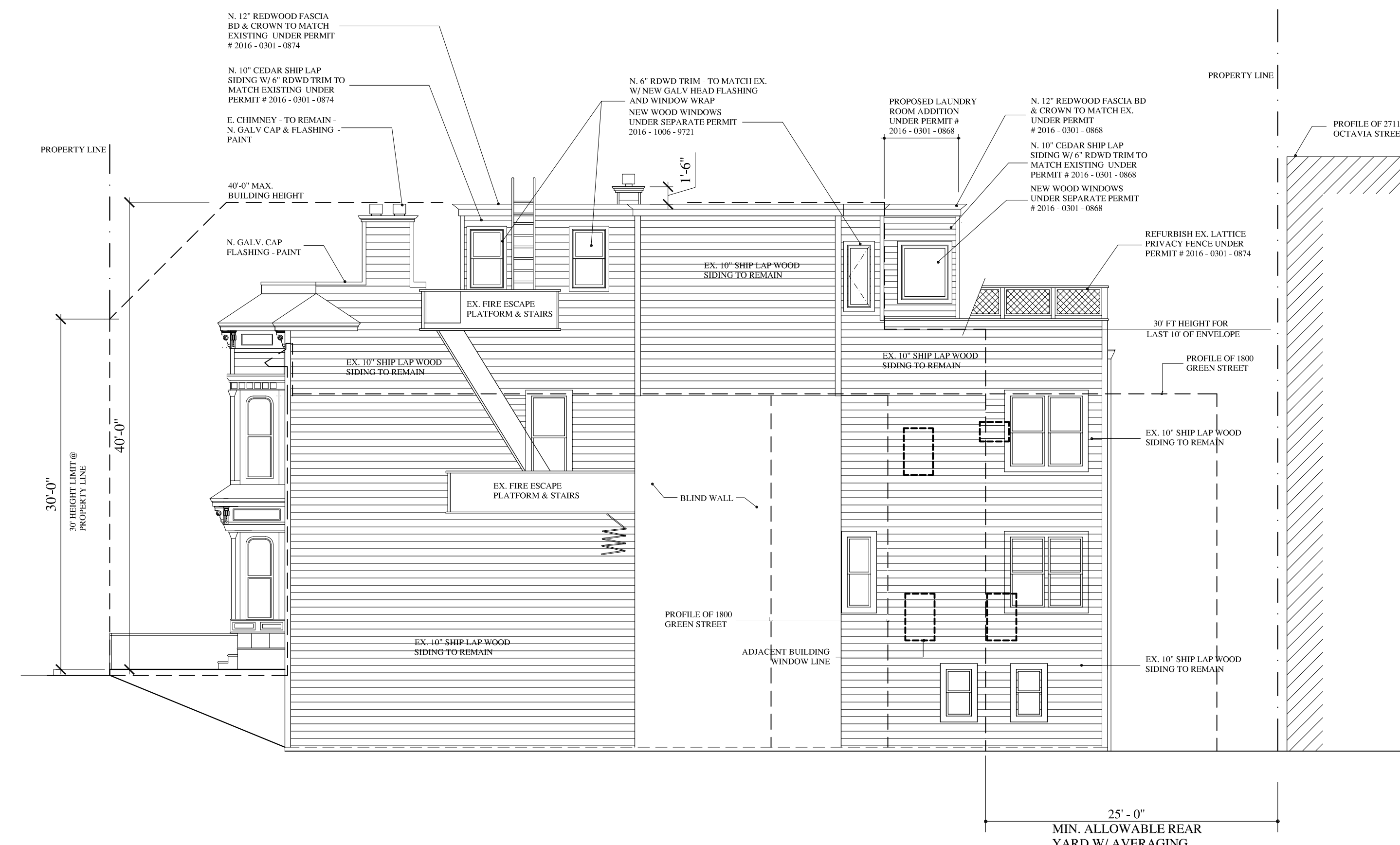
2 EXISTING WEST ELEVATION & DEMO PLAN
SCALE: 1/8" = 1' - 0"



