



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2016**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1372 Pine Street	Case No.: 2016-002770VAR
Cross Street(s): Larkin and Hyde	Building Permit: 2016.03.04.1252
Block /Lot No.: 0250/008	Applicant: Erevan O’neill
Zoning District(s): RC-4/65-A	Telephone: (415) 828-4412
Area Plan:	E-Mail: info@onedesignsf.com

PROJECT DESCRIPTION

The proposal is to convert the ground floor of an existing 27-unit building to three Accessory Dwelling Units in a building undergoing seismic retrofitting.

PER SECTION 140 OF THE PLANNING CODE the subject property is required to have windows of each unit face directly on an open area no less than 25 feet in every horizontal dimension, with an increase of five feet in every horizontal dimension at each subsequent floor immediately above. The dimensions of the open area may be reduced to 15 feet in width and depth for Accessory Dwelling Units. The subject property has an existing building in the required rear yard with a side yard of 69 feet in depth and 4 feet 8 inches in width and rear yard of 10 feet 6 inches in depth and 50 feet in width. One proposed accessory dwelling unit will face onto the courtyard and another unit will face onto the rear yard, which are less than the minimum 15 foot rear yard required for reduced dwelling unit exposure, thereby requiring an exposure variance for two of the three proposed dwelling units.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department’s website at: <http://sf-planning.org/ftp/files/notice/2016.002770VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department’s website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sylvia Jimenez** Telephone: **(415) 575-9187** E-Mail: sylvia.jimenez@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

PROJECT INFORMATION

SCOPE OF WORK

DWELLING UNIT ADDITION PER ORDINANCE 30-15. SOFT STORY RETROFIT ALREADY APPROVED UNDER PA# 201510139463.

OWNER: HAWTHORNE STONE
1704 UNION STREET
SAN FRANCISCO, CA 94123
PHONE: (415) 264 8479

PROJECT CONTACT: ONE DESIGN
PO. BOX 40606
SAN FRANCISCO, CALIFORNIA 94140
(415) 828-4412
info@onedesignsf.com

BLOCK NUMBER: 0250
LOT NUMBER: 008
AUTHORITY: CITY AND COUNTY OF SAN FRANCISCO
APPLICABLE CODE: 2013 CALIFORNIA BUILDING CODE WITH SFBC AMENDMENTS

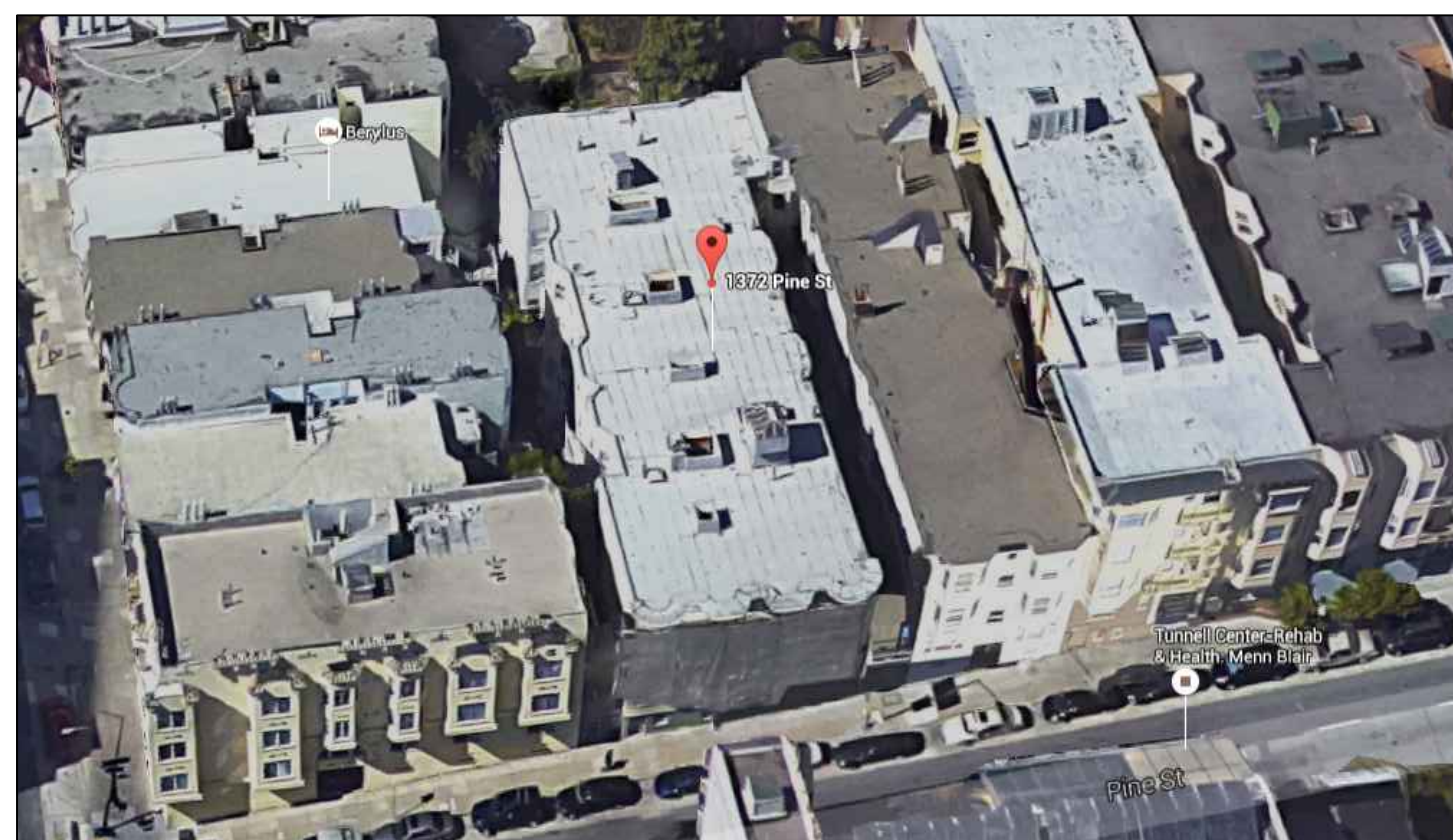
ZONING DISTRICT: RC-4
CONSTRUCTION: TYPE V
NUMBER OF STORIES: 3
NUMBER OF BASEMENTS: 1
EXISTING NUMBER OF DWELING UNITS: 27
PROPOSED NUMBER OF DWELLING UNITS: 30

