



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 22, 2016**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 358 Arguello Blvd	Case No.: 2016-003175VAR
Cross Street(s): Cornwall St / Euclid Av	Building Permit: 2016.04.06.4078
Block /Lot No.: 1040/075-076	Applicant: Mike Larkin
Zoning District(s): RM-2 / 40-X	Telephone: (415) 621 - 4204
Area Plan: N/A	E-Mail: mike@larkinarchitecture.com

PROJECT DESCRIPTION

The proposal is a two-story horizontal addition at the rear of the three-story, two-unit building.

PER SECTION 134 OF THE PLANNING CODE the subject property is required to maintain a rear yard of approximately 44 feet. The proposed expansion would result in a rear yard of approximately 30 feet. Therefore, the project requires a variance from the rear yard requirements of the Planning Code.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2016-003175VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Wayne Farrens** Telephone: **(415) 575-9172** E-Mail: **wayne.farrens@sfgov.org**

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Planning Commission at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to a 30-day notification of property owners and residents within 150-feet of the subject property. **This notice covers the Section 311 or 312 notification requirements, if required.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Conditional Use application** and/or building permit application associated with the Conditional Use application may be made to the **Board of Supervisors within 30 calendar days** after the date of action by the Planning Commission pursuant to the provisions of Section 308.1(b). Appeals must be submitted in person at the Board's office at 1 Dr. Carlton B. Goodlett Place, Room 244. For further information about appeals to the Board of Supervisors, including current fees, contact the Clerk of the Board of Supervisors at (415) 554-5184.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

Pursuant to California Government Code Section 65009, if you challenge, in court, the decision of an entitlement or permit, the issues raised shall be limited to those raised in the public hearing or in written correspondence delivered to the Planning Commission prior to, or at, the public hearing.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

VERGARA RESIDENCE

358 ARGUELLO BOULEVARD, SAN FRANCISCO, CA

PROJECT TEAM

Owner: Eduardo Vergara & Monica Ruiz Noriega
358 Arguello Blvd.
San Francisco, CA 94118
415.592.4331

General Contractor: Fontana Construction, Inc.
1945 East Francisco Blvd., Suite N
San Rafael, CA 94901
(415)-457-1290
License #487928

Architect: Mike Larkin Architecture
610 22nd Street Ste. 303
San Francisco, CA, 94107
tel: 415.621.4204
cel: 415.572.7650
mike@larkinarchitecture.com

Engineer: Sean Condry
STC Engineering
212 San Francisco Blvd
San Anselmo, CA 94960
415.456.1658

PROJECT DATA

Site Address: 358 - 360 Arguello Blvd.
San Francisco, CA 94118
Block: 1040 Lot: 062

Zoning: RM-2

Lot Area: 3,000 s.f. area

Use: Two Family Residence (Occupancy R3/U)

Construction Type: VB

Scope of Work: Proposed Two story Rear Yard Addition.
Area of addition 158 s.f.
Maintain 25% rear yard setback.

