



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
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**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 25, 2017**  
 Time: **Not before 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>1033 Washington St.</b>	Case No.: <b>2016-001652VAR</b>
Cross Street(s): <b>Wetmore St./Codman Pl.</b>	Building Permit: <b>2016.02.01.8496</b>
Block /Lot No.: <b>0212 / 038</b>	Applicant: <b>Abraham Jayson</b>
Zoning District(s): <b>RM-3 / 65-A</b>	Telephone: <b>(831) 332-0837</b>
Area Plan: <b>N/A</b>	E-Mail: <a href="mailto:abe@jaysonarch.com"><b>abe@jaysonarch.com</b></a>

## PROJECT DESCRIPTION

The project proposes a one-story vertical addition within the required rear yard with roof deck above and the addition of one dwelling unit.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard setback of 15'-7.5". The existing building is noncomplying with respect to the rear yard requirement. The project proposes to construct a new fourth floor to add a fourth dwelling unit to the property. Additionally, the Building Code requires that the existing stair at the rear of the building be enclosed and extended to the new fourth floor. As the new fourth floor and stair extension are located within the required rear yard setback, a variance is required.

## ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-001652VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Andrew Perry** Telephone: **(415) 575-9017** E-Mail: [\*\*andrew.perry@sfgov.org\*\*](mailto:andrew.perry@sfgov.org)

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On December 12, 2016, the Department issued the required Section 311 notification for this project (expires January 11, 2017).**

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

**ABBREVIATIONS**

&	AND	FLOUR	FLOURESCENT	PLAS	PLASTIC
(E)	EXISTING	FLR	FLOOR	PLY	PLYWOOD
(N)	NEW	FLRG	FLOORING	PR	PAIR
@	AT	FOC	FACE OF CONCRETE	PROJ	PROJECT/PROJECTOR
AB	ANCHOR BOLT	FOF	FACE OF FINISH	PT	POINT/PRESSURE TREATED
AC	ASPHALTIC CONCRETE	FOS	FACE OF STUD	PTD	PAINTED
ACT	ACOUSTIC CEILING TILE	FR	FIRE RESISTENT/FIRE RETARDENT	PVC	POLYVINYLCHLORIDE
AD	AREA DRAIN	FRP	FIBERGLASS REINFORCED PANEL	QTY	QUANTITY
ADJ	ADJACENT/ADJUSTABLE	FRT	FIRE RETARDENT TREATED	R	RISER
AESS	ARCHITECTURAL EXPOSED STRUCTURAL STEEL	FSP	FIBERGLASS SANDWICH PANEL	RAD	RADIUS
AF	ABOVE FINISHED FLOOR	FT	FOOT/FEET	RD	ROOF DRAIN
ALT	ALTERNATE	FTG	FOOTING	REF	REFERENCE
ALUM	ALUMINUM	FURN	FURNITURE	REFR	REFRIDGERATOR
APPROX	APPROXIMATE	GA	GAUGE	REINF	REINFORCE/REINFORCING
AV	AUDIO VISUAL	GALV	GALVANIZED	REQD	REQUIRED
BD	BOARD	GB	GRAB BAR	REQMTS	REQUIREMENTS
BLDG	BUILDING	GC	GENERAL CONTRACTOR	RES	RESILIENT
BLK	BLOCK	GFI	GROUND FAULT INTERRUPT	REV	REVISION
BLKG	BLOCKING	GL	GLASS/GLAZING	RM	ROOM
BM	BEAM	GLAM	GLUE LAMINATED	RO	ROUGH OPENING
BO	BOTTOM OF	GR	GRADE	RWL	RAIN WATER LEADER
BOT	BOTTOM	GSM	GALVANIZED SHEET METAL	S	SOUTH
BUR	BUILT UP ROOF	GWB	GYPJUM WALL BOARD	SASF	SELF ADHERING SURFACE FLASHING
CAB	CABINET	GYP	GYPJUM	SASM	SELF ADHERING SURFACE MEMBRANE
CB	CARRAIGE BOLT	H	HIGH	SC	SOLID CORE
CE	CIVIL ENGINEER	HB	HOSE BIB	SCHED	SCHEDULE
CEM	CEMENT/CEMENTITIOUS	HC	HOLLOW CORE	SE	STRUCTURAL ENGINEER
CER	CERAMIC	HD	HEAD	SEC	SECTION
CJ	CONTROL JOINT	HDR	HEADER	SED	SEE ELECTRICAL DRAWINGS
CLG	CEILING	HDW	HARDWARE	SF	SUPPLY FAN
CLKG	CAULKING	HDWD	HARDWOOD	SH	SINGLE HUNG
CLO	CLOSET	HM	HOLLOW METAL	SHT	SHEET
CLR	CLEAR	HORIZ	HORIZONTAL	SIM	SIMILAR
CMU	CONCRETE MASONRY UNIT	HR	HOUR	SLD	SEE LANDSCAPE DRAWINGS
CNTR	COUNTER	HT	HEIGHT	SMD	SEE MECHANICAL DRAWINGS
CO	CLEAN OUT	HVAC	HEATING VENTILATION& AIR CONDITIONING	SOG	SLAB ON GRADE
COL	COLUMN	ID	INSIDE DIAMETER	SP	SPACE
CONC	CONCRETE	IF	INSIDE FACE	SPD	SEE PLUMBING DRAWINGS
CONN	CONNECTION	INSUL	INSULATION	SPEC	SPECIFICATION
CONT	CONTINUOUS	INT	INTERIOR	SQ	SQUARE
CONTR	CONTRACTOR	JAN	JANITOR	SS	STAINLESS STEEL
CORR	CORRIDOR	JBOX	JUNCTION BOX	SSD	SEE STRUCTURAL DRAWINGS
CPT	CARPET	JST	JOIST	SSGD	SEE SIGNAGE DRAWINGS
CSMT	CASEMENT	JT	JOINT	STD	STANDARD
CTR	CENTER	LAM	LAMINATE	STL	STEEL
CTSK	COUNTERSINK	LAV	LAVATORY	STOR	STORAGE
D	DEPTH	LB	LAG BOLT	STRUC	STRUCTURAL
DBL	DOUBLE	LF	LINEAR FEET	SYS	SYSTEM
DEMO	DEMOLITION	LT	LIGHT	T	TREAD
DEPT	DEPARTMENT	MAX	MAXIMUM	T&G	TOUNGE & GROOVE
DF	DOUGLAS FIR/DRINKING FOUNTAIN	MB	MACHINE BOLT	TBD	TO BE DETERMINED
DH	DOUBLE HUNG	MECH	MECHANICAL	TEL	TELEPHONE
DIA	DIAMETER	MFR	MANUFACTURER	TEMP	TEMPERED
DIM	DIMENSION	MIN	MINIMUM	THRESH	THRESHOLD
DN	DOWN	MISC	MISCELLANEOUS	TJI	TRUSS JOIST
DR	DOOR	MTD	MOUNTED	TO	TOP OF
DS	DOWNSPOUT	MTL	METAL	TOC	TOP OFF CONCRETE/CURB
DTL	DETAIL	N	NORTH	TOP	TOP OFF PAVING
DWG	DRAWING	NA	NOT APPLICABLE	TOS	TOP OF STEEL
E	EAST	NIC	NOT IN CONTRACT	TOW	TOP OF WALL
EA	EACH	NO	NUMBER	TS	TUBE STEEL
EJ	EXPANSION JOINT	NOM	NOMINAL	TYP	TYPICAL
ELEC	ELECTRICAL	NTS	NOT TO SCALE	UNON	UNLESS OTHERWISE NOTED
ELEV	ELEVATION/ELEVATOR	OA	OVERALL	UR	URINAL
EOS	EDGE OF SLAB	OC	ON CENTER	VCT	VINYL COMPOSITION TILE
EP	ELECTRICAL PANEL	OCC	OCCUPANT	VENT	VENTILATION
EQ	EQUAL	OD	OUTSIDE DIAMETER/OVERFLOW DRAIN	VERT	VERTICAL
EQUIP	EQUIPMENT	OF	OUTSIDE FACE	VEST	VESTIBULE
EWC	ELECTRIC WATER COOLER	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	VIF	VERIFY IN FIELD
EXP	EXPANSION	OFD	OVERFLOW DRAIN	W	WEST/WIDTH
EXT	EXTERIOR	OFF	OFFICE	W/	WITH
FA	FIRE ALARM	OP	OPERABLE	W/O	WITHOUT
FD	FLOOR DRAIN	OPNG	OPENING	WC	WATER CLOSET
FDN	FOUNDATION	OPP	OPPOSITE	WD	WOOD
FE	FIRE EXTINGUISHER	OPP HD	OPPOSITE HAND	WH	WATER HEATER
FEC	FIRE EXTINGUISHER CABINET	PA	PUBLIC ADDRESS	WIN	WINDOW
FIN	FINISH	PARTN	PARTITION	WO	WHERE OCCURS
FIN FLR	FINISH FLOOR	PCP	PORTLAND CEMENT PLASTER	WP	WORK POINT
FIXT	FIXTURE	PL	PLASTER	WR	WATER RESISTENT
		PLAM	PLASTIC LAMINATE	WT	WEIGHT