SHEET INDEX

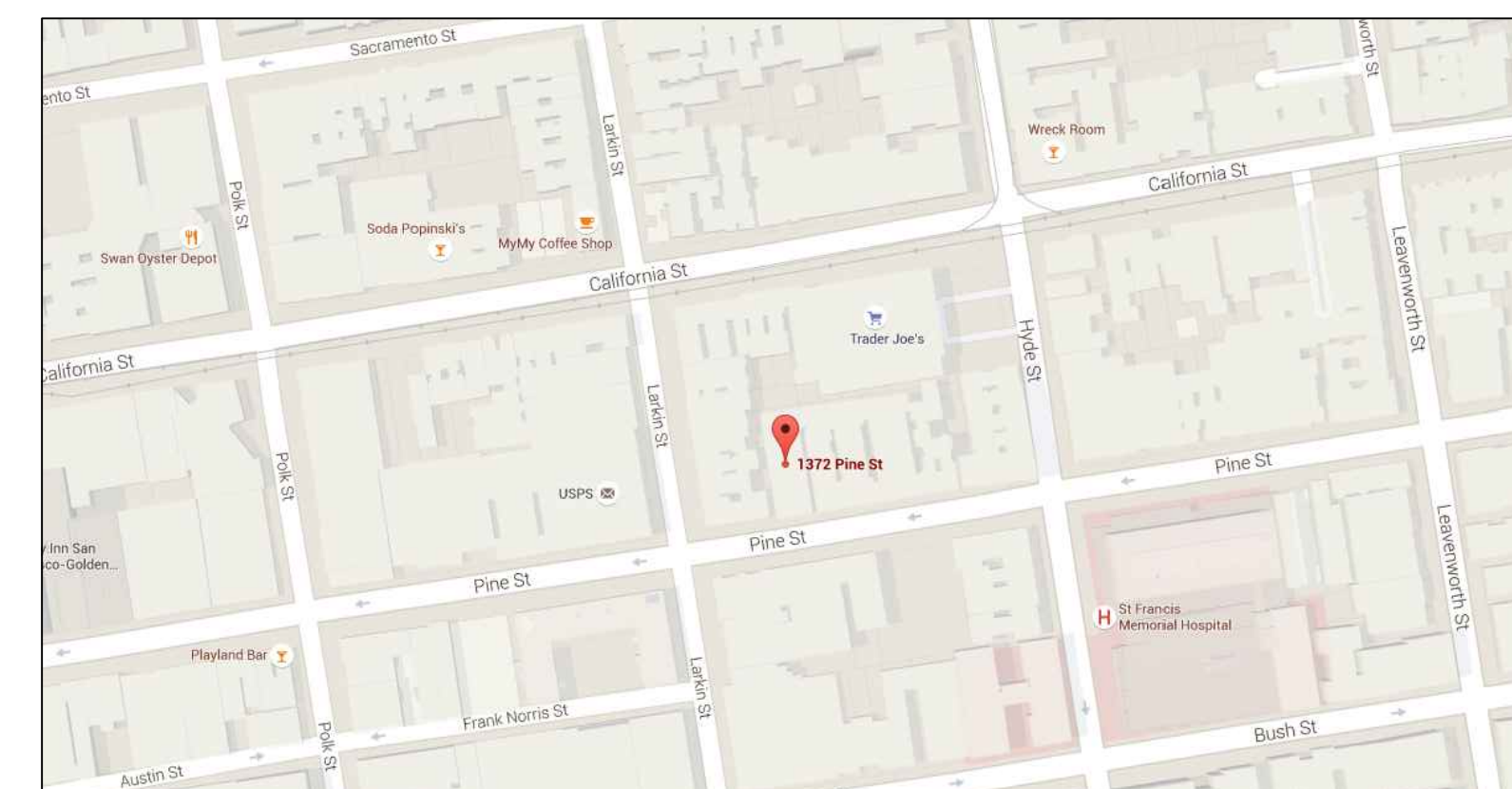
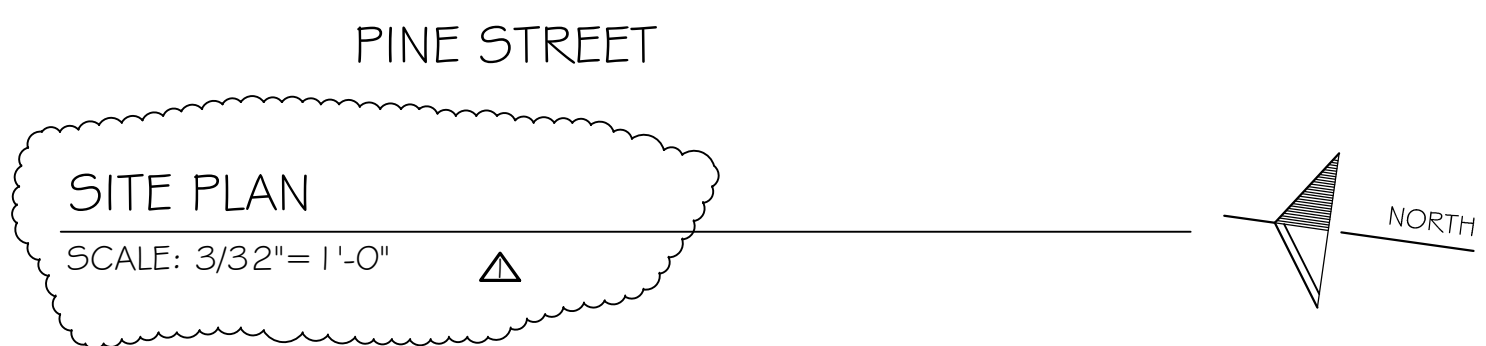
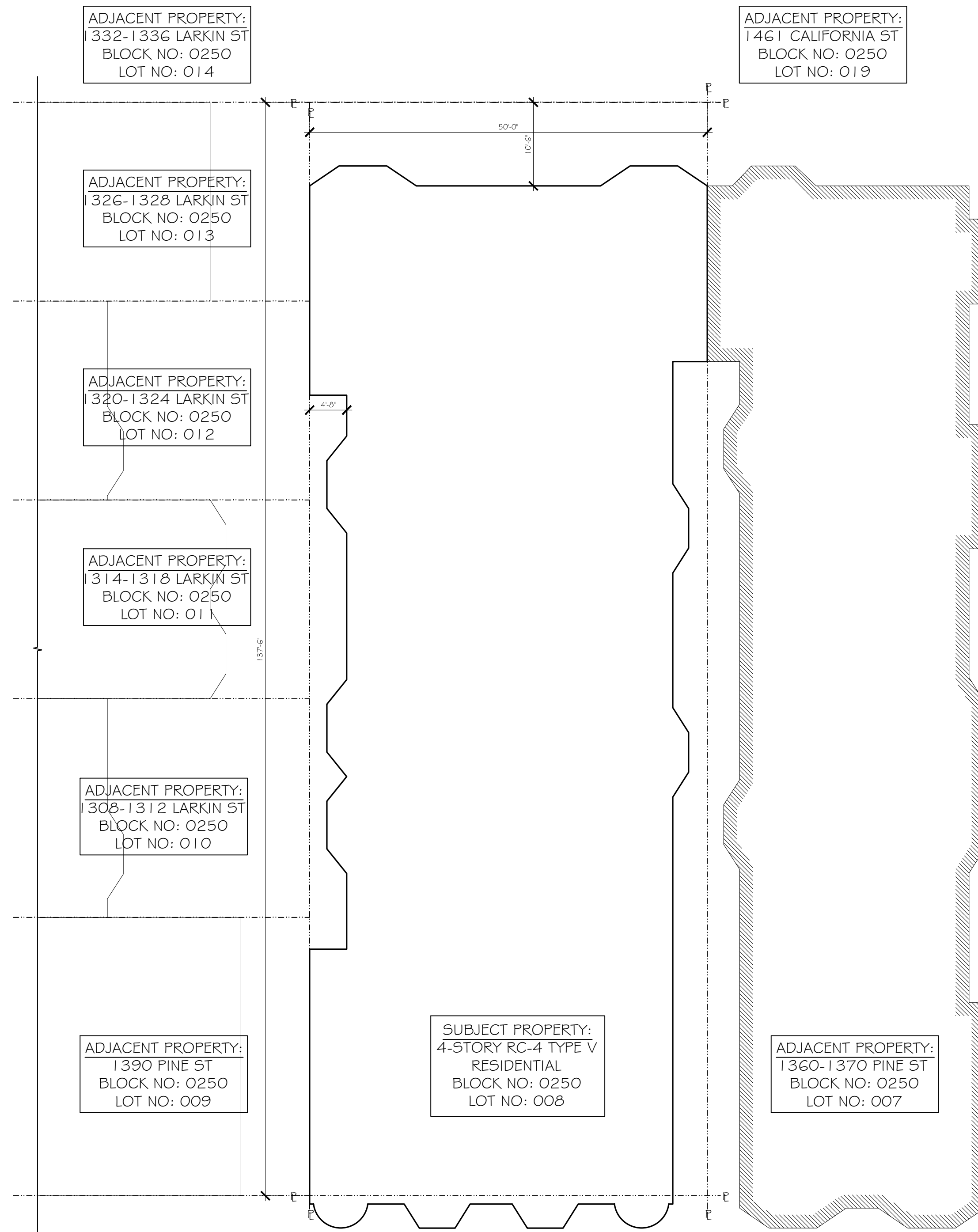
A0.1	-	TITLE SHEET, DRAWING INDEX, GENERAL INFO AERIAL VIEW & SITE PLAN.
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A1.1	-	EXISTING FLOOR PLANS
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DRAWING SYMBOLS

- BUILDING ELEVATION TAG
 - BUILDING SECTION TAG
 - WINDOW / STOREFRONT TAG
 - DETAIL TAG
 - INT. WALL TYPE TAG (NUMBERS)
 - LOWER CASE LETTER DENOTES SUBCATEGORY
 - EXT. WALL TYPE TAG (LETTERS)
 - KEY NOTE
 - DOOR TAG
 - PROPERTY LINE
- 1-HOUR WALL
 2-HOUR WALL



AERIAL VIEW



SITE LOCATION MAP

GENERAL NOTES:

- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE WITH THE:
 - 2013 SAN FRANCISCO BUILDING CODE
 - 2013 SAN FRANCISCO ELECTRICAL CODE
 - 2013 SAN FRANCISCO ENERGY CODE
 - 2013 SAN FRANCISCO HOUSING CODE
 - 2013 SAN FRANCISCO MECHANICAL CODE
 - 2013 SAN FRANCISCO PLUMBING CODE
 - 2013 CALIFORNIA FIRE CODE
 COORDINATE ALL WORK WITH STRUCTURAL DRAWINGS
- IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASBESTOS, POLYCHLORINATED BIPHENYL (PCB) OR ANY OTHER HAZARDOUS MATERIAL WHICH HAS NOT BEEN RENDERED HARMLESS OR PREVIOUSLY IDENTIFIED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT IN WRITING.
- MANUFACTURER'S DESIGNATIONS ARE NOTES TO INDICATE PATTERN, COLOR AND PERFORMANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS IN THE FIELD AND IN THE EVENT OF DISCREPANCY, REPORTING SUCH DISCREPANCY TO THE ARCHITECT, BEFORE COMMENCING WORK.
- CONTRACTOR SHALL NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL ALWAYS GOVERN CONTRACTOR REQUIRING DIMENSIONS NOT NOTED, SHALL CONTACT THE ARCHITECT FOR SUCH INFORMATION PRIOR TO PROCEEDING WITH THE WORK RELATED TO THOSE DIMENSIONS.
- ALL PLAN DIMENSIONS INDICATED ARE TO COLUMN CENTERLINE, TO FACE OF CONCRETE, TO FINISHED FACE OF GYP. BD., OR TO FACE OF MASONRY U.O.N.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS AND/OR OTHER SUPPORTS FOR ALL FIXTURES, EQUIPMENT, CASEWORK, FURNISHINGS AND ALL OTHER ITEMS REQUIRING SAME.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR PROPER INSTALLATION OF MATERIAL AND EQUIPMENT.
- CONTRACTOR SHALL TAKE SUITABLE MEASURES TO PREVENT INTERACTION BETWEEN DISSIMILAR METALS.
- "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- "TYPICAL" OR "TYP." MEANS FOR ALL SIMILAR CONDITIONS, U.O.N.
- DETAILS ARE USUALLY KEYED ONLY ONCE (ON PLANS OR ELEVATIONS WHEN THEY FIRST OCCUR) AND ARE TYPICAL FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.
- CONSTRUCTION AREA MUST BE BROOM CLEANED DAILY AND ALL MATERIALS SHALL BE STACKED OR PILED IN AN ORDERLY FASHION OUT OF TRAFFIC PATTERNS.
- AT COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL MARKS, STAINS, FINGERPRINTS, DUST, DIRT, SPLATTERED PAINT, AND BLEMISHES RESULTING FROM THE VARIOUS OPERATIONS THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGED AREAS THAT OCCUR DURING CONSTRUCTION THAT ARE WITHIN THE SCOPE OF WORK OR OUTSIDE SCOPE OF WORK, THAT ARE CAUSED BY HIM/HER OR SUBCONTRACTORS.
- WHERE ADJOINING DOORS HAVE DISSIMILAR FLOORING, MAKE CHANGE UNDER CENTERLINE OF DOOR, U.O.N.
- ALL PIPE, CONDUIT AND DUCT PENETRATIONS THROUGH FLOORS AND FIRE-RATED WALL AND CEILING SHALL BE SEALED WITH FIREPROOFING PLASTER OR FIRESTOPPING TO FULL DEPTH OF SLAB OR THICKNESS OF WALL/CEILING.
- ENTERING INTO AN AGREEMENT WITH THE OWNER INDICATES THAT THE CONTRACTOR(S) HAS VISITED THE SITE, FAMILIARIZED HIM/HERSELF WITH THE EXISTING CONDITIONS, AND REVIEWED SAME WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL SUB-CONTRACTORS, INCLUDING THOSE UNDER SEPARATE CONTRACT WITH THE OWNER.
- CONTRACTOR SHALL SUBMIT CONFIRMATION WITH DELIVERY DATES ON ORDERS OF MATERIALS AND EQUIPMENT OF ANY LONG LEAD TIME ORDER ITEMS.
- A 6'-8" MINIMUM HEADROOM SHALL BE PROVIDED AT ALL STAIRS.
- CONTRACTOR SHALL PROTECT ALL EXCAVATION AND CONSTRUCTION FROM RAIN OR WATER DAMAGE.
- COMMON ABBREVIATIONS:
 - (E) = EXISTING, (N) = NEW,
 - GWB = GYP. BD. = GYPSUM WALLBOARD,
 - MTL = METAL, S.S. = STAINLESS STEEL,
 - SSD = SEE STRUCTURAL DRAWINGS,
 - AFF = ABOVE FINISHED FLOOR.

ELECTRICAL KEYED NOTES:

- SEPARATE KITCHEN CIRCUITS TO BE PROVIDED FOR COUNTERTOP OUTLETS, REFRIGERATOR, AND DISHWASHER/DISPOSAL. PROVIDE MIN. 2 - 20 AMP SMALL APPLIANCE BRANCH CIRCUITS (PER SFBC SECT. 210.52 & 220-4)
- GFCI PROTECTION REQD ON ANY RECEPT. WITHIN 6'-0" SINK.
- PROVIDE ELEC. OUTLETS IN KITCHEN SO THAT NO POINT ALONG A COUNTER IS MORE THAN 24" FROM AN OUTLET PER SFBC-210.52. PROVIDE ACCESSIBLE OUTLET AT ISLAND.
- PER TITLE-24, IN KITCHENS:
 - AT LEAST 50% OF INSTALLED LUMINARIES WATTAGE MUST BE OF H.E. LIGHTING AND MUST BE SWITCHED SEPARATELY FROM NON-H.E. LIGHTING;
 - INSTALLED WATTAGES MUST BE CALCULATED.

GENERAL ELECTRICAL NOTES:

- PER TITLE-24, BATHROOMS, LAUNDRY ROOMS, GARAGES, AND UTILITY ROOMS ARE TO HAVE ALL HIGH EFFICACY (H.E.) LIGHTING UNLESS LIGHTING IS CONTROLLED BY CERTIFIED OCCUPANT SENSOR(S) WHICH MUST BE MANUAL-ON MOTION SENSOR AND MUST NOT HAVE 'ALWAYS-ON' OPTION.
- PER TITLE-24, OTHER ROOMS - BEDROOMS, HALLWAYS, STAIRS, DINING ROOMS, AND CLOSETS LARGER THAN 70SF - ARE TO HAVE ALL H.E. LIGHTING UNLESS LIGHTING IS CONTROLLED BY DIMMER SWITCH OR CERTIFIED OCCUPANT SENSOR(S) WITH MANUAL-ON SENSOR AND NO 'ALWAYS-ON' OPTION.
- PER TITLE-24, ALL RECESSED LUMINARIES IN INSULATED CEILINGS MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER AND MUST BE CERTIFIED AS AIR TIGHT.
- PER TITLE-24, ALL OUTDOOR LIGHTING IS TO BE H.E. LIGHTING UNLESS LIGHTING IS:
 - CONTROLLED BY CERTIFIED MOTION SENSORS AND PHOTOCONTROL;
 - OF LANDSCAPE LIGHTING (NOT ATTACHED TO BUILDING);
 - IN OR AROUND SWIMMING POOLS OR WATER FEATURES.
- PER SFBC 1205.3, IF A ROOM INTENDED FOR HUMAN OCCUPANCY DOES NOT HAVE MIN. NET GLAZED AREA FOR NATURAL LIGHT, PROVIDE MIN. ARTIFICIAL LIGHT OF 1.0 FOOT-CANDLE OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 IN. AFF.
- PER SFBC 1205.4, STAIRWAYS WITHIN DWELLING UNITS & EXTERIOR STAIRWAYS SERVING A DWELLING UNIT SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NOT LESS THAN 1 FOOT-CANDLE WITH CONTROLS PER SFBC.