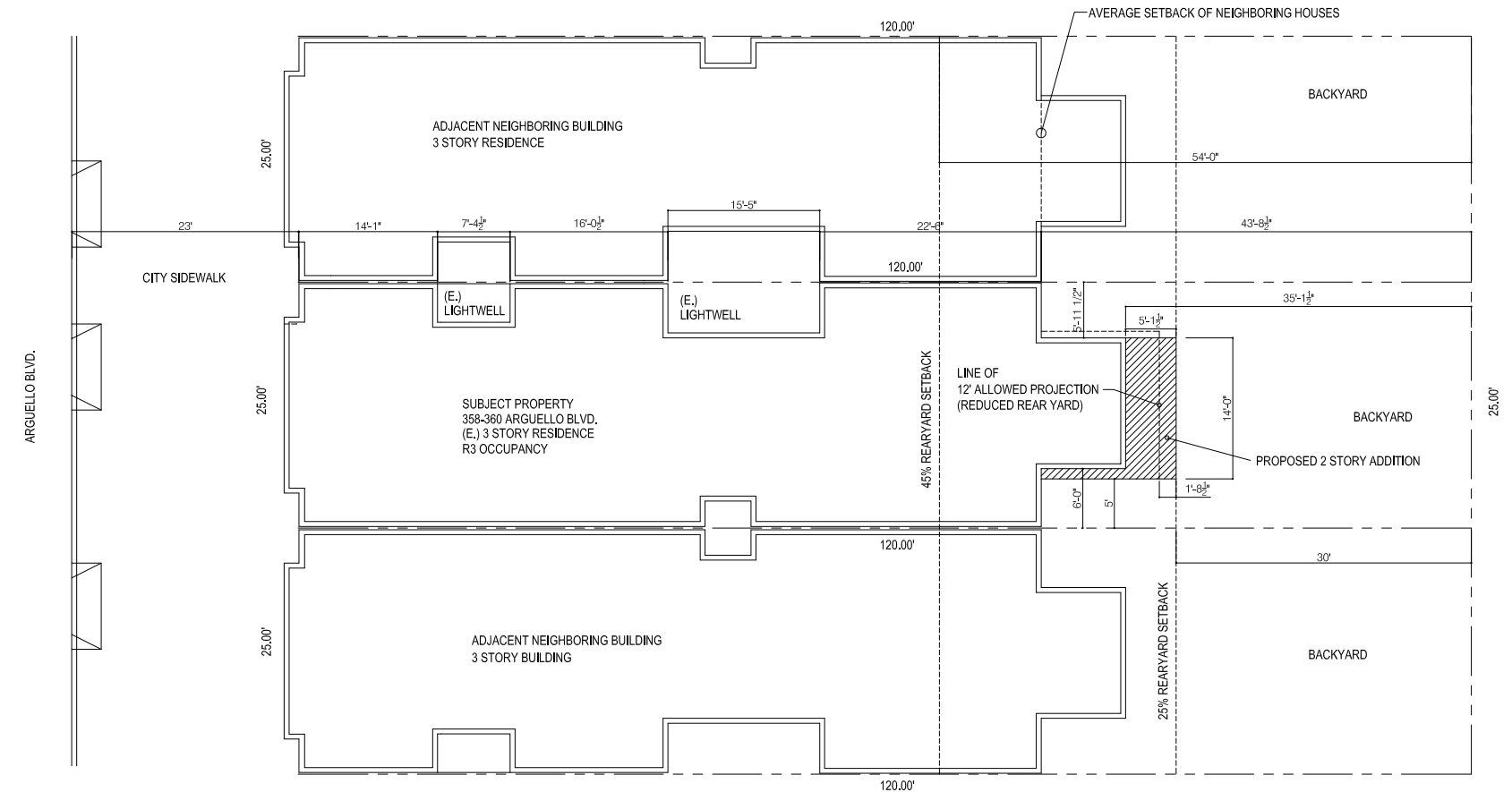
Codes: ALL WORK TO COMPLY WITH CURRENT CODES
INCLUDING 2013 CBC WITH SAN FRANCISCO
COUNTY AMENDMENTS.

DRAWING INDEX

- A1 Site Plan / Project Data
- A2 Existing and Proposed First Floor Plans
- A3 Existing and Proposed Second Floor Plans
- A4 Existing and Proposed Third Floor Plans
- A5 Existing and Proposed Rear Elevations
- A6 Existing and Proposed Side Elevations

revisions	

MIKE LARKIN ARCHITECTURE
610 22nd Street Ste. 303
San Francisco, CA, 94107
t/f: 415.621.4204
cel: 415.572.7650
mike@larkinarchitecture.com