**CONTACT INFORMATION**

**JAYSON ARCHITECTURE**  
**ABRAHAM JAYSON**  
 125 POCHE STREET  
 SAN FRANCISCO CA 94134  
 abe@jaysonarch.com  
 831-332-0837

**PROJECT DESCRIPTION**

- 4TH FLOOR RESIDENTIAL UNIT ADDITION TO A THREE FLOOR THREE UNIT BUILDING.
- RENOVATION OF EXISTING THIRD FLOOR UNIT ENTRY.
- RENOVATION OF EXISTING BASEMENT, INCLUDING MINOR EXCAVATION TO INCREASE HEAD HEIGHT
- REPAIR OF EXISTING EXTERIOR EGRESS STAIR AT REAR OF PROPERTY.
- SEISMIC UPGRADE & FOUNDATION UPGRADE

**GENERAL NOTES**

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
- ALL WORK SHALL MEET OR EXCEED THE MINIMUM STANDARDS OF THE 2013 CALIFORNIA BUILDING CODE AND ALL APPLICABLE CODES AND ORDINANCES.
- INFORMATION CONTAINED WITHIN THESE DOCUMENTS SHALL NOT BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE APPLICABLE CODES.
- CONTRACTOR SHALL EXAMINE THE DOCUMENTS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPENCIES WHICH MAY BE FOUND PRIOR TO THE START OF WORK.
- CONTRACTOR SHALL REVIEW ALL DOCUMENTS TO COORDINATE W/ THE (E) BLDG CONDITIONS. ANY VARIATIONS AND DISCREPENCIES THAT ARISE IN THIS REVIEW ARE TO BE BROUGHT IMMEDIATELY TO THE ARCHITECT'S ATTENTION.
- THE CONTRACTOR AND ALL SUBCONTRACTORS ARE REQUIRED TO VISIT AND INSPECT THE SITE PRIOR TO CONSTRUCTION OR ORDERING ANY MATERIALS.
- ALL DETAILS, SCHEDULES, ADDENDA AND SPECIFICATIONS BOUND SEPARATELY ARE A PART OF THE CONTRACT DOCUMENTS.
- ITEMS MARKED "NIC" ARE NOT IN CONTRACT. SUCH ITEMS ARE INCLUDED IN THE DOCUMENTS WHEN CONTRACTOR'S COORDINATION IS REQUIRED OR FOR CLARIFICATION OF PROJECT LIMITS.
- DIMENSIONS:
  - IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM THE DRAWINGS.
  - ALL DIMENSIONS ARE TO THE ROUGH OPENING, UNON.
  - ALL DIMENSIONS TO STUD WALLS ARE TO THE FACE OF STUD, UNON.
  - CEILING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR TO FINISHED FACE OF CEILING, UNON.
  - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR AND ALL SUBCONTRACTORS PRIOR TO PROCEEDING WITH CONSTRUCTION.
  - COORDINATE WITH EQUIPMENT CONTRACTORS FOR ROUGH-IN DIMENSIONS AND TEMPLATES.
  - ALL DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE STRICTLY MAINTAINED. "CLEAR" MEANS DIMENSION FROM FACE OF FINISH TO FACE OF FINISH OR OBJECT.
  - ALL DIMENSIONS NOTED "VERIFY" OR "VIF" ARE TO BE CHECKED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY VARIANCE FROM THE REQUIRED DIMENSIONS MUST BE BROUGHT IMMEDIATELY TO THE ARCHITECT'S ATTENTION.
- DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES, UNON.
- WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THE PROJECT.
- ALL WORK IS UNDERSTOOD TO BE (N) UNLESS NOTED AS (E).
- THE CONTRACTOR SHALL MEET W/ THE ARCHITECT PRIOR TO THE START OF DEMOLITION TO NOTE WHAT ITEMS, IF ANY, ARE TO BE SALVAGED OR REUSED.
- THE DRAWINGS INDICATE THE GENERAL EXTENT OF (N) CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL DEMO AND (N) WORK NECESSARY FOR A FINISHED JOB, IN ACCORDANCE W/ THE INTENTIONS OF THE CONTRACT DOCUMENTS, IS INCLUDED REGARDLESS OF WHETHER SHOWN IN THE CONTRACT DOCUMENTS.
- (E) BUILDING DOCUMENTATION IS BASED ON "AS-BUILT" DRAWINGS AND OBSERVATIONAL SITE INVESTIGATIONS. ACTUAL BUILT CONDITIONS MAY VARY. CONTRACTOR IS TO USE CAUTION IN DEMOLITION, AND IS TO NOTIFY ARCHITECT IMMEDIATELY IF ANY VARIATIONS OR DISCREPENCIES ARE UNCOVERED.
- PROTECT ALL (E) BUILDING AND SITE CONDITIONS TO REMAIN, INCLUDING BUT NOT LIMITED TO WALLS, PAVING AND LANDSCAPING.

**DESIGN-BUILD DEFERRED SUBMITTALS**

THE DESIGN INTENT AND PERFORMANCE CRITERIA FOR THE FOLLOWING ITEMS IS SHOWN AND NOTED ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE DESIGN DOCUMENTATION, IF REQUIRED, FOR CITY APPROVAL PRIOR TO CONSTRUCTION. BIDS SHALL INCLUDE REQUIRED DESIGN, DOCUMENTATION AND INSTALLATION OF A COMPLETE OPERATING SYSTEM THAT SATISFIES THE SPECIFIED PERFORMANCE CRITERIA AND MEETS ALL APPLICABLE CODES.

- MECHANICAL & SPACE CONDITIONING SYSTEMS
- PLUMBING SYSTEMS
- ELECTRICAL SYSTEMS

**PROJECT DATA**

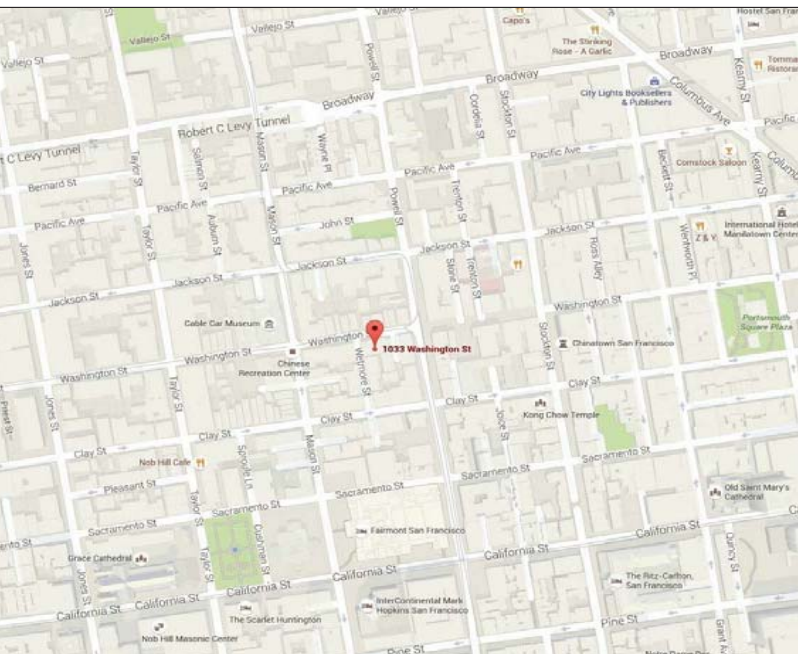
**PLANNING CODE DATA**

- PLANNING CODE EDITION: 2014 SAN FRANCISCO PLANNING CODE
- BLOCK #: 0212
- LOT #: 038
- PROPERTY DIMENSIONS: 28'-0" X 62'-6" = 1,750 SQUARE FEET
- ZONING: RM-3
- HEIGHT/BULK: 65-A
- MAX BULK DIMENSIONS: 100'-0" LENGTH, 125'-0" DIAGONAL
- NUMBER OF DWELING UNITS: 3 EXISTING, 4 PROPOSED, 4 ALLOWED (1,750/400=4.375)
- NUMBER OF STORIES (EXCLUDING SUB-GRADE BASEMENT): 3 EXISTING, 4 PROPOSED
- BUILDING HEIGHT: 42'-1 1/2" EXISTING, 50'-0" PROPOSED, 65'-0" ALLOWED (PER SF PLANNING)
- TOTAL GROSS SQUARE FEET, HABITABLE: 4,654 EXISTING, 6,029 PROPOSED, 6,300 ALLOWED (PER F.A.R. LIMITS: 1,750 X 3.6)
- BASEMENT LEVEL: 0 EXISTING HABITABLE SQUARE FEET, 1,465 EXISTING NON-HABITABLE. 0 PROPOSED HABITABLE SQUARE FEET, 1,546 PROPOSED NON-HABITABLE SQUARE FEET.
- 1ST FLOOR, EXISTING UNIT 1033: 1,460 EXISTING SQUARE FEET, HABITABLE. 1,460 PROPOSED SQUARE FEET, HABITABLE.
- 2ND FLOOR, EXISTING UNIT 1035: 1,597 EXISTING SQUARE FEET, HABITABLE. 1,597 PROPOSED SQUARE FEET, HABITABLE.
- 3RD FLOOR, EXISTING UNIT 1037: 1,597 EXISTING SQUARE FEET, HABITABLE. 1,597 PROPOSED SQUARE FEET, HABITABLE.
- 4TH FLOOR, PROPOSED UNIT 1039: 1,235 PROPOSED SQUARE FEET, HABITABLE.
- BUILDING DEPTH: 62'-6" EXISTING, 62'-6" PROPOSED, 46'-10.5" ALLOWED (VARIANCE REQUESTED FOR EXISTING NON-CONFORMING CONDITION, COMMON IN NEIGHBORHOOD)