MECHANICAL NOTES:

- PROVIDE 200 SQ. IN. NET OPENING FOR GARAGE VENTILATION PER SFBC 406.1.3 (UP TO 1,000 SF)
- PER SFBC 406.1.4 (2), DUCTING IN PRIVATE GARAGE & DUCTS PENETRATING THE WALLS OR CEILING, SEPARATING THE DWELLING UNIT FROM THE GARAGE TO BE MIN. 0.019 IN. SHEET METAL & HAVE NO OPENINGS INTO THE GARAGE.
- PROVIDE COMBUSTION AIR OPENINGS FROM OUTSIDE FOR W.H. PER SFPC-507. (FURNACE PER SFMC-CH.7). ANY APPLIANCE WITH FLAME SOURCE TO BE MOUNTED MIN. 18" ABOVE FLOOR IN GARAGE PER SFMC-308 (W.H. PER SFPC-510.1).
- PROVIDE APPROVED SEISMIC STRAPS W.H. (OR WATER STORAGE TANKS) TO WALL PER SFPC-510.5
- TERMINATE GAS VENT PER SFMC CHAPTER 8.
- DRYER EXHAUST DUCT: 14'-0" MAX. WITH 2 - 90° PER SFMC-504.3 OR PER MANUF. - VENT TO EXT. PROVIDE BOOSTER FAN PER CODE IF REQD (FANTECH # RVF4XL EXT. MTD FAN OR EQ.)
- PROVIDE 100 SQ. IN. NET OPENING FOR DRYER MAKE-UP AIR PER SFMC-504.3.2
- PER SFBC 1203.4.2.1, BATHROOMS CONTAINING BATHTUBS, SHOWERS, SPAS, OR SIM. BATHING FIXTURES TO BE MECH. VENTILATED PER SFMC.
- TERMINATE ALL ENVIRONMENTAL AIR EXHAUST DUCTS (KITCHEN RANGE HOOD, BATHROOM FAN, DRYER) MIN. 3 FT. FROM ANY OPENING OR PROPERTY LINE PER SFMC-504. PROVIDE BACK DRAFT DAMPER (B.D.D.)
- PER SFMC TABLE 4-4, PROVIDE EXHAUST FAN (MIN. 50 CFM).
- PROVIDE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS AT SHOWERS AND TUB/SHOWERS PER SFPC.
- PROVIDE MECHANICAL VENTILATION PER SFMC CH. 4 & TABLE 4-1
- PROVIDE FIREPLACE VENT/FLUE PER MANUFACTURER & SFMC.

CODE NOTES:

- PER CBC 907.2.10.1.2, PROVIDE HARD WIRED SMOKE DETECTORS ON EVERY FLOOR AND IN EVERY SLEEPING ROOM AND HALLWAY OUTSIDE OF SLEEPING ROOMS.
- PER CBC TABLE 602, PROVIDE ON HOUR RATED STRUCTURE EVERYWHERE WITHIN 5 FEET OF AND PARALLEL TO THE PROPERTY LINE.
- PER CBC 406.1.4 PROVIDE GWB ASSEMBLIES BETWEEN PRIVATE GARAGE AND HABITABLE ROOMS, (MIN. 1/2" GWB BETWEEN THE DWELLING & ATTIC AREA, GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN A 5/8" TYPE 'X' GWB OR EQ.)
- PROVIDE MIN. 1 EMERGENCY ESCAPE & RESCUE WINDOW PER CBC 1026 AT ALL SLEEPING ROOMS.

GENERAL PLUMBING NOTES:

- TOILET SHALL BE 1.6 GALLONS PER FLUSH MAX. CPC 402.2 @ METER CLOSETS PER CPC407.6
- 2013 CPC 407.6 PROVIDE MIN. 30" CLEAR WIDTH & 24" IN FRONT @ METER CLOSETS PER CPC407.6
- SHOWERS & TUB SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROLS OF THE PRESSURE BALANCE TYPE OR THE THERMOSTATIC MIXING VALVE TYPE PER CPC 418.
- PRESSURE ABSORBING DEVICE REQD ON WATER LINE CLOSE TO QUICK ACTING VALVES.
- PROVIDE ANY NECESSARY CATCHMENT TANKS AND SUMP PUMPS AS REQUIRED TO EJECT WASTEWATER TO EXISTING SEWER MAIN



	RESPONSE TO PLAN CHECK	06-21-16
	PERMIT SUBMISSION	01-21-16



TITLE SHEET

CLIENT HAWTHORNE STONE 1704 UNION STREET SAN FRANCISCO, CA 94123	SCALE AS NOTED DATE 01-21-16 DRAWN E.ON. JOB #: 1567
TITLE NEW NEW DWELLING UNITS 1372 PINE STREET SAN FRANCISCO, CA 94109	DRAWING NO. AO.1 1 OF 7 SHEETS



STREET VIEW 1



STREET VIEW 2

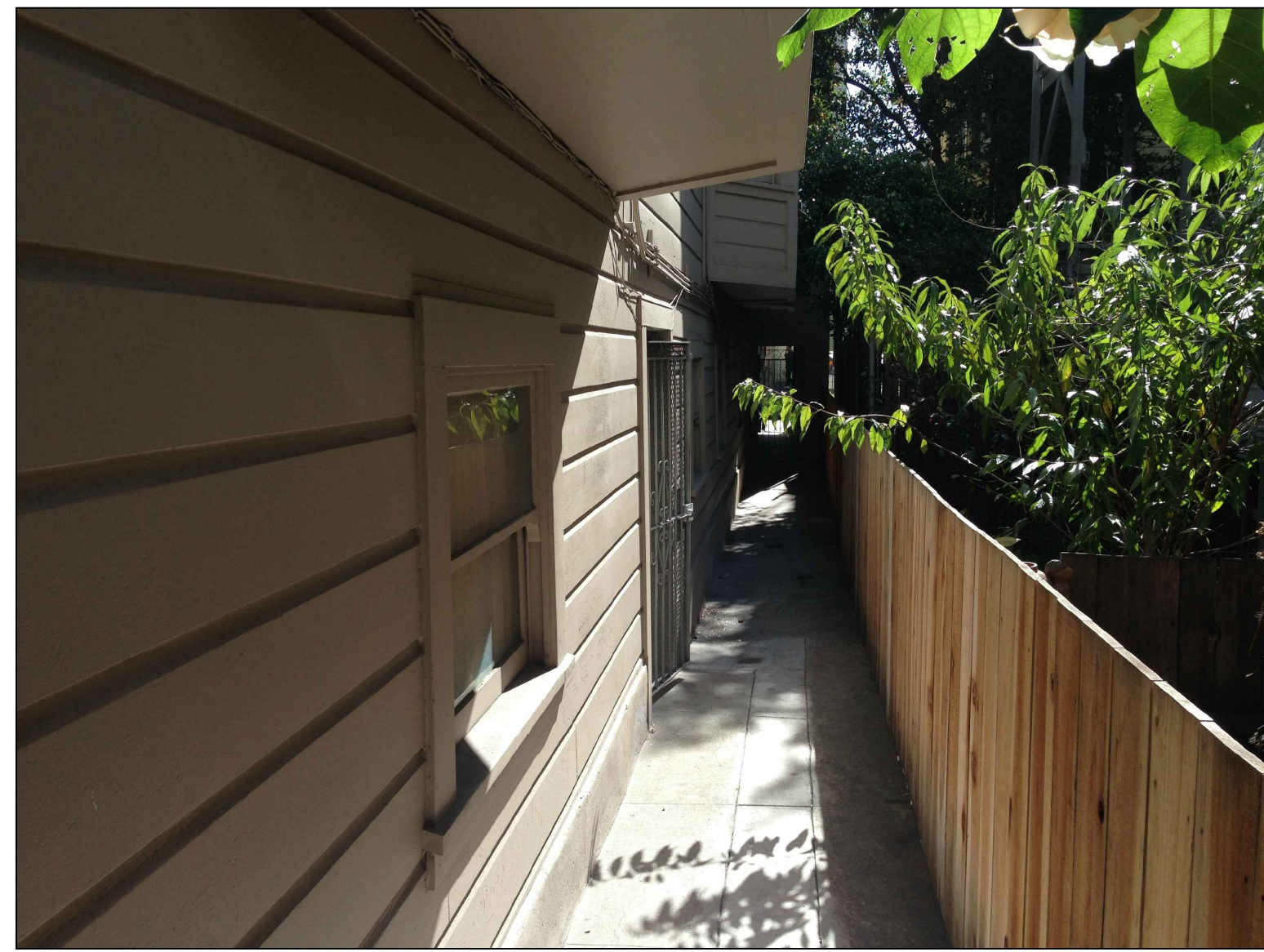
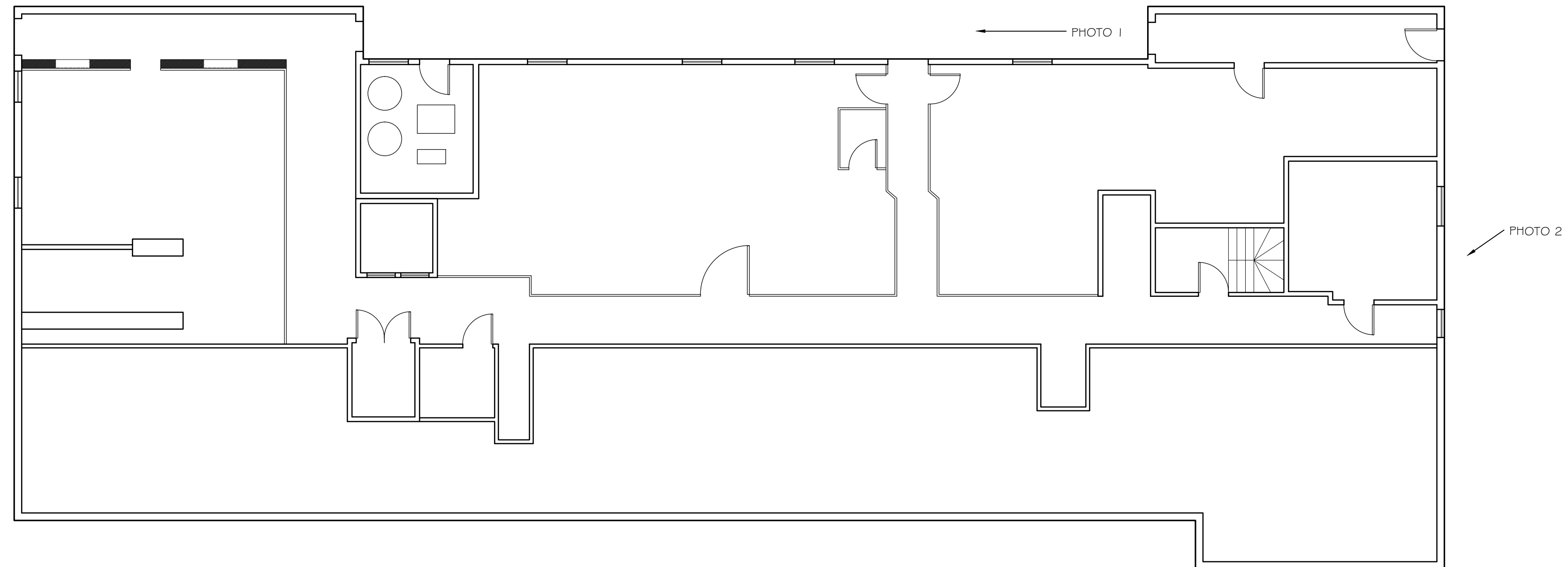