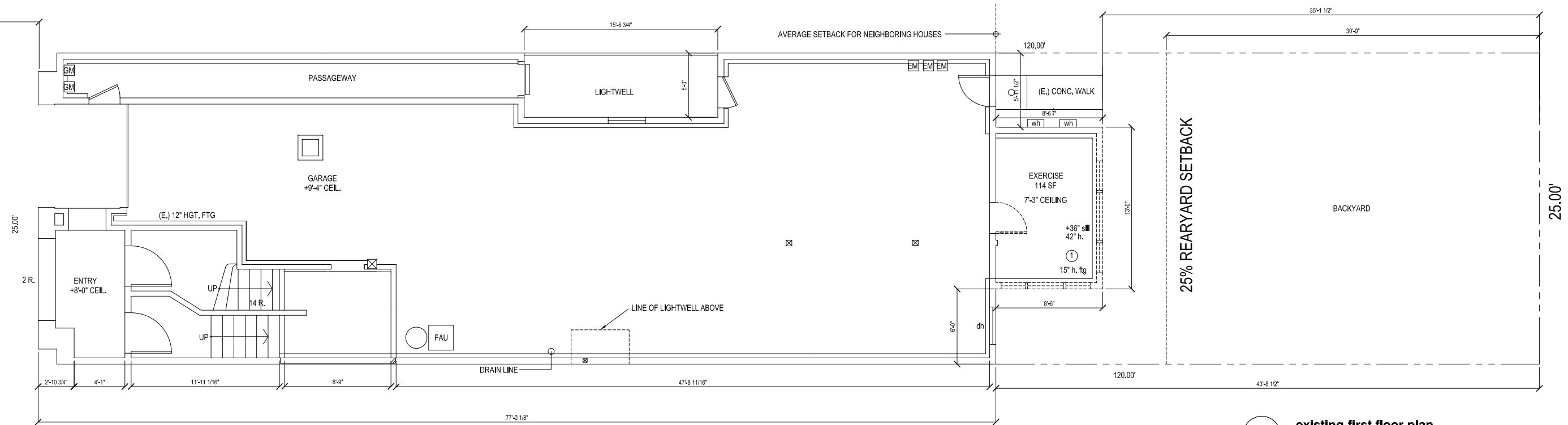


Vergara Residence
358 Arguello Blvd.
San Francisco, CA 94118
Block: 1040 Lot: 026 RM-2

site plan
date: 5.14.16

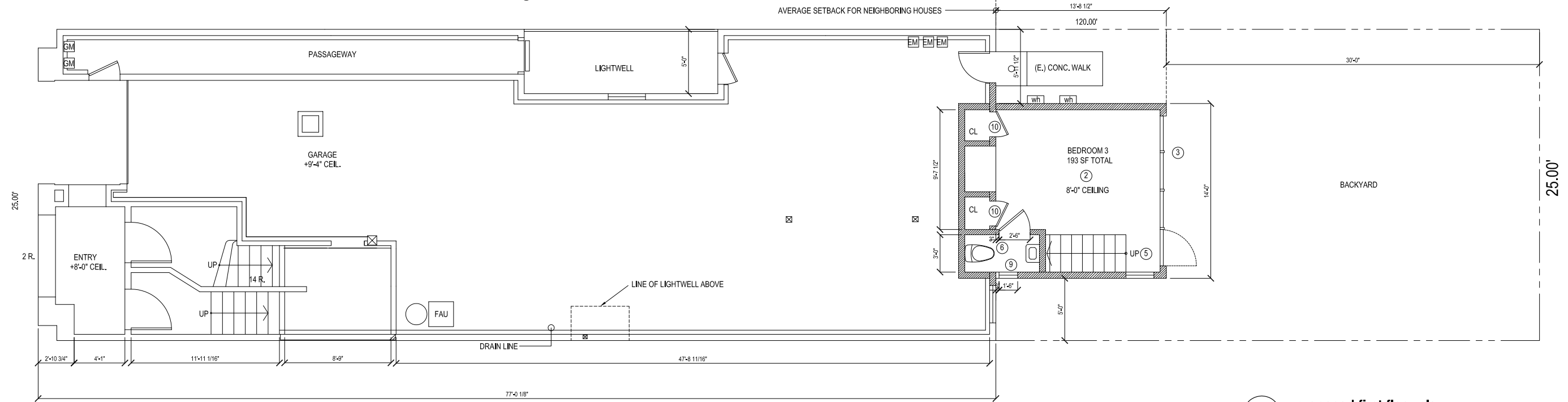
1 site plan
scale: 1/8" = 1'-0"

A1



1 existing first floor plan
scale: 1/4" = 1'-0"