**SHEET INDEX**

A0.00	COVER SHEET
A1.00	(E) PLOT PLAN
A1.01	(N) PLOT PLAN
A2.01	DEMOLITION PLANS
A2.02	DEMOLITION PLANS
A2.03	DEMOLITION PLANS
A2.11	PROPOSED FLOOR PLANS
A2.12	PROPOSED FLOOR PLANS
A2.13	PROPOSED FLOOR PLANS
A3.00	EXTERIOR ELEVATIONS (E)
A3.01	EXTERIOR ELEVATIONS (E)
A3.02	EXTERIOR ELEVATIONS (E)
A3.03	EXTERIOR ELEVATIONS (E)
A3.04	EXTERIOR ELEVATIONS (N)
A3.05	EXTERIOR ELEVATIONS (N)
A3.06	EXTERIOR ELEVATIONS (N)
A3.07	EXTERIOR ELEVATIONS (N)
A3.10	EXISTING BUILDING SECTION
A3.11	EXISTING BUILDING SECTIONS
A3.12	PROPOSED BUILDING SECTIONS
A3.13	PROPOSED BUILDING SECTIONS
A3.20	PERSPECTIVES
A3.21	VIEW FROM POWELL ST
A3.30	SITE PHOTOS

**VICINITY MAP**



**JAYSON ARCHITECTURE**  
 125 POCHE ST  
 SAN FRANCISCO CA, 94134  
 831.332.0837

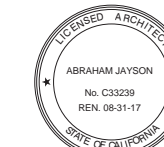
**CLIENT**

**LIBERTY DEVELOPMENT GROUP LLC**

**PROJECT**

**RENOVATION & ADDITION**

**1033-1039 WASHINGTON ST. SAN FRANCISCO CA 94108**



**PLANNING SUBMITTAL**

SHEET TITLE  
**COVER SHEET**

**REVISIONS**

NO.	DATE	DESCRIPTION
2	5/5/16	PLANNING REVISION 02
4	7/25/16	PLANNING REVISION 04

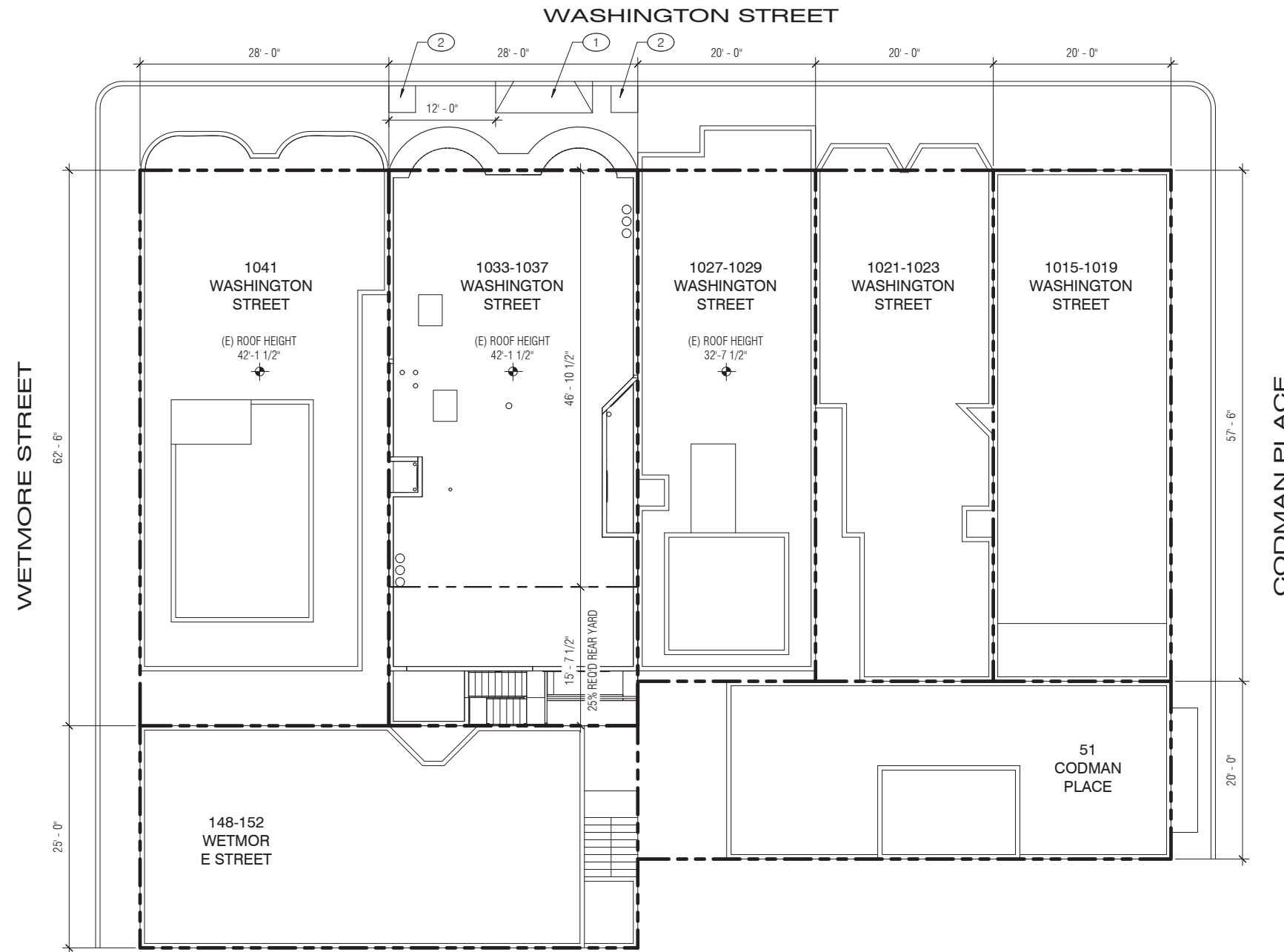
DATE 2/1/16

SCALE

JOB NO. 2015.06

SHEET NUMBER

**A0.00**



**KEY NOTES**

- 1 EXISTING CURB CUT
- 2 EXISTING EMPTY PLANTING BASIN
- 3 NEW STREET TREE IN EXISTING PLANTING BASIN
- 4 NEW STREET TREE IN NEW PLANTING BASIN
- 5 NEW CURB CUT