PHOTO 1



BASEMENT PLAN PHOTOS

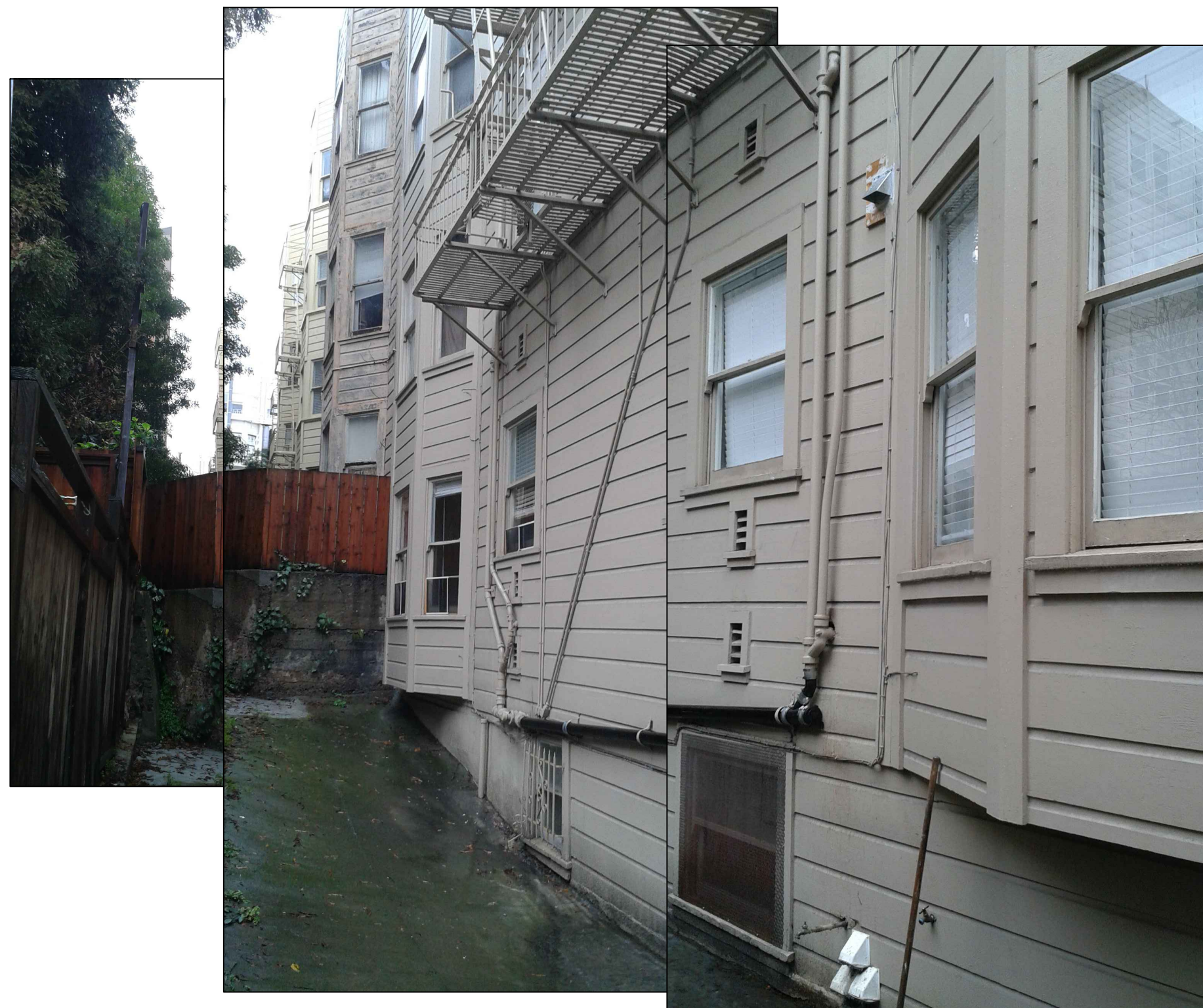
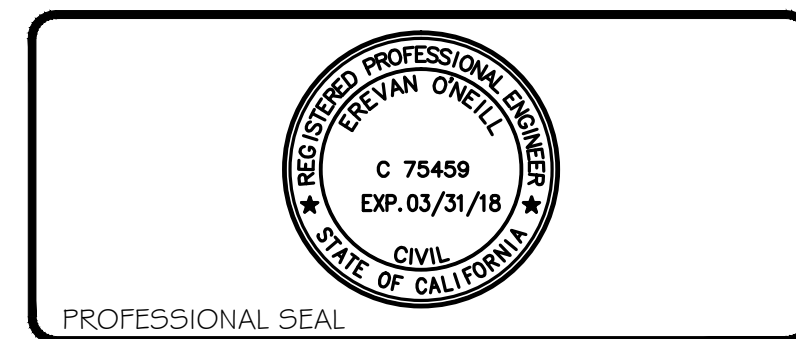