1 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1' - 0"



4 EXISTING EAST ELEVATION & DEMO PLAN
SCALE: 1/8" = 1' - 0"



3 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1' - 0"

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REVISIONS:

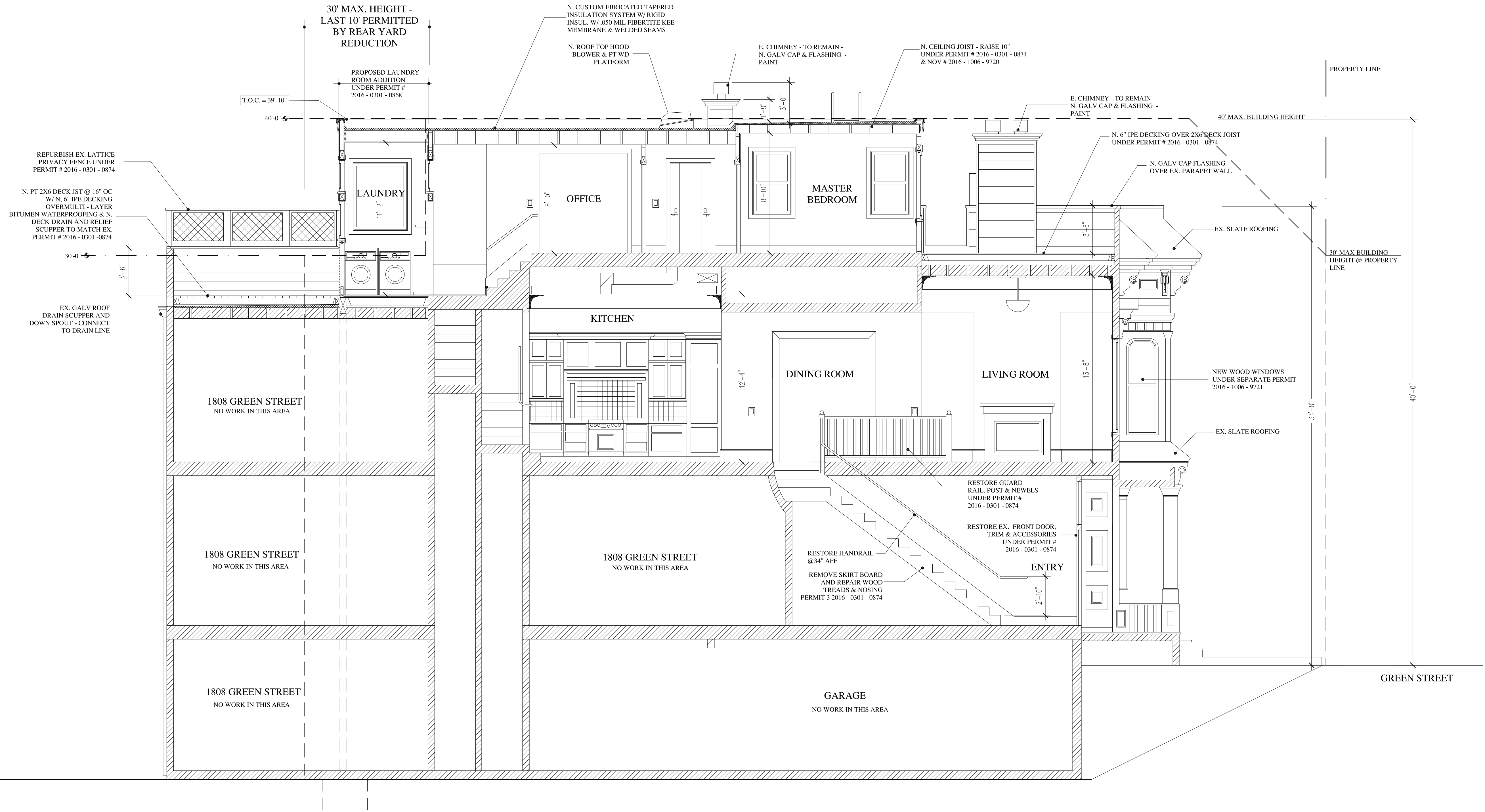
PROPOSED EAST ELEVATION

Scale: AS NOTED

A3.2

Date: 03/23/2017

PROPERTY LINE



1 PROPOSED BUILDING SECTION
 SCALE: 1/4" = 1' - 0"

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JOB # 100715-1

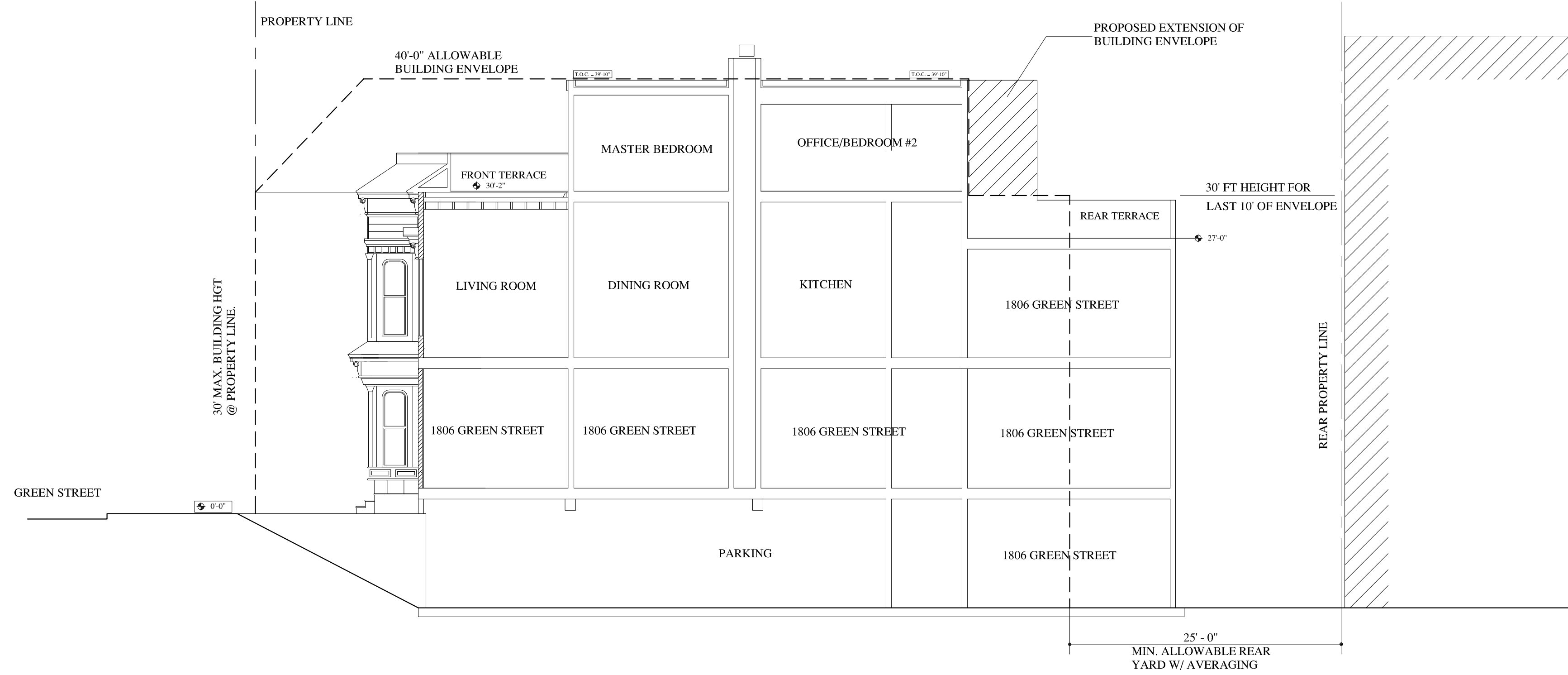
REVISIONS:

BUILDING SECTIONS

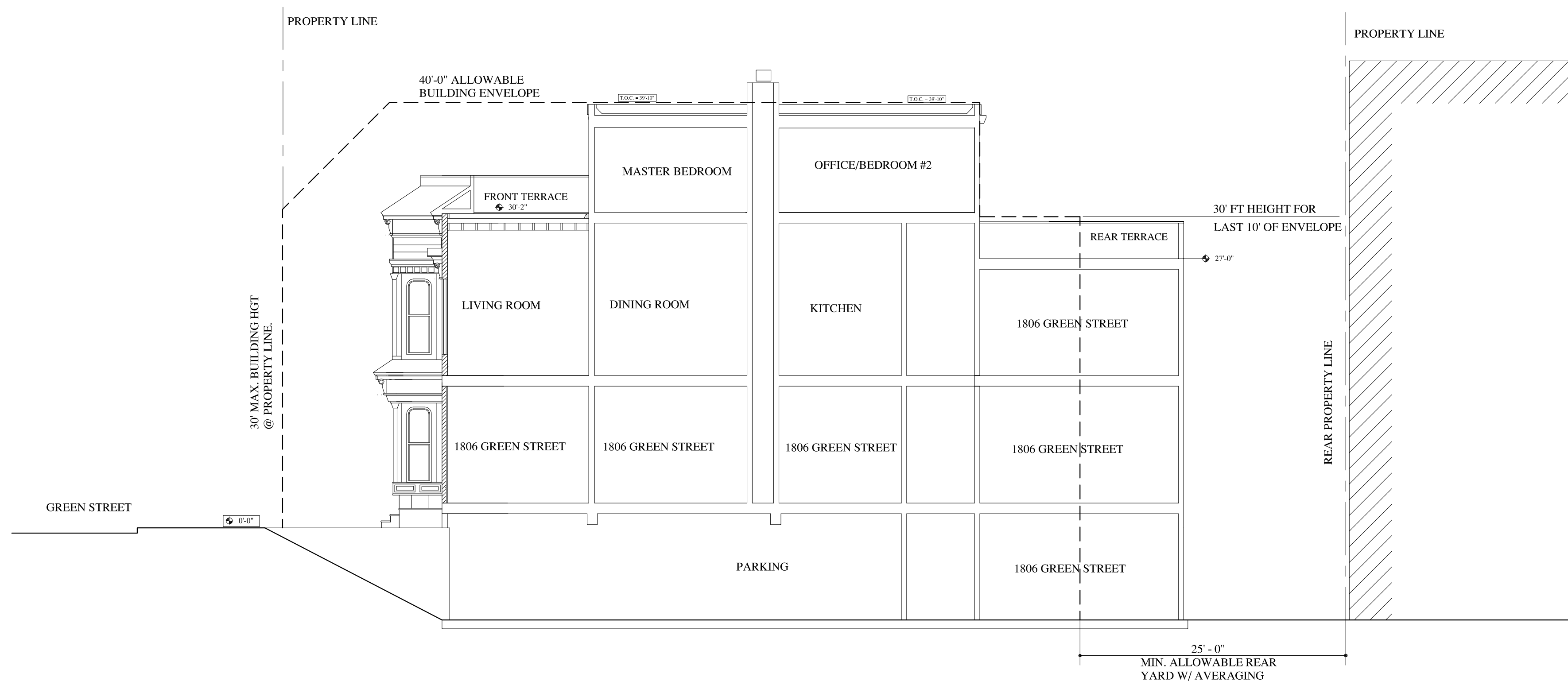
Scale: AS NOTED

A4.0

Date: 03/23/2017



1 PROPOSED BUILDING SECTION
SCALE: 1/8" = 1' - 0"



2 EXISTING BUILDING SECTION
SCALE: 1/8" = 1' - 0"

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WALCZAK RESIDENCE
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BLOCK 543 / LOT 43

JOB # 100715-1

REVISIONS:

NO.	DESCRIPTION

EXISTING & PROPOSED BUILDING SECTIONS
Scale: 1/8" = 1' - 0"

A4.1
Date: 03/23/2017