**JAYSON**  
ARCHITECTURE

125 POCHE ST  
SAN FRANCISCO CA, 94134  
831.332.0837

**CLIENT**

LIBERTY DEVELOPMENT  
GROUP LLC

**PROJECT**

**RENOVATION & ADDITION**

1033-1039  
WASHINGTON ST.  
SAN FRANCISCO CA  
94108



*Abraham Jayson*

**PLANNING  
SUBMITTAL**

SHEET TITLE  
**(E) PLOT PLAN**

REVISIONS		
NO.	DATE	DESCRIPTION
2	5/5/16	PLANNING REVISION 02

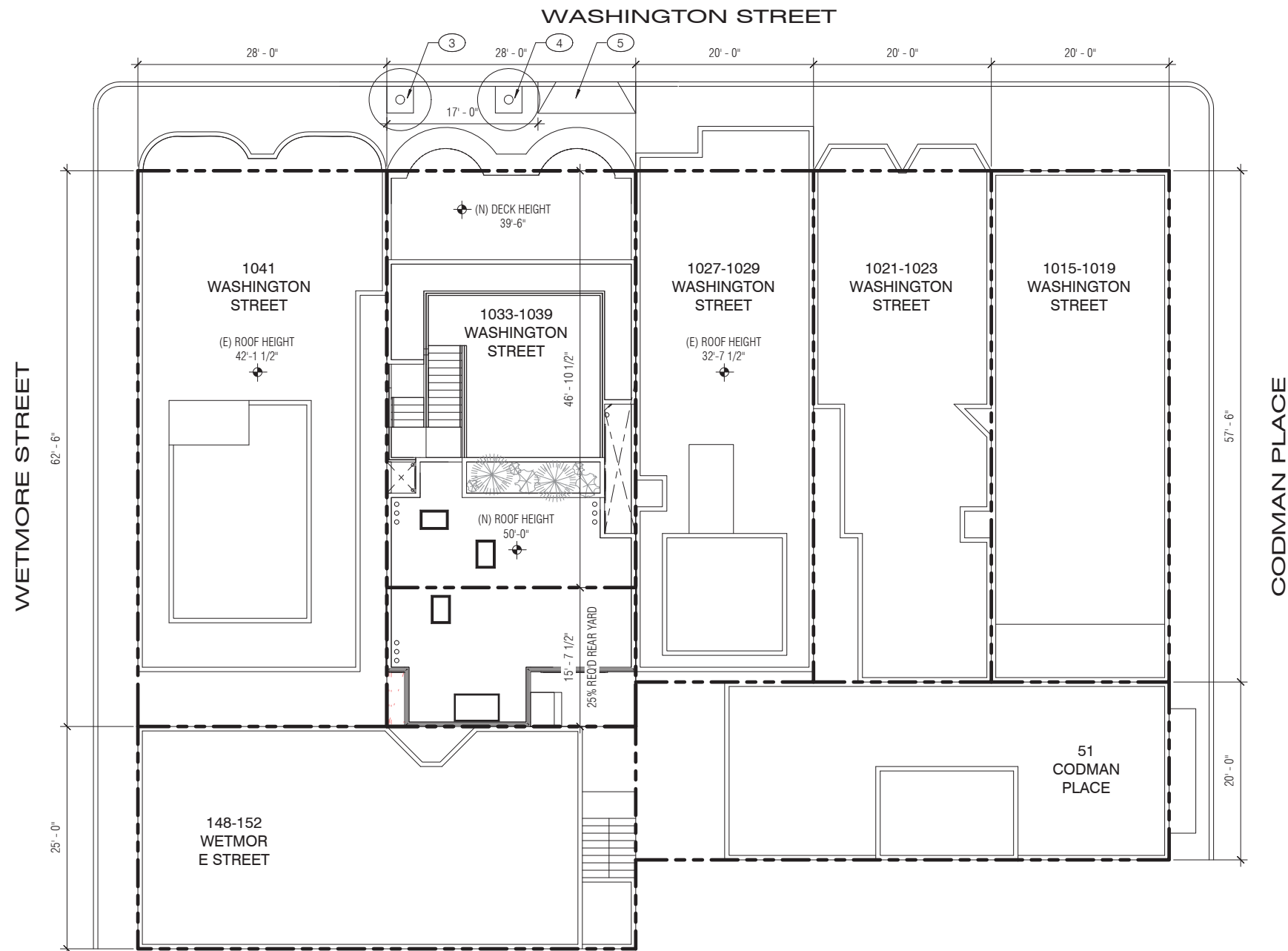
1 **EXISTING PLOT PLAN**  
A1.00 1/8" = 1'-0"



DATE 2/1/16  
SCALE 1/8" = 1'-0"  
JOB NO. 2015.06

SHEET NUMBER

**A1.00**



**KEY NOTES**

- 1 EXISTING CURB CUT
- 2 EXISTING EMPTY PLANTING BASIN
- 3 NEW STREET TREE IN EXISTING PLANTING BASIN
- 4 NEW STREET TREE IN NEW PLANTING BASIN
- 5 NEW CURB CUT

**JAYSON**  
ARCHITECTURE

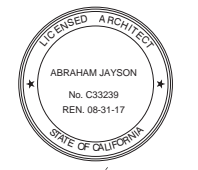
125 POCHE ST  
SAN FRANCISCO CA, 94134  
831.332.0837