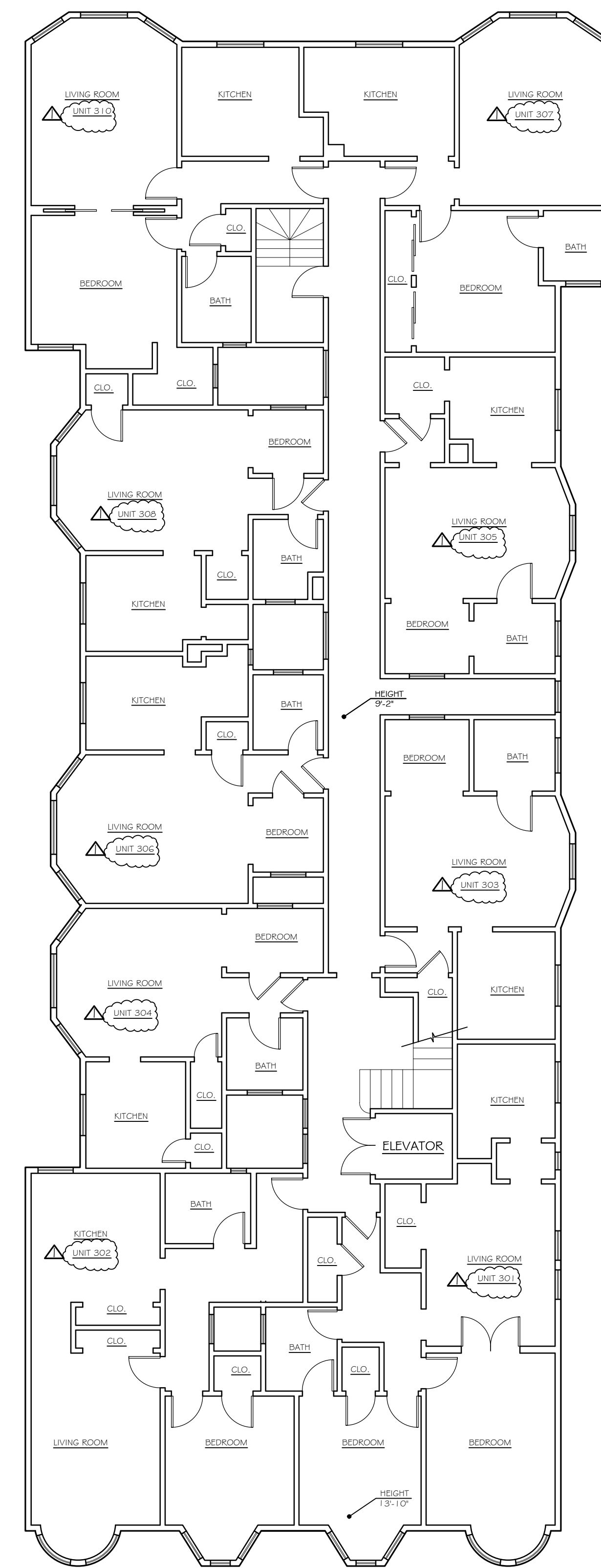
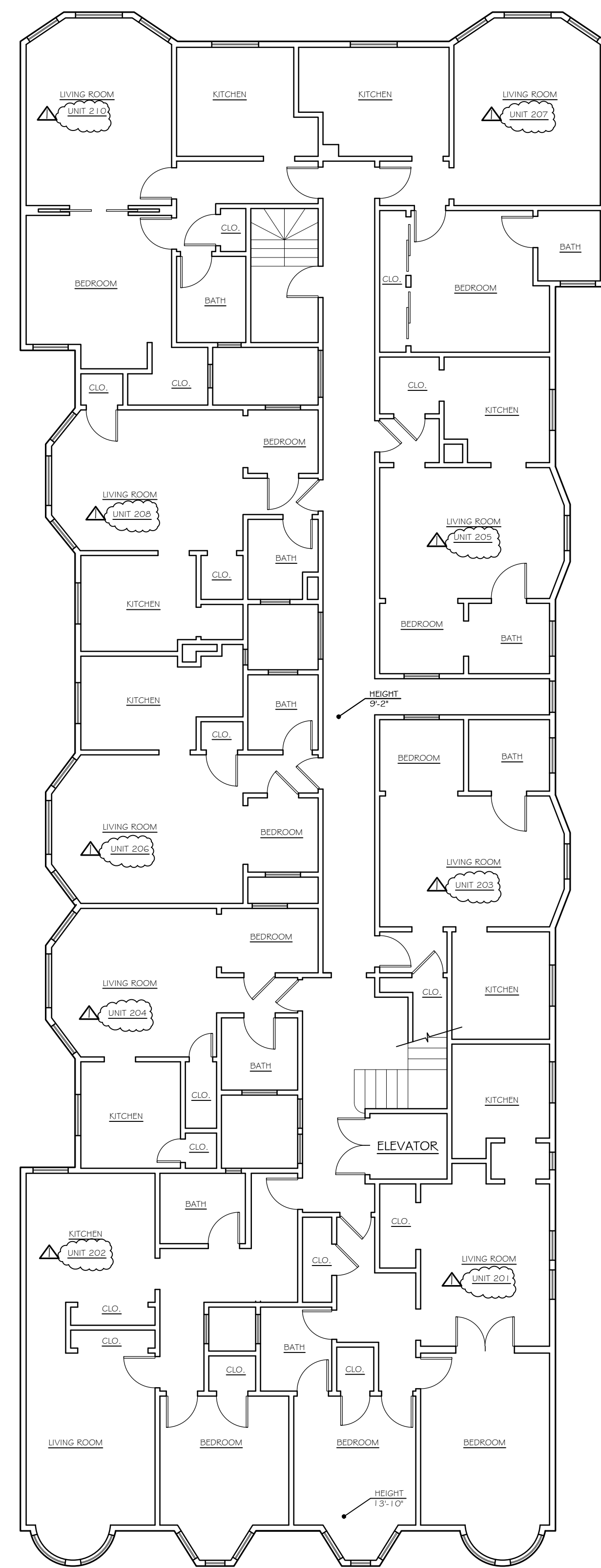
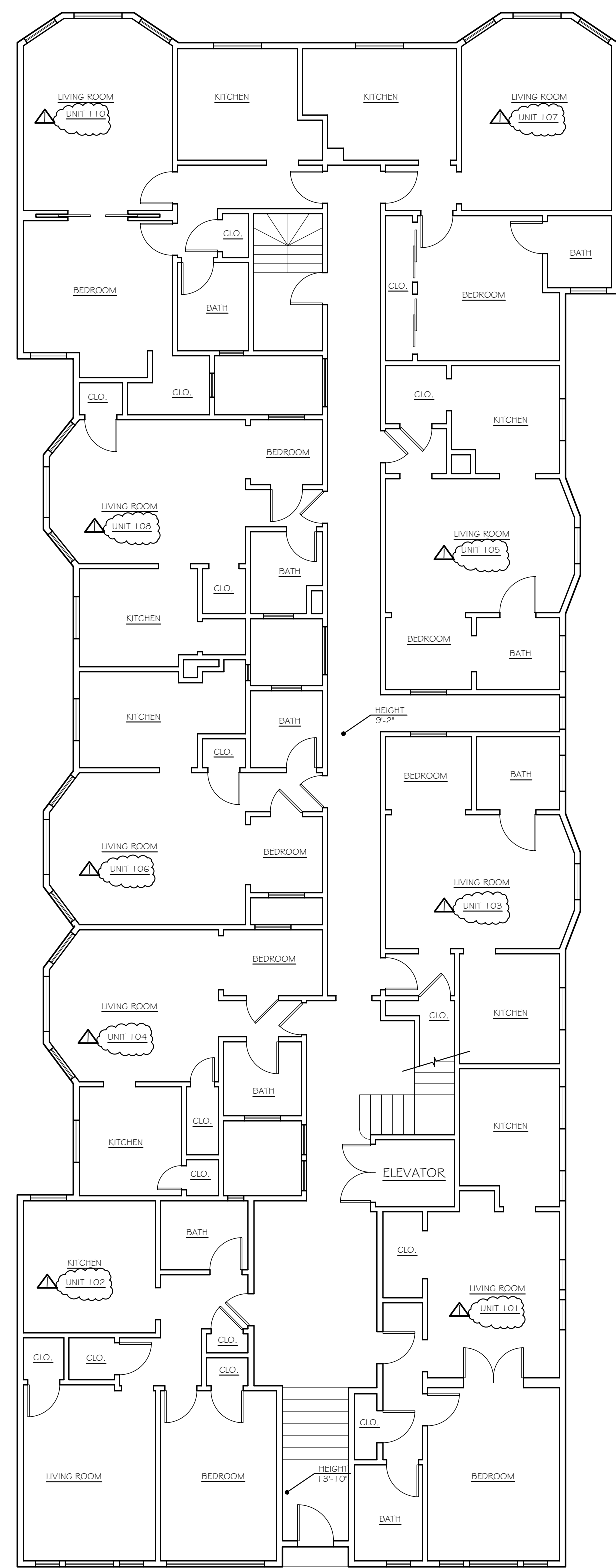
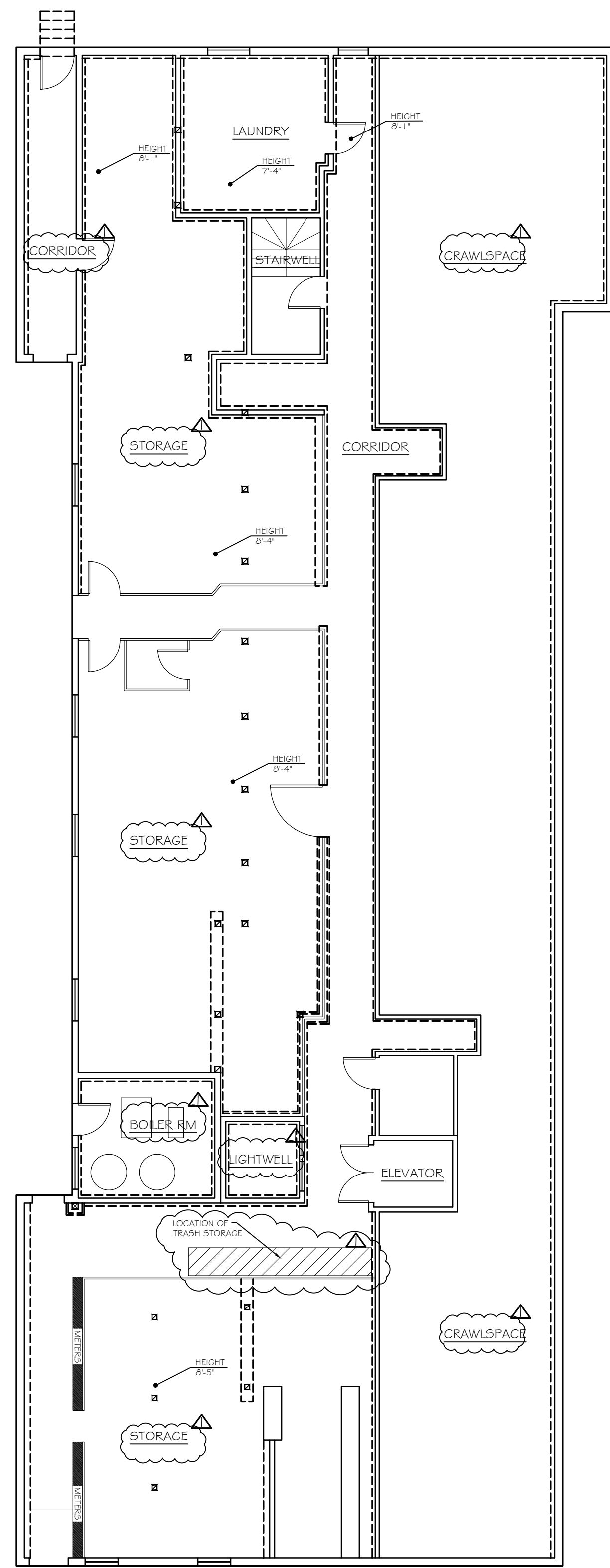
PHOTO 2