- KEYNOTES**
EXISTING AND PROPOSED FIRST FLOOR PLANS:
- ① REMOVE EXISTING WALLS
 - ② PROPOSED ADDITION
 - ③ NEW FOLDING PARTITION
 - ④ NEW CLAD WOOD FRENCH DOOR
 - ⑤ NEW STAIRS TO SECOND FLOOR
 - ⑥ NEW HALF BATH
 - ⑦ NOT USED
 - ⑧ NEW CONCRETE STEPS
 - ⑨ NEW 18"X24" WINDOW
 - ⑩ NEW 24" CLOSET DOORS



2 proposed first floor plan
scale: 1/4" = 1'-0"



revisions

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San Francisco, CA 94107
t/f: 415.621.4204
cel: 415.572.7650
mike@larkinarchitecture.com

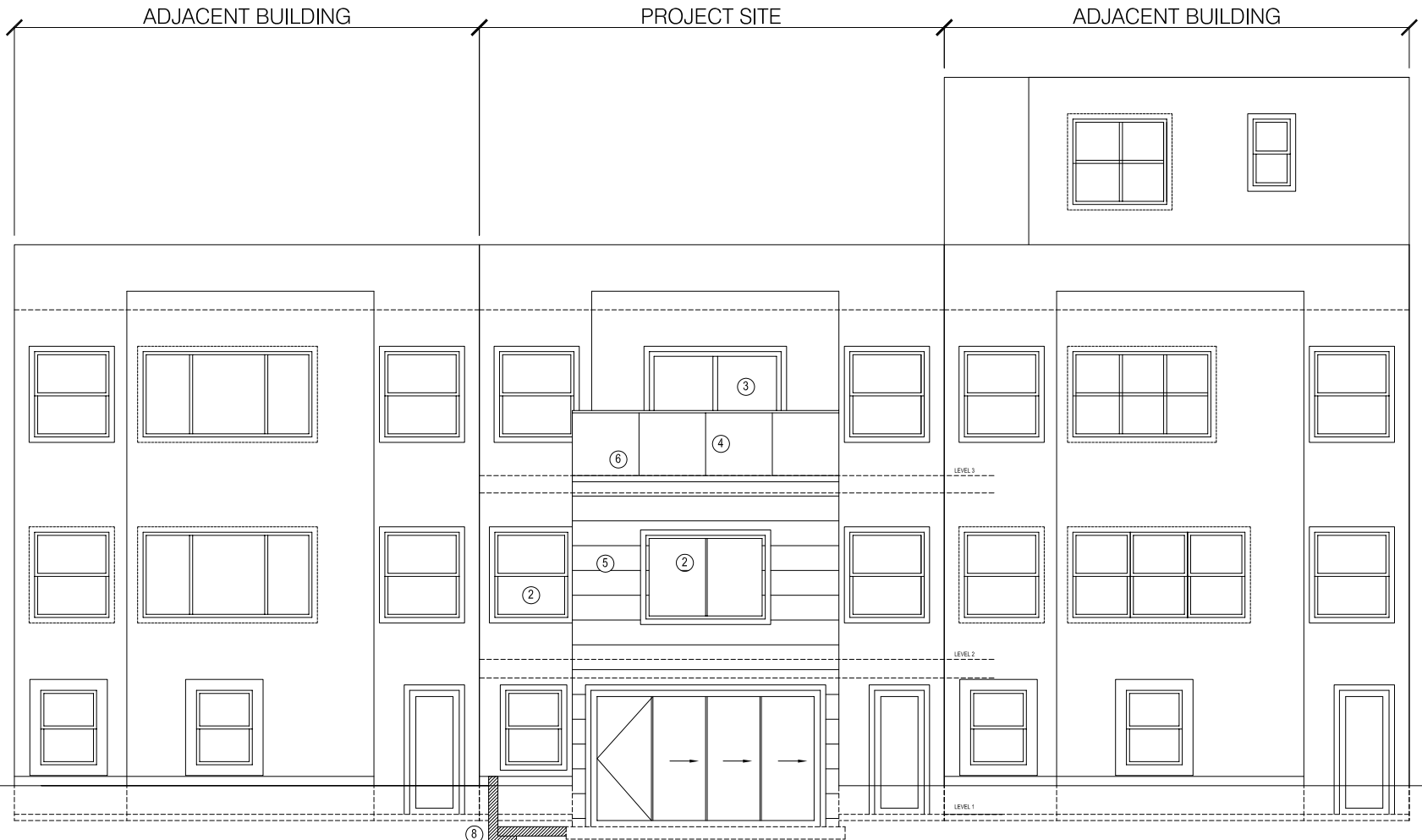
Vergara Residence
358 Arguello Blvd.
San Francisco, CA 94118
Block: 1040 Lot:026 RM-2