**CLIENT**

LIBERTY DEVELOPMENT GROUP LLC

**PROJECT**

RENOVATION & ADDITION  
1033-1039 WASHINGTON ST.  
SAN FRANCISCO CA 94108



*Abraham Jayson*

**PLANNING SUBMITTAL**

SHEET TITLE  
**(N) PLOT PLAN**

REVISIONS		
NO.	DATE	DESCRIPTION
2	5/5/16	PLANNING REVISION 02

1 PROPOSED PLOT PLAN  
A1.01 1/8" = 1'-0"

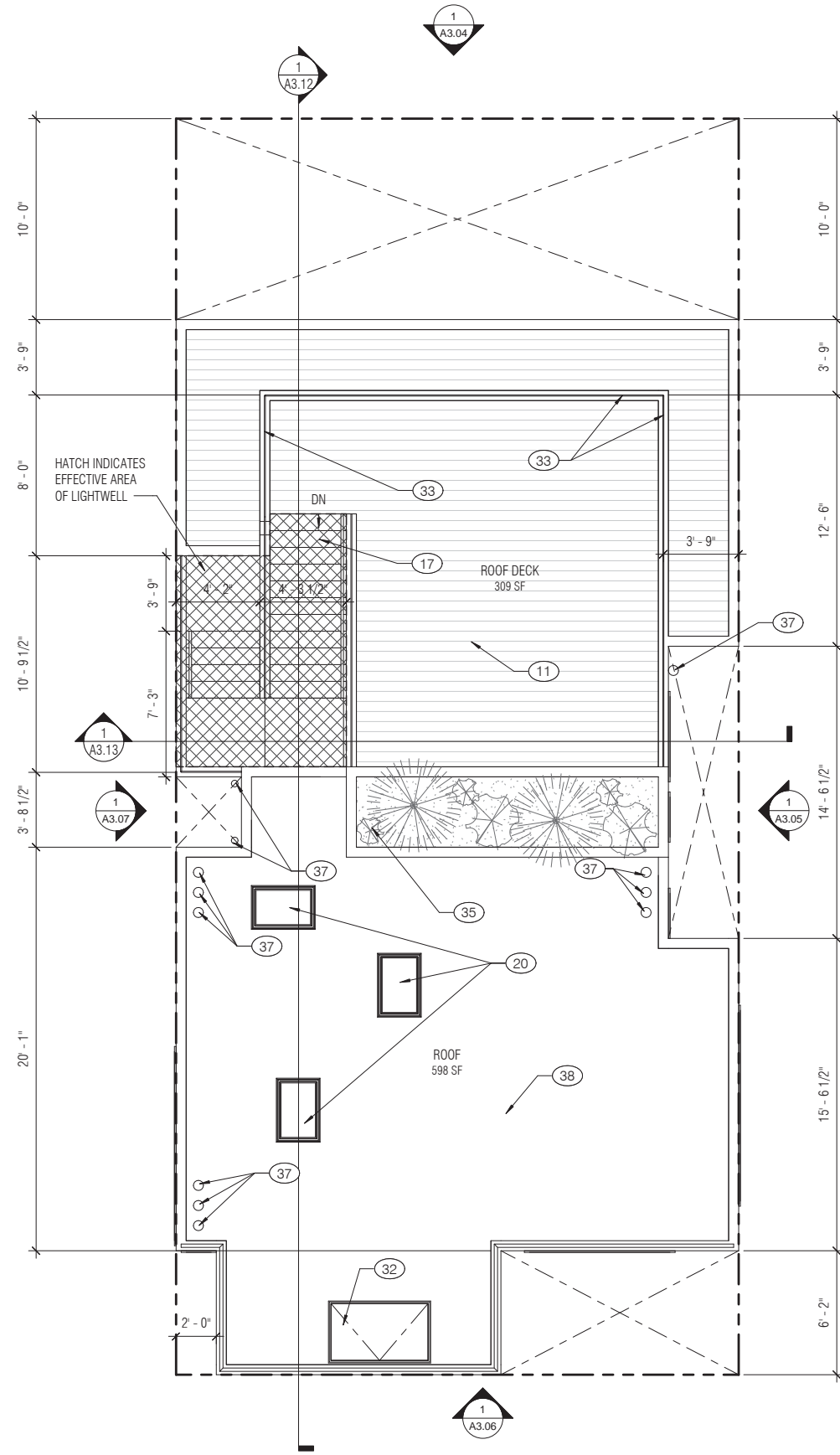


DATE 2/1/16  
SCALE 1/8" = 1'-0"  
JOB NO. 2015.06

SHEET NUMBER  
**A1.01**

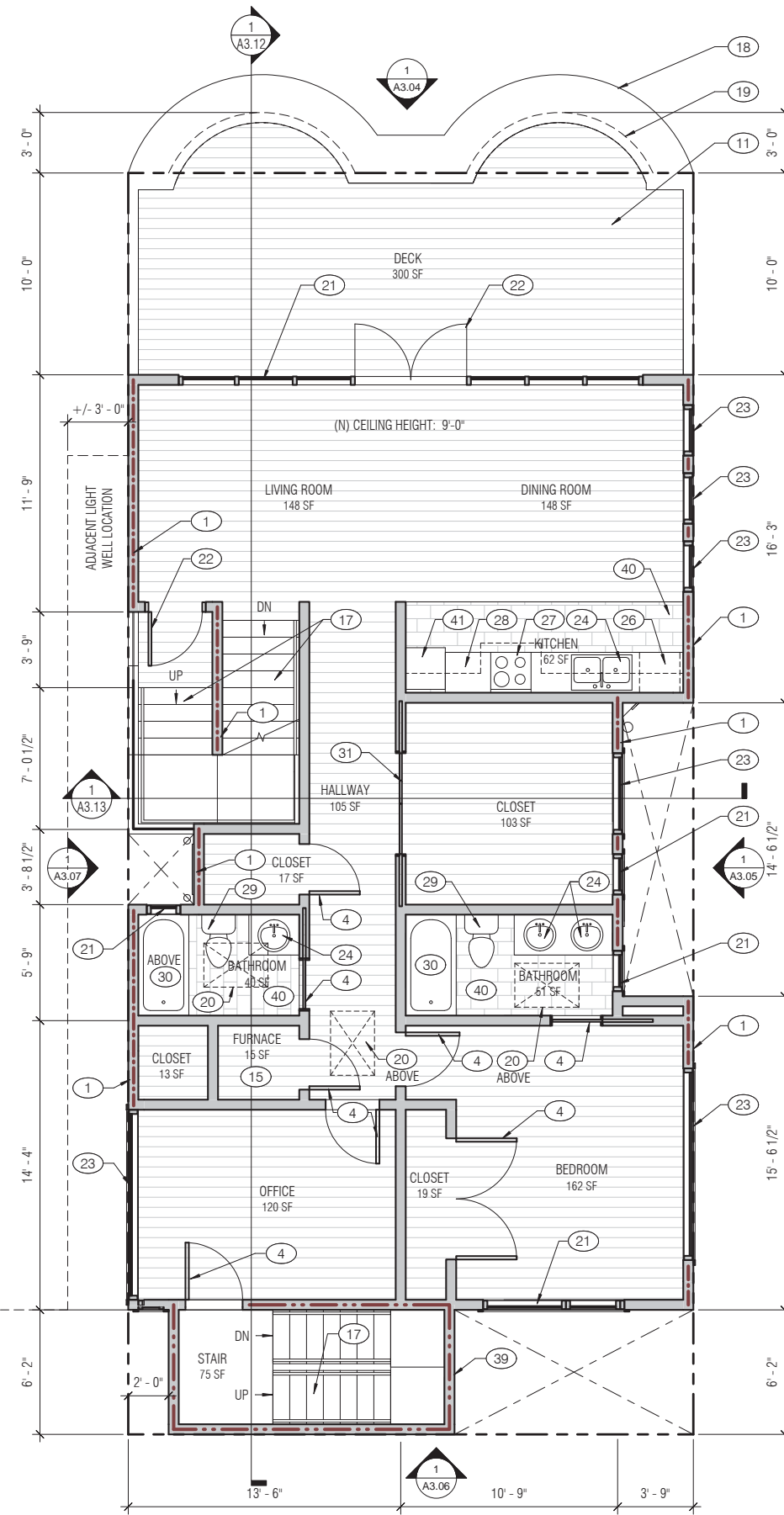


12/9/2016 4:39:34 PM



TOTAL ROOF AREA: 1,225 SQUARE FEET

**05 - PROPOSED ROOF DECK/ROOF PLAN**  
1/4" = 1'-0"



**04 - PROPOSED FLOOR PLAN (UNIT 1039)**  
1/4" = 1'-0"

**KEY NOTES**

- 1 NEW 1 HOUR RATED WALL
- 2 RELOCATED EXISTING WASHER/DRYER
- 3 NEW INSTANT HOT WATER HEATER
- 4 NEW DOOR
- 5 NEW GARAGE DOOR
- 6 NEW TRENCH DRAIN
- 7 NEW 1 HOUR FIRE RATED CEILING
- 8 NEW PARKING SPACE STRIPING
- 9 NEW SLAB ON GRADE, SSD
- 10 EXISTING GAS METER
- 11 NEW EXTERIOR WOOD DECK
- 12 RELOCATED ELECTRIC METER
- 13 NEW CONCRETE RETAINING WALL
- 14 NEW CONCRETE STAIRS & LANDING
- 15 NEW FORCED AIR GAS FURNACE
- 16 NEW 1-1/2 RATED DOOR
- 17 NEW STAIR AND LANDING
- 18 EXISTING PARAPET TO REMAIN
- 19 EXISTING WALL BELOW
- 20 NEW SKYLIGHT
- 21 NEW WINDOW
- 22 NEW GLASS DOOR
- 23 NEW 45 MINUTE RATED GLASS WINDOW
- 24 NEW SINK
- 25 NEW KITCHEN ISLAND
- 26 NEW DISHWASHER
- 27 NEW OVEN & RANGE WITH HOOD ABOVE
- 28 NEW UPPER/LOWER KITCHEN CABINERY
- 29 NEW TOILET
- 30 NEW BATHTUB/SHOWER
- 31 NEW SLIDING DOOR
- 32 NEW ROOF HATCH
- 33 NEW GLASS GUARDRAIL
- 34 NEW 42" HIGH PARAPET WALL
- 35 NEW 42" HIGH PLANTER
- 36 NEW MECH/PLUMB VENT
- 37 EXTEND EXISTING MECH/PLUMB VENT
- 38 NEW LOW SLOPE BUILT UP ROOF
- 39 NEW 2 HOUR RATED WALL
- 40 NEW TILE FLOOR
- 41 NEW REFRIDGERATOR
- 42 UPGRADE EXISTING FOUNDATION
- 43 NEW BIKE RACK PER SFPC SECTION 155.1-155.3, BULLETIN #09
- 44 NEW STRIPING INDICATING "NO PARKING"

INDICATES NEW WALL

INDICATES NEW WOOD FLOOR/DECK



**JAYSON**  
ARCHITECTURE  
125 PICOHE ST  
SAN FRANCISCO CA, 94134  
831.332.0837

**CLIENT**

LIBERTY DEVELOPMENT  
GROUP LLC

**PROJECT**

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SAN FRANCISCO CA  
94108



**PLANNING  
SUBMITTAL**

SHEET TITLE  
**PROPOSED  
FLOOR PLANS**

**REVISIONS**

NO.	DATE	DESCRIPTION
2	5/5/16	PLANNING REVISION 02
3	7/5/16	PLANNING REVISION 03
5	8/31/16	PLANNING REVISION 05
6	8/31/16	DBI PRE-APP
7	9/20/16	DBI PRE-APP #2

DATE 2/1/16  
SCALE As indicated  
JOB NO. 2015.06

SHEET NUMBER

**A2.13**



1  
A3.00  
EXISTING NORTH ELEVATION  
1/4" = 1'-0"

**KEY NOTES**

- 1 EXISTING CEMENT PLASTER
- 2 EXISTING BRICK
- 3 EXISTING MASONRY
- 4 DEMOLISH EXISTING ROOFTOP VENT
- 5 DEMOLISH EXISTING WINDOW
- 6 DEMOLISH EXISTING WALL
- 7 DEMOLISH EXISTING GUARDRAIL
- 8 DEMOLISH EXISTING EXTERIOR STAIR
- 9 NEW GLASS DOOR
- 10 NEW WHITE FIBER CEMENT PANEL
- 11 EXISTING WOOD FRAMED WINDOWS TO REMAIN, TYP
- 12 PAINT EXISTING WINDOW TRIM, TYP
- 13 PAINT EXISTING CEMENT PLASTER, TYP
- 14 PAINT EXISTING MASONRY, TYP
- 15 PAINT EXISTING STEEL GATE
- 16 NEW GARAGE DOOR WITH FROSTED GLAZING
- 17 NEW DOOR
- 18 NEW BIRD SAFE FROSTED GLASS GUARDRAIL PER PLANNING 139(B)1
- 19 NEW PLANTING
- 20 NEW PAINTED WOOD SIDING
- 21 EXTEND EXISTING MECH/PLUMB VENT
- 22 REPAINT EXISTING CEMENT PLASTER, TYP
- 23 PAINT EXISTING WOOD SIDING WHERE ACCESSIBLE
- 24 PAINT EXISTING GUARDRAIL
- 25 PAINT EXISTING STAIR AND LANDING
- 26 NEW FROSTED PROPERTY LINE WINDOW
- 27 NEW FIBER CEMENT SIDING
- 28 NEW WINDOW
- 29 METAL GUARDRAIL