▲	RESPONSE TO PLAN CHECK	06-21-16
1	PERMIT SUBMISSION	01-21-16



SITE PHOTOS

CLIENT HAWTHORNE STONE 1704 UNION STREET SAN FRANCISCO, CA 94123	SCALE AS NOTED DATE 01-21-16 DRAWN E.ON. JOB #: 1567
TITLE NEW NEW DWELLING UNITS 1372 PINE STREET SAN FRANCISCO, CA 94109	DRAWING NO. A0.2 <small>2 OF 7 SHEETS</small>



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1	PERMIT SUBMISSION	1-21-16

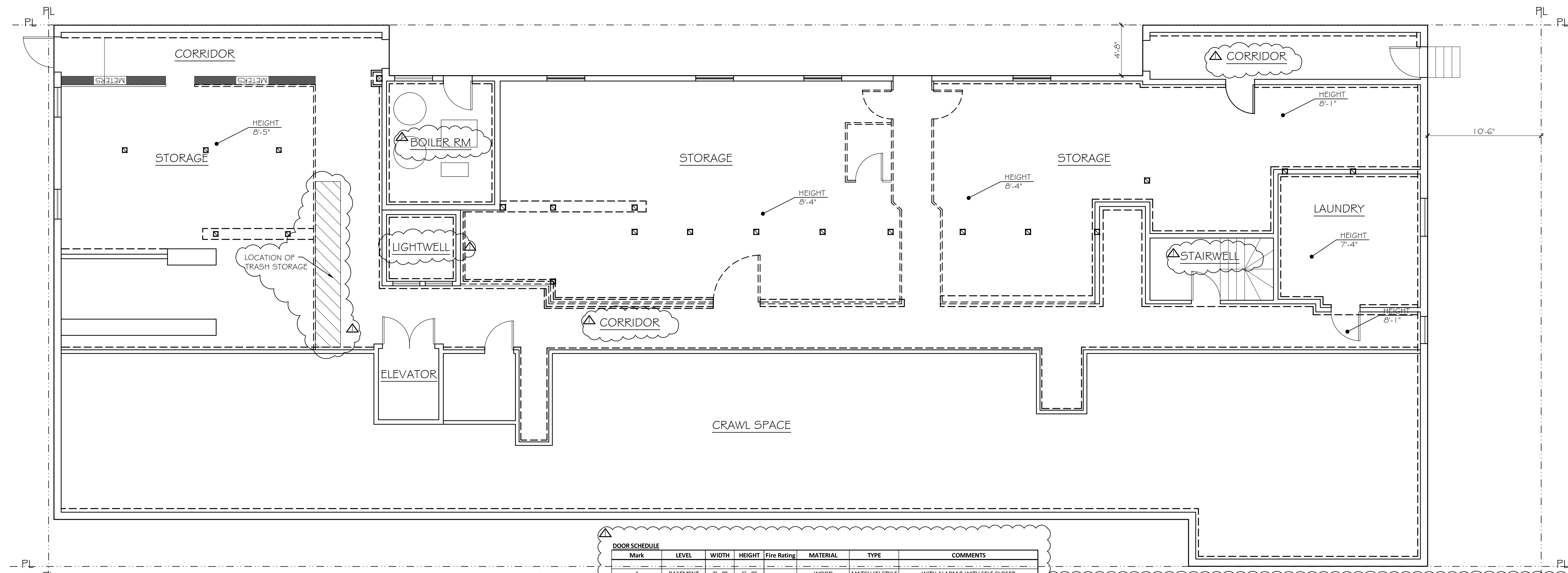


EXISTING FLOOR PLANS

CLIENT HAWTHORNE STONE 1704 UNION STREET SAN FRANCISCO, CA 94123	SCALE 1/8" = 1'-0" DATE 01-21-16 DRAWN E.ON. JOB #: 1567
TITLE NEW NEW DWELLING UNITS 1372 PINE STREET SAN FRANCISCO, CA 94109	DRAWING NO. A1.1 3 OF 7 SHEETS

(E) WALL TO BE DEMOLISHED
 (N) STUD WALL TYPE TYP U.O.N.
 (N) 1-HR RATED STUD WALL

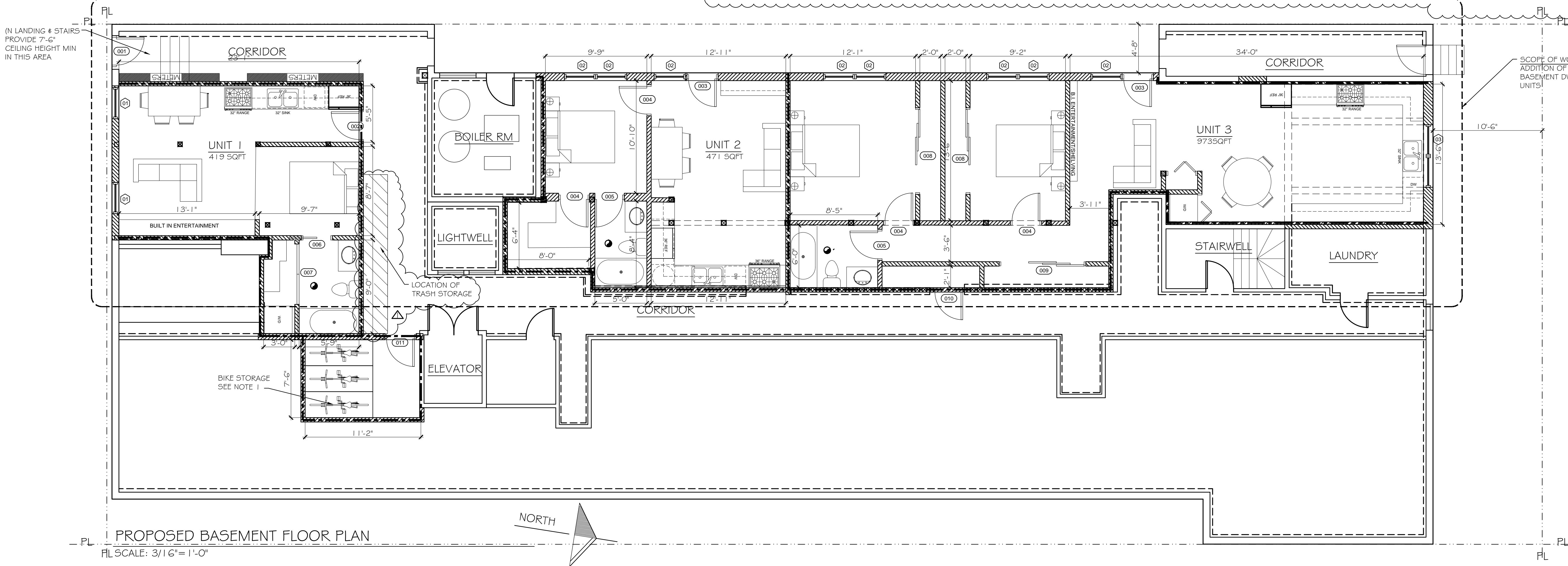
NOTE 1:
 BIKES SHALL BE STORED IN INDIVIDUAL LOCKERS:
 MIN DIMENSIONS: L = 6'-0MIN" x W = 2'-0MIN"
 ALTERNATIVELY LOCKERS CAN STORE TWO BIKES DIAGONALLY
 MIN DIMENSIONS: L = 6'-6MIN" x W = 2'-6MIN"