date: 5.14.16

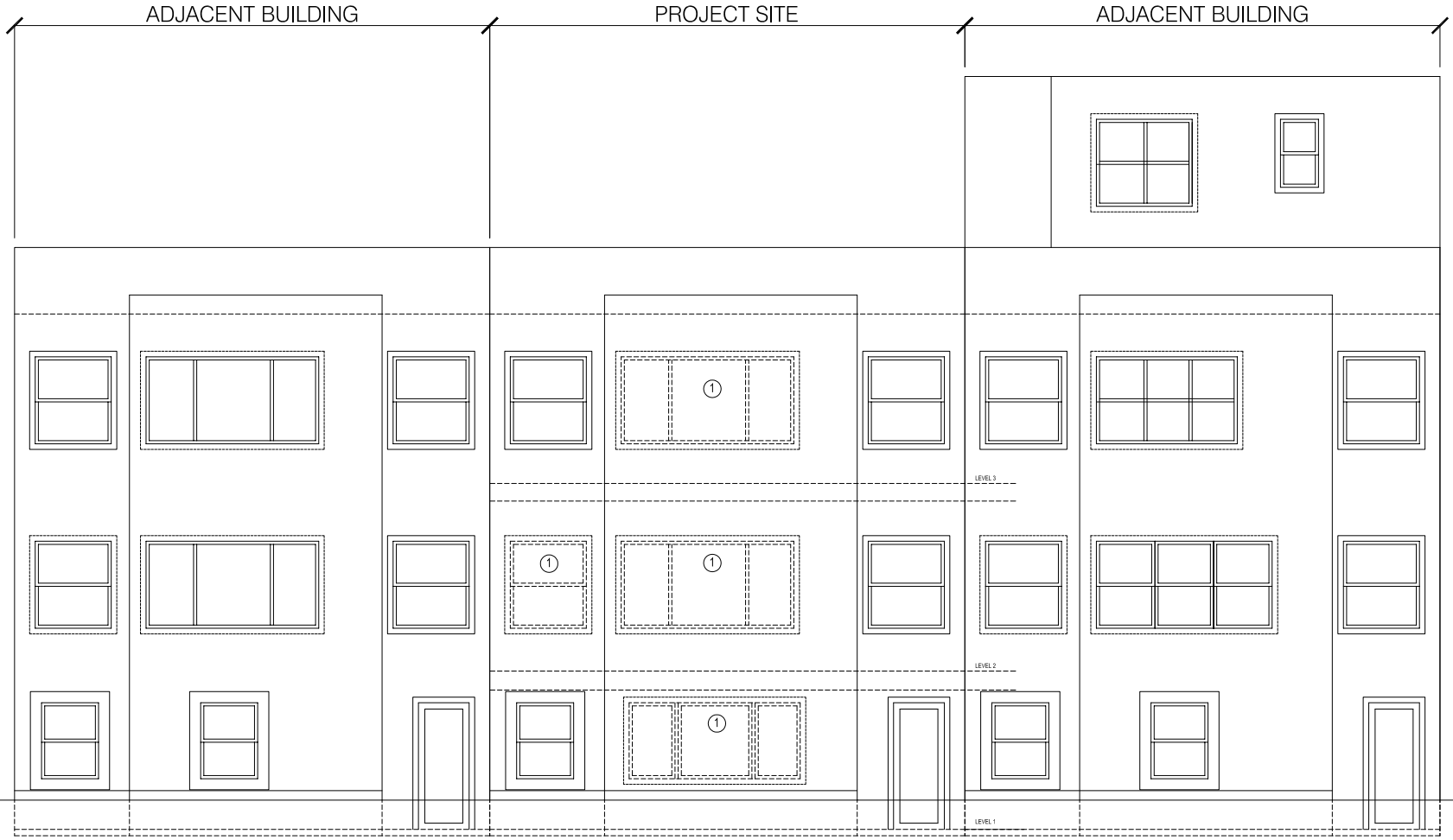
A2

- KEYNOTES**
EXISTING AND PROPOSED REAR ELEVATIONS:
- ① REMOVE EXISTING WINDOWS
 - ② NEW CLAD WOOD WINDOWS
 - ③ NEW CLAD WOOD SLIDER
 - ④ 42" HGT. GLASS GUARDRAIL
 - ⑤ NEW SIDING TO MATCH EXISTING (PAINTED 9" WIDE SHIP LAP)
 - ⑥ NEW ROOF DECK
 - ⑦ NEW CONCRETE SLAB AT LOWER ELEVATION
 INTERIOR BEDROOM CEILING TO BE 8'-0" HGT.
 - ⑧ NEW CONCRETE RETAINING WALL AND LANDING

1 **proposed rear elevation**
 scale: 1/4" = 1'-0"



2 **existing rear elevation**
 scale: 1/4" = 1'-0"