**JAYSON**  
ARCHITECTURE  
125 POCHE ST  
SAN FRANCISCO CA, 94134  
831.332.0837

**CLIENT**

LIBERTY DEVELOPMENT  
GROUP LLC

**PROJECT**

RENOVATION & ADDITION  
1033-1039  
WASHINGTON ST.  
SAN FRANCISCO CA  
94108



**PLANNING  
SUBMITTAL**

SHEET TITLE  
**EXTERIOR  
ELEVATIONS (E)**

REVISIONS		
NO.	DATE	DESCRIPTION
2	5/5/16	PLANNING REVISION 02

DATE 2/1/16  
SCALE As indicated  
JOB NO. 2015.06

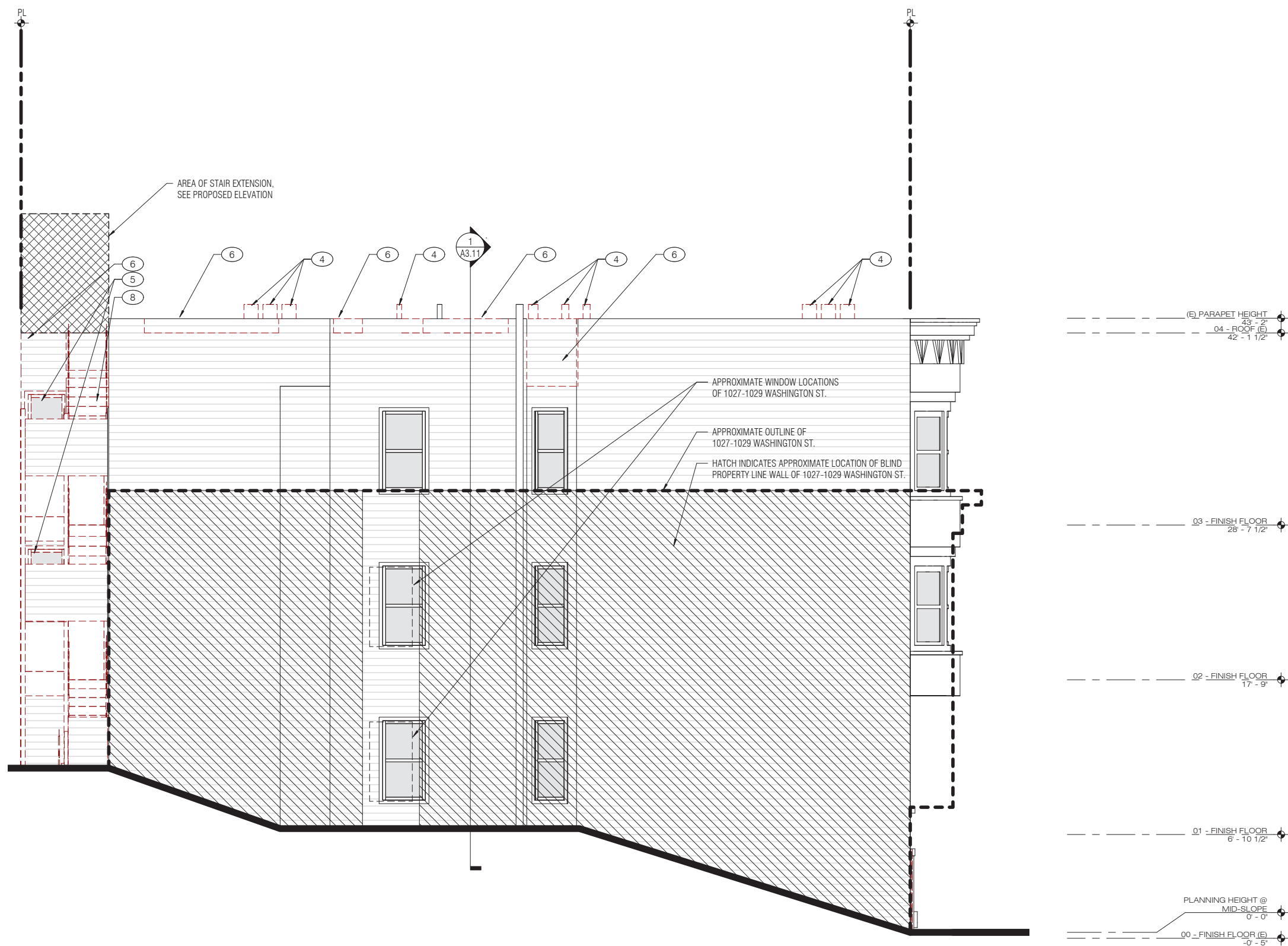
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**A3.00**



12/9/2016 4:39:46 PM



12/9/2016 4:39:47 PM



**KEY NOTES**

- 1 EXISTING CEMENT PLASTER
- 2 EXISTING BRICK
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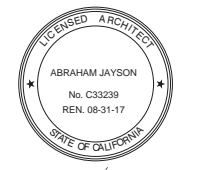
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**PLANNING  
SUBMITTAL**

SHEET TITLE  
**EXTERIOR  
ELEVATIONS (E)**

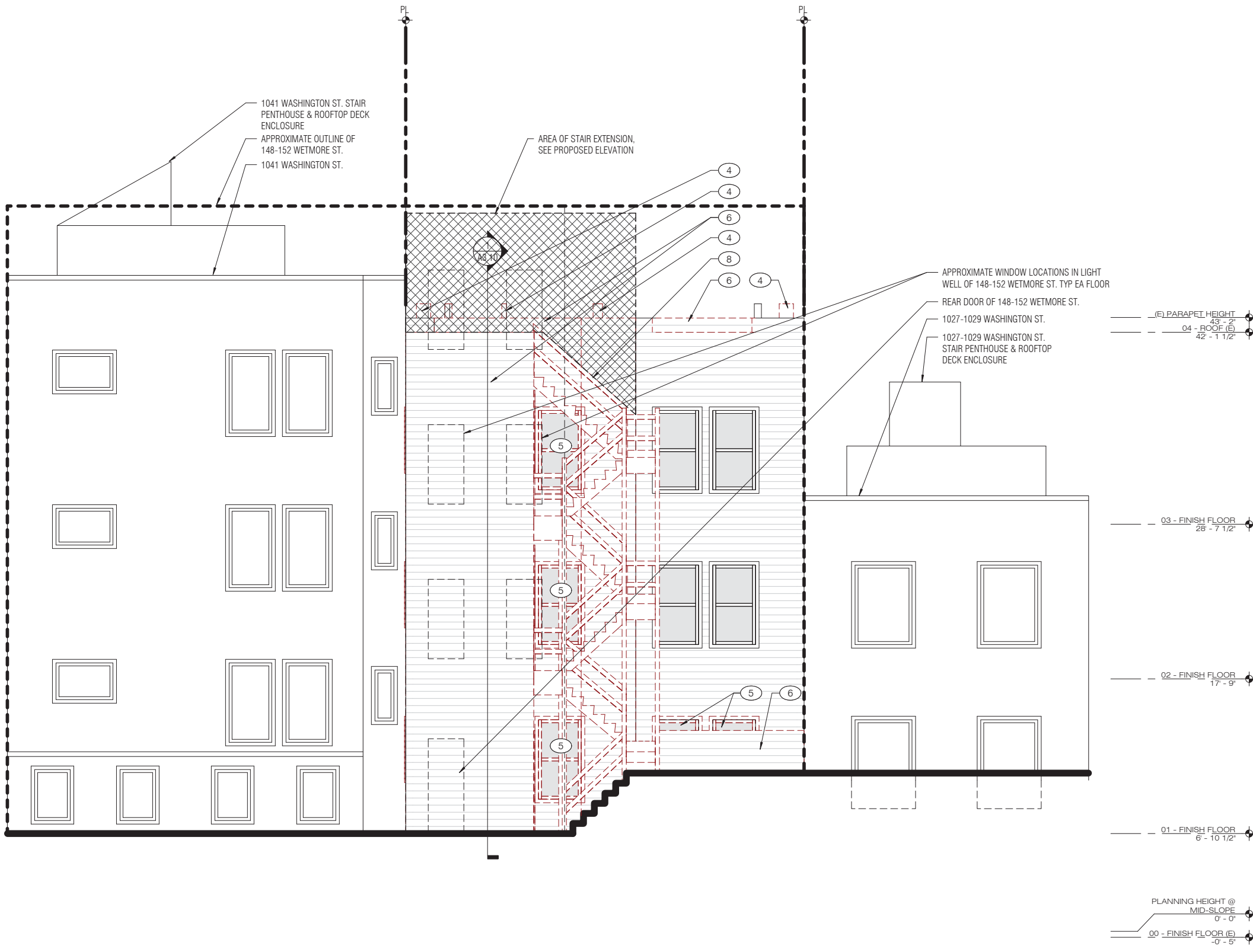
REVISIONS		
NO.	DATE	DESCRIPTION
2	5/5/16	PLANNING REVISION 02
7	9/20/16	DBI PRE-APP #2

DATE 2/1/16  
SCALE As indicated  
JOB NO. 2015.06

SHEET NUMBER  
**A3.01**

1 EXISTING EAST ELEVATION  
A3.01 1/4" = 1'-0"





**1 EXISTING SOUTH ELEVATION**  
A3.02 1/4" = 1'-0"

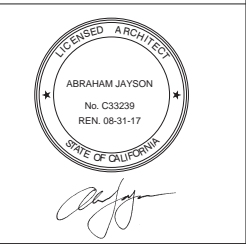
**KEY NOTES**

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WASHINGTON ST.  
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94108