EXISTING BASEMENT FLOOR PLAN
 SCALE: 3/16" = 1'-0"

Mark	LEVEL	WIDTH	HEIGHT	Fire Rating	MATERIAL	TYPE	COMMENTS
1	BASEMENT	2'-8"	6'-8"	--	WOOD	MATCH (E) STYLE	WITH ALARM & WITH SELF CLOSER
2	BASEMENT	2'-8"	6'-8"	60MIN	WD/SC	B	ENTRY DOOR WITH ALARM
3	BASEMENT	2'-8"	6'-8"	--	ALUM CLAD/GLAZ	C	ENTRY DOOR WITH ALARM TEMP. GLAZ
4	BASEMENT	2'-8"	6'-8"	--	WD/HC	B	STANDARD INTERIOR DOOR
5	BASEMENT	2'-8"	6'-8"	--	WD/GLAZ	C	TEMP. FROSTED GLAZ.
6	BASEMENT	2'-8"	6'-8"	--	WD/GLAZ	F	POCKET DOOR w/ TEMPERED FROSTED GLAZ.
7	BASEMENT	5'-8"	6'-8"	--	WD/GLAZ	F	BIFOLDING LOUVERED CLOSET DOORS
8	BASEMENT	8'-0"	6'-8"	--	ALUM/MIR	E	BYPASS SLIDING CLOSET
9	BASEMENT	8'-0"	6'-8"	--	WD	E	BYPASS SLIDING CLOSET
10	BASEMENT	2'-8"	6'-8"	60 MIN	MTL/SC	B	

Mark	Level	OPERATION	Width (1)	Height (1)	Sill Height (1)	FRAME MATERIAL	Description	Comments
1	BASEMENT	SINGLE HUNG BTM SASH	2'-9"	3'-9"	4'-10"	WOOD	MATCH (E) SIZE & STYLE NEW BTM SLIDING WINDOW	TEMPERED OPERABLE PANEL
2	BASEMENT	SINGLE HUNG BTM SASH	2'-8"	4'-9"	2'-9"	ALUM CLAD	NEW BTM SLIDING WINDOW	TEMPERED OPERABLE PANEL
3	BASEMENT	HORIZONTAL SLIDER	5'-0"	2'-8"	5'-0"	ALUM CLAD	NEW BTM SLIDING WINDOW	TEMPERED
4	BASEMENT	SINGLE HUNG BTM SASH	3'-0"	4'-0"	3'-10"	ALUM CLAD	NEW BTM SLIDING WINDOW	EGRESS WINDOW



PROPOSED BASEMENT FLOOR PLAN
 FL SCALE: 3/16" = 1'-0"

RESPONSE TO PLAN CHECK	06-21-16
PERMIT SUBMISSION	1-21-16



BASEMENT DEMOLITION PLAN
 PROPOSED BASEMENT PLAN

CLIENT HAWTHORNE STONE 1704 UNION STREET SAN FRANCISCO, CA 94123	SCALE 3/16" = 1'-0"
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PROPOSED FRONT ELEVATION (SOUTH)
SCALE: 3/16"=1'-0"



EXISTING FRONT ELEVATION (SOUTH)
SCALE: 3/16"=1'-0"

△	RESPONSE TO PLAN CHECK	06-21-16
1	PERMIT SUBMISSION	1-21-16



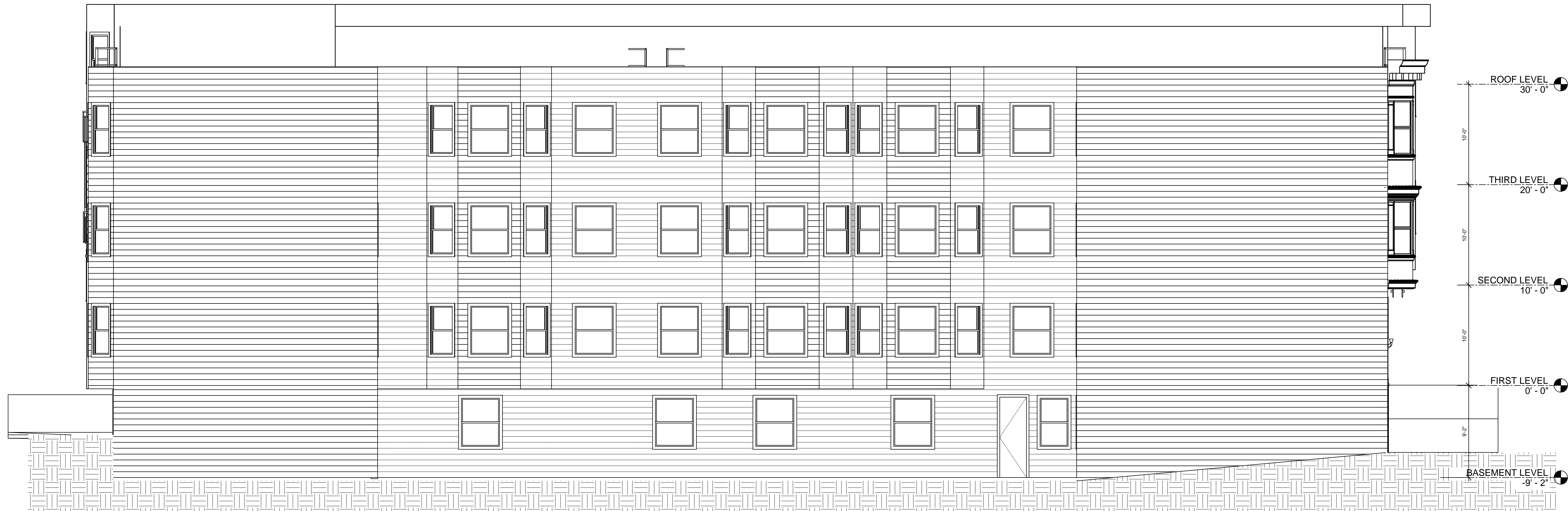
EXISTING FRONT ELEVATION
PROPOSED FRONT ELEVATION

CLIENT HAWTHORNE STONE 1704 UNION STREET SAN FRANCISCO, CA 94123	SCALE 3/16"=1'-0"
TITLE NEW NEW DWELLING UNITS 1372 PINE STREET SAN FRANCISCO, CA 94109	DATE 01-21-16
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EXISTING SIDE ELEVATION (WEST)

SCALE: 3/16" = 1'-0"



PROPOSED SIDE ELEVATION (WEST)

SCALE: 3/16" = 1'-0"

1	PERMIT SUBMISSION	1-21-16
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EXISTING SIDE ELEVATION (WEST)
 PROPOSED SIDE ELEVATION (WEST)

CLIENT HAWTHORNE STONE 1704 UNION STREET SAN FRANCISCO, CA 94123	SCALE 3/16"=1'-0" DATE 01-21-16 DRAWN E.ON. JOB #: 1567
TITLE NEW NEW DWELLING UNITS 1372 PINE STREET SAN FRANCISCO, CA 94109	DRAWING NO. A3.2 <small>6 OF 7 SHEETS</small>



PROPOSED REAR ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"



EXISTING REAR ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"

(N) STUCCO WALL
(N) WINDOW PER SCHEDULE
SCOPE OF WORK:
ADDITION OF NEW BASEMENT
DWELLING UNITS

1	PERMIT SUBMISSION	1-21-16
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EXISTING REAR ELEVATION
PROPOSED REAR ELEVATION

CLIENT HAWTHORNE STONE 1704 UNION STREET SAN FRANCISCO, CA 94123	SCALE 3/16" = 1'-0"
TITLE NEW NEW DWELLING UNITS 1372 PINE STREET SAN FRANCISCO, CA 94109	DATE 01-21-16
	DRAWN E.ON.
	JOB #: 1567
	DRAWING NO. A3.3