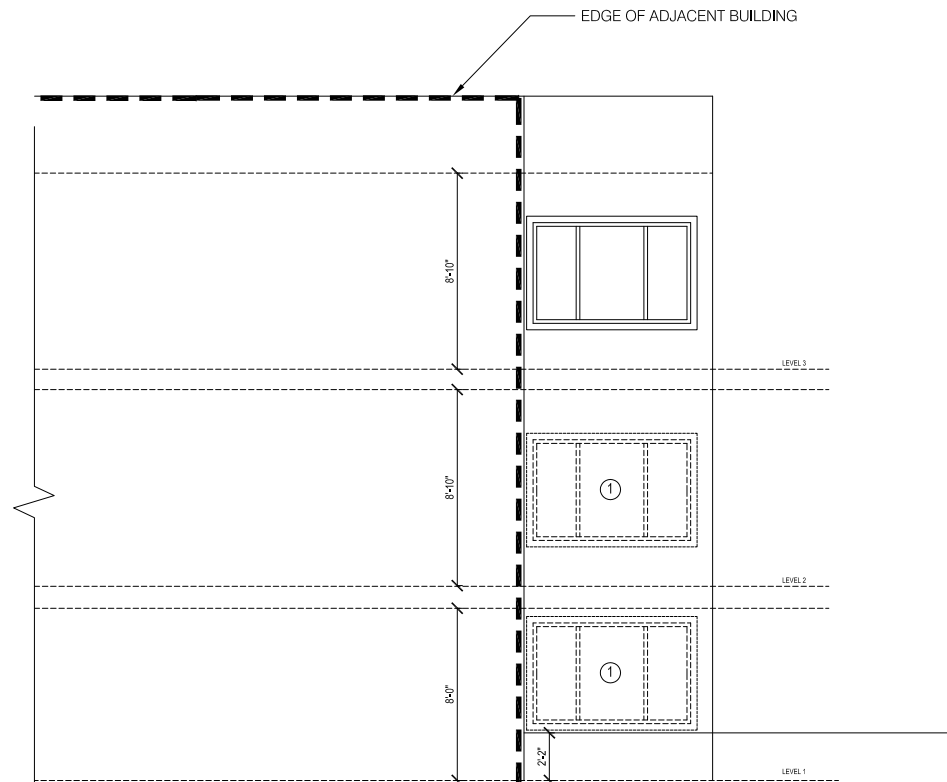


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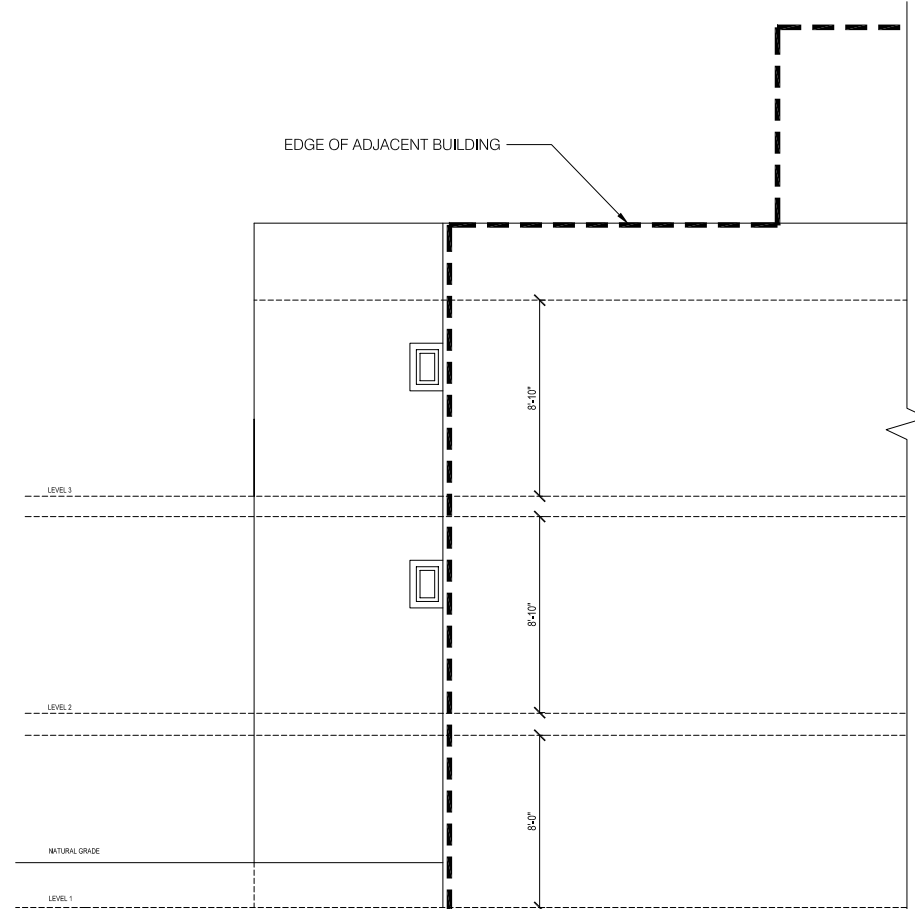
MIKE LARKIN ARCHITECTURE
 610 22nd Street Ste. 303