**PLANNING  
SUBMITTAL**

SHEET TITLE  
**EXTERIOR  
ELEVATIONS (E)**

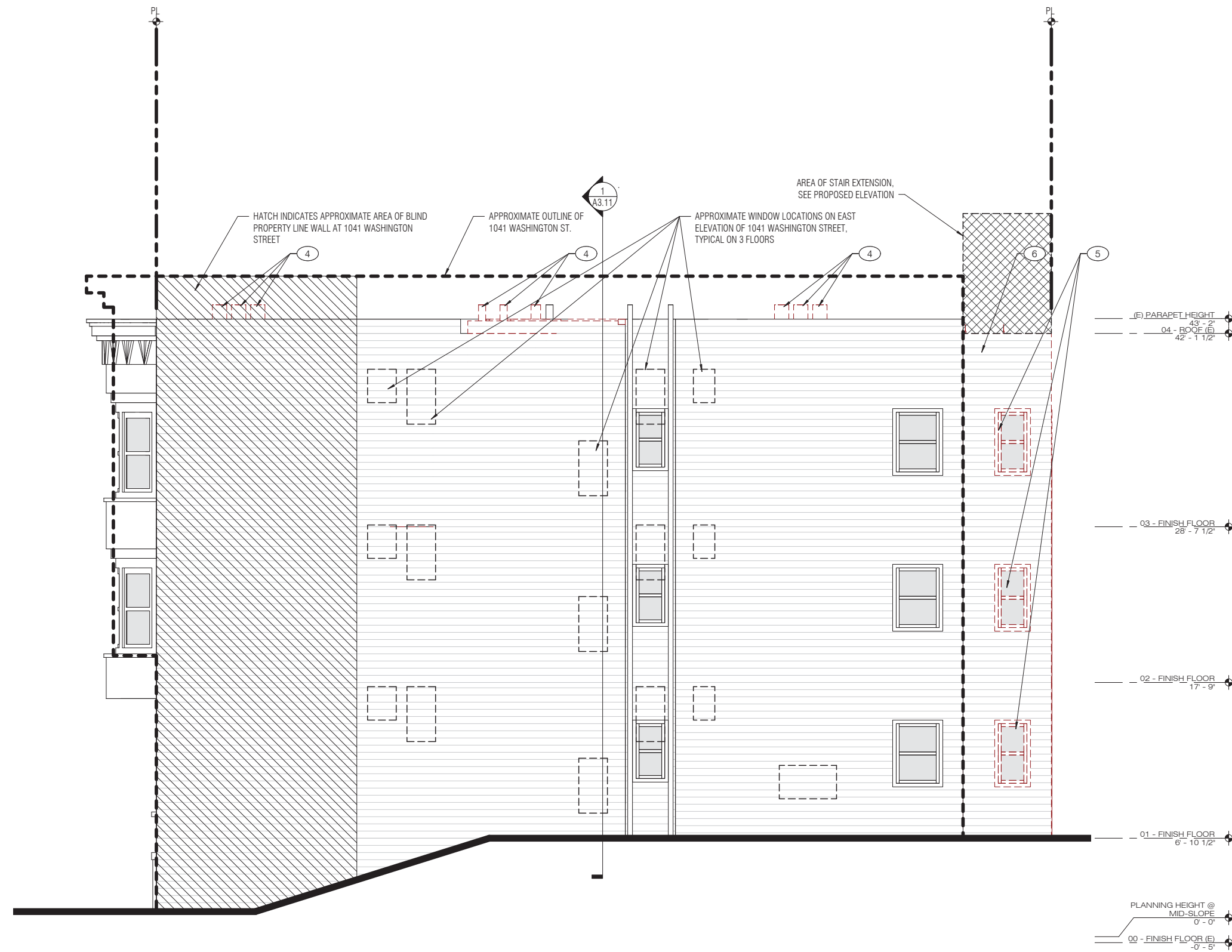
REVISIONS		
NO.	DATE	DESCRIPTION
2	5/5/16	PLANNING REVISION 02
7	9/20/16	DBI PRE-APP #2

DATE 2/1/16  
SCALE As indicated  
JOB NO. 2015.06

SHEET NUMBER  
**A3.02**



12/9/2016 4:39:48 PM



1  
A3.03 EXISTING WEST ELEVATION  
1/4" = 1'-0"

**KEY NOTES**

- 1 EXISTING CEMENT PLASTER
- 2 EXISTING BRICK
- 3 EXISTING MASONRY
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- 5 DEMOLISH EXISTING WINDOW
- 6 DEMOLISH EXISTING WALL
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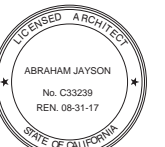
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**RENOVATION & ADDITION**

1033-1039  
WASHINGTON ST.  
SAN FRANCISCO CA  
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*Abraham Jayson*

**PLANNING  
SUBMITTAL**

SHEET TITLE  
**EXTERIOR  
ELEVATIONS (E)**

REVISIONS		
NO.	DATE	DESCRIPTION
1	4/14/16	PLANNING REVISION 01
2	5/5/16	PLANNING REVISION 02
7	9/20/16	DBI PRE-APP #2

DATE 2/1/16  
SCALE As indicated  
JOB NO. 2015.06

SHEET NUMBER

**A3.03**





**KEY NOTES**

- ① EXISTING CEMENT PLASTER
- ② EXISTING BRICK
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- ⑤ DEMOLISH EXISTING WINDOW
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**PLANNING  
SUBMITTAL**

SHEET TITLE  
**EXTERIOR  
ELEVATIONS (N)**

REVISIONS		
NO.	DATE	DESCRIPTION
2	5/5/16	PLANNING REVISION 02
3	7/5/16	PLANNING REVISION 03

DATE 2/1/16  
SCALE As indicated  
JOB NO. 2015.06

SHEET NUMBER

**A3.04**

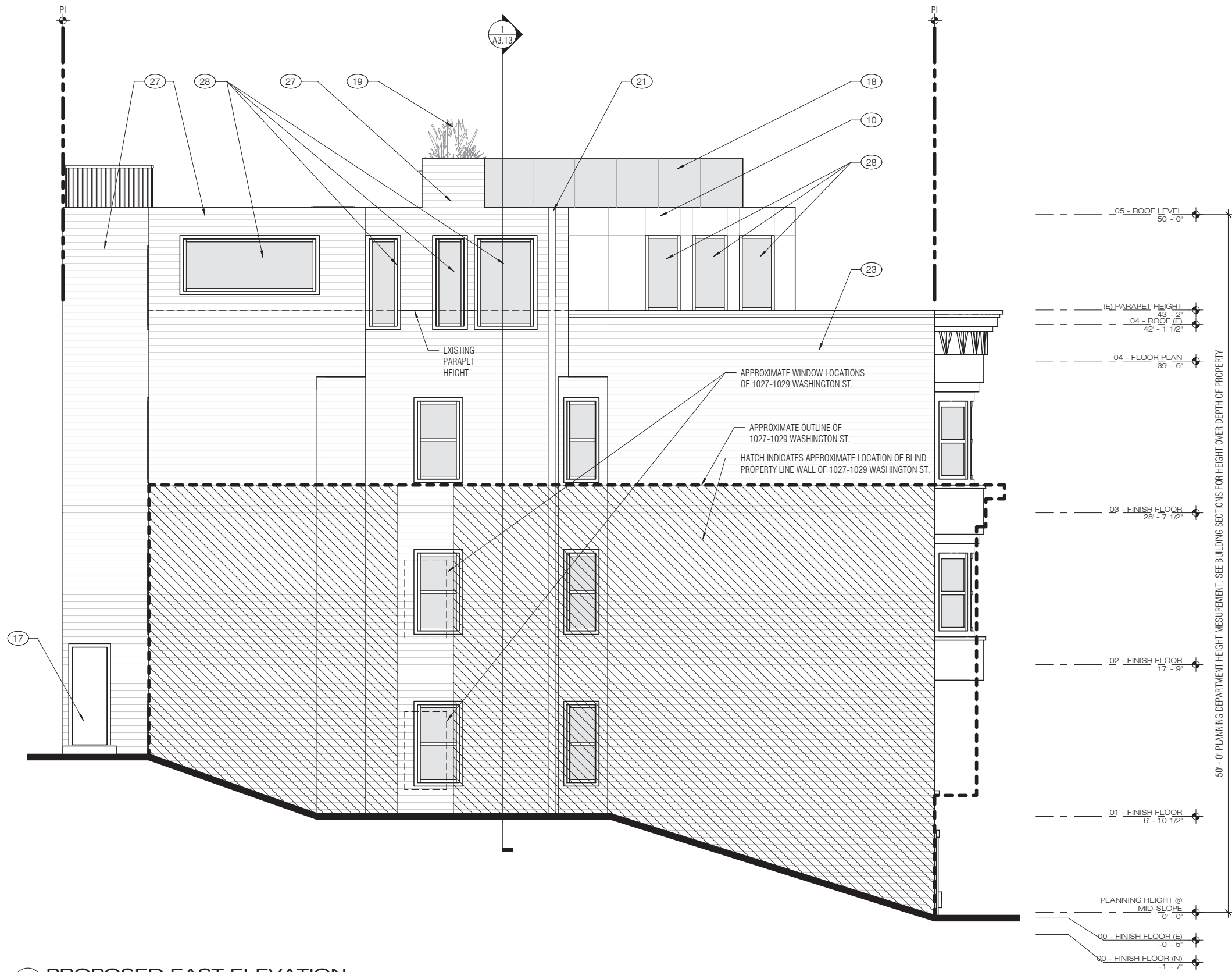


**1 PROPOSED NORTH ELEVATION**

A3.04 1/4" = 1'-0"

12/9/2016 4:40:10 PM

12/9/2016 4:40:11 PM



1 A3.05 PROPOSED EAST ELEVATION  
1/4" = 1'-0"

**KEY NOTES**

- 1 EXISTING CEMENT PLASTER
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**PLANNING  
SUBMITTAL**

SHEET TITLE  
**EXTERIOR  
ELEVATIONS (N)**

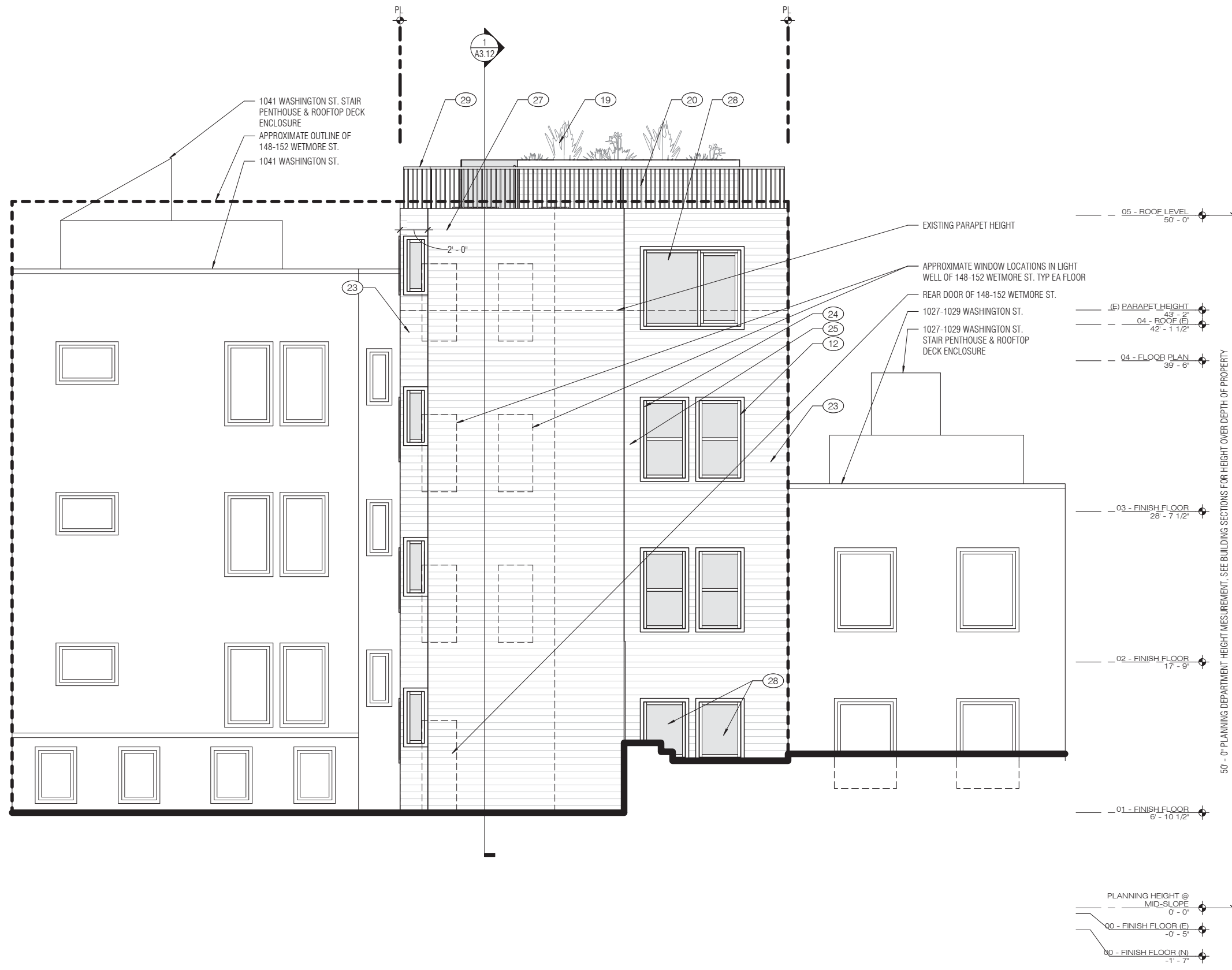
REVISIONS		
NO.	DATE	DESCRIPTION
2	5/5/16	PLANNING REVISION 02
3	7/5/16	PLANNING REVISION 03
7	9/20/16	DBI PRE-APP #2

DATE 2/1/16  
SCALE As indicated  
JOB NO. 2015.06

SHEET NUMBER

**A3.05**





**KEY NOTES**

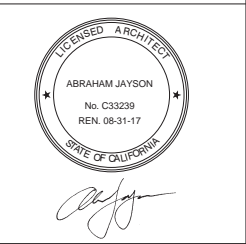
- 1 EXISTING CEMENT PLASTER
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SUBMITTAL**

SHEET TITLE  
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ELEVATIONS (N)**

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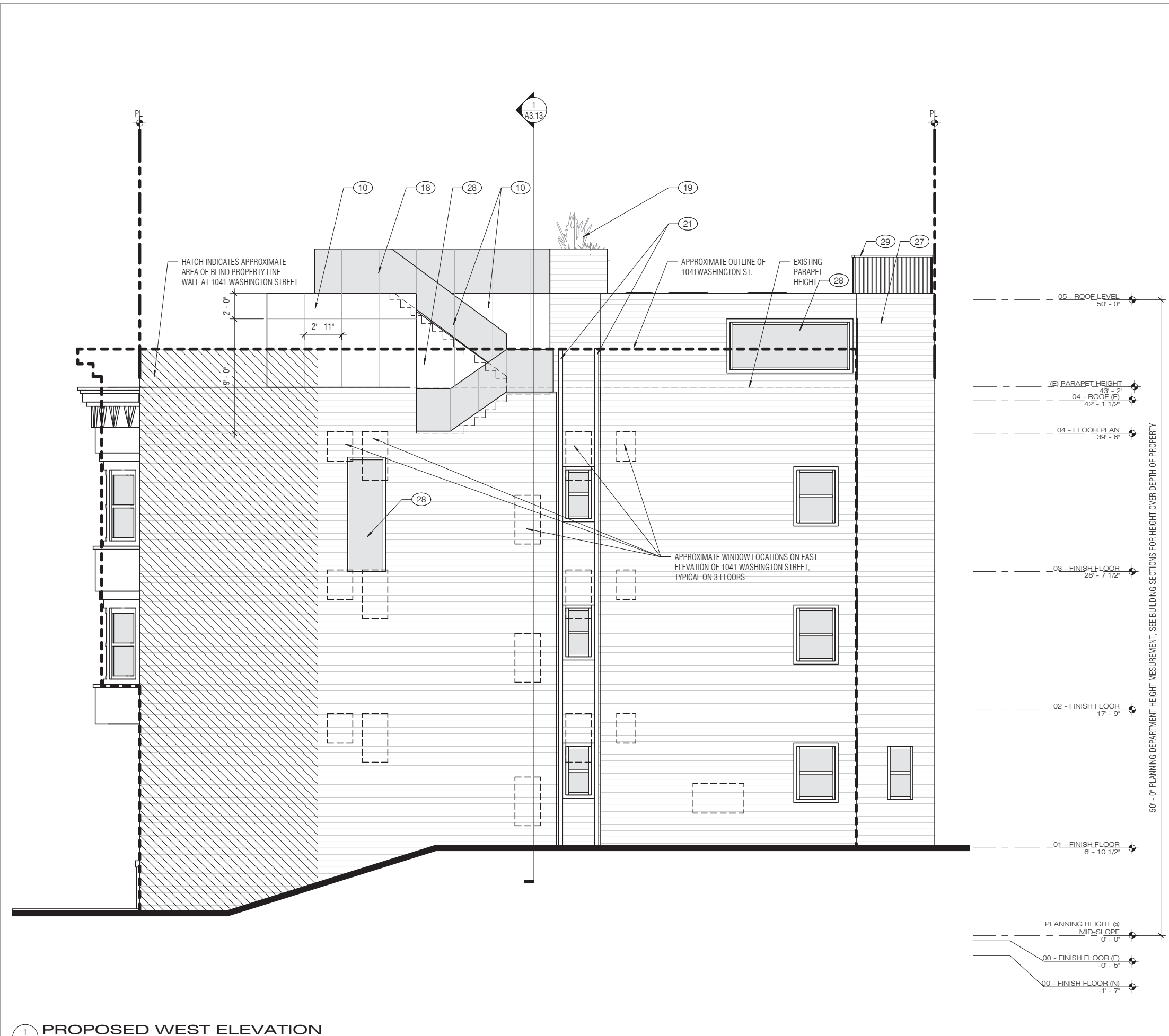
SHEET NUMBER  
**A3.06**

**1** PROPOSED SOUTH ELEVATION  
A3.06 1/4" = 1'-0"



12/9/2016 4:40:12 PM

12/9/2016 4:40:13 PM

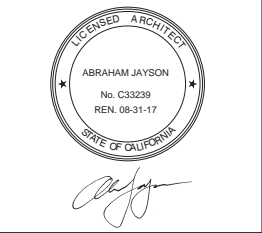


**KEY NOTES**

- ① EXISTING CEMENT PLASTER
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**JAYSON**  
 ARCHITECTURE  
 125 POCHEST  
 SAN FRANCISCO CA, 94134  
 831.332.0837

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**PROJECT**  
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**PLANNING**  
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7	9/20/16	DBI PRE-APP #2

DATE 2/1/16  
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 JOB NO. 2015.06

SHEET NUMBER  
**A3.07**



**1**  
**A3.07** 1/4" = 1'-0"  
**PROPOSED WEST ELEVATION**

**CLIENT**

LIBERTY DEVELOPMENT  
GROUP LLC

**PROJECT**

**RENOVATION & ADDITION**

1033-1039  
WASHINGTON ST.  
SAN FRANCISCO CA  
94108



*Abraham Jayson*

**PLANNING  
SUBMITTAL**

SHEET TITLE  
**EXISTING  
BUILDING  
SECTION**