 San Francisco, CA 94107
 T/F: 415.621.4204
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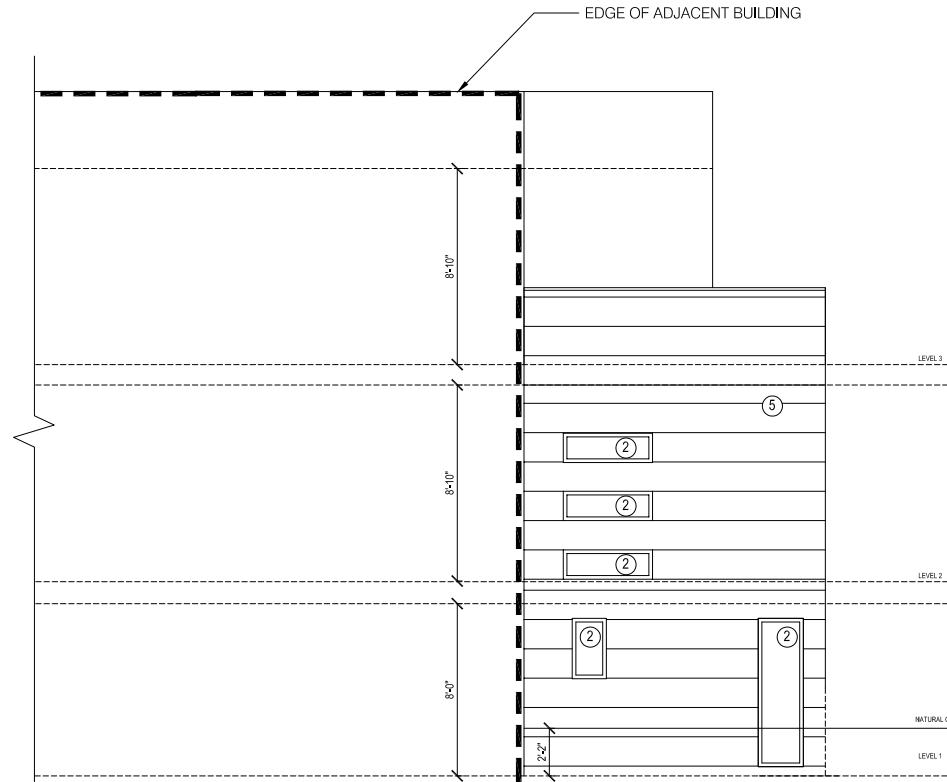
first floor plan
 date: 5.14.16



4 existing south elevation
scale: 1/4" = 1'-0"

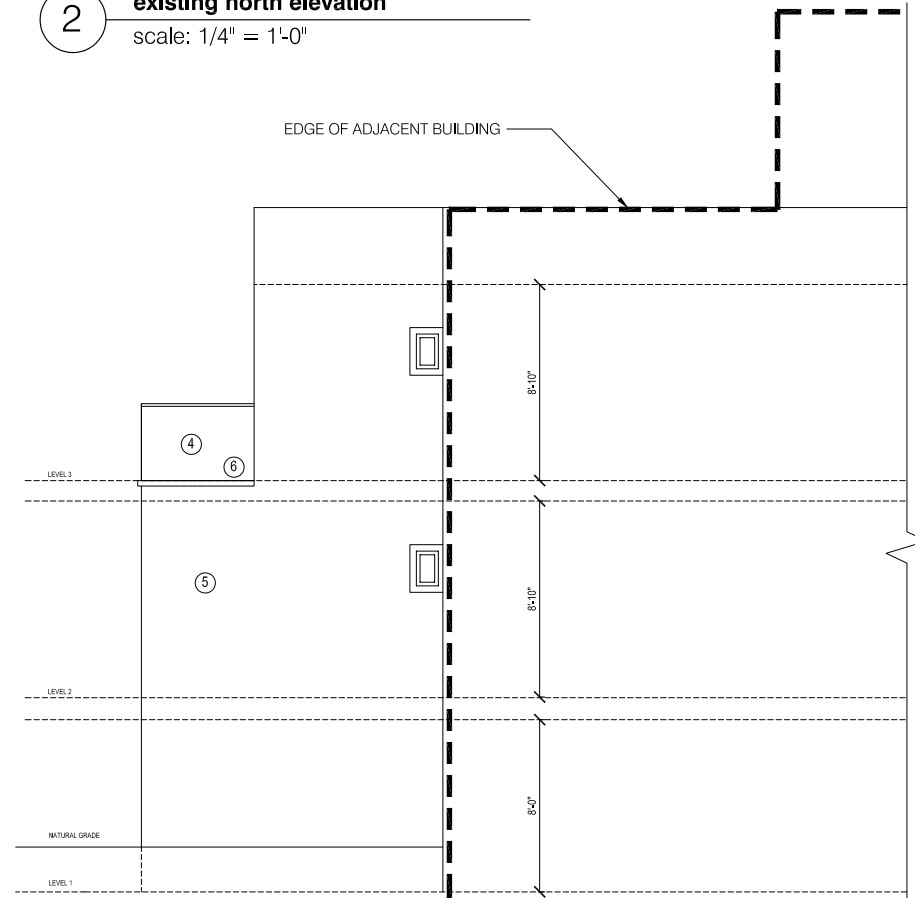


2 existing north elevation
scale: 1/4" = 1'-0"



3 proposed south elevation
scale: 1/4" = 1'-0"

- KEYNOTES
EXISTING AND PROPOSED REAR ELEVATIONS:
- ① REMOVE EXISTING WINDOWS
 - ② NEW CLAD WOOD WINDOWS
 - ③ NEW CLAD WOOD SLIDER
 - ④ 42" HGT. GLASS GUARDRAIL
 - ⑤ NEW SIDING TO MATCH EXISTING (PAINTED 9" WIDE SHIP LAP)
 - ⑥ NEW ROOF DECK



1 proposed north elevation
scale: 1/4" = 1'-0"

revisions	

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Block: 1040 Lot:026 RM-2

side elevations
date: 5.14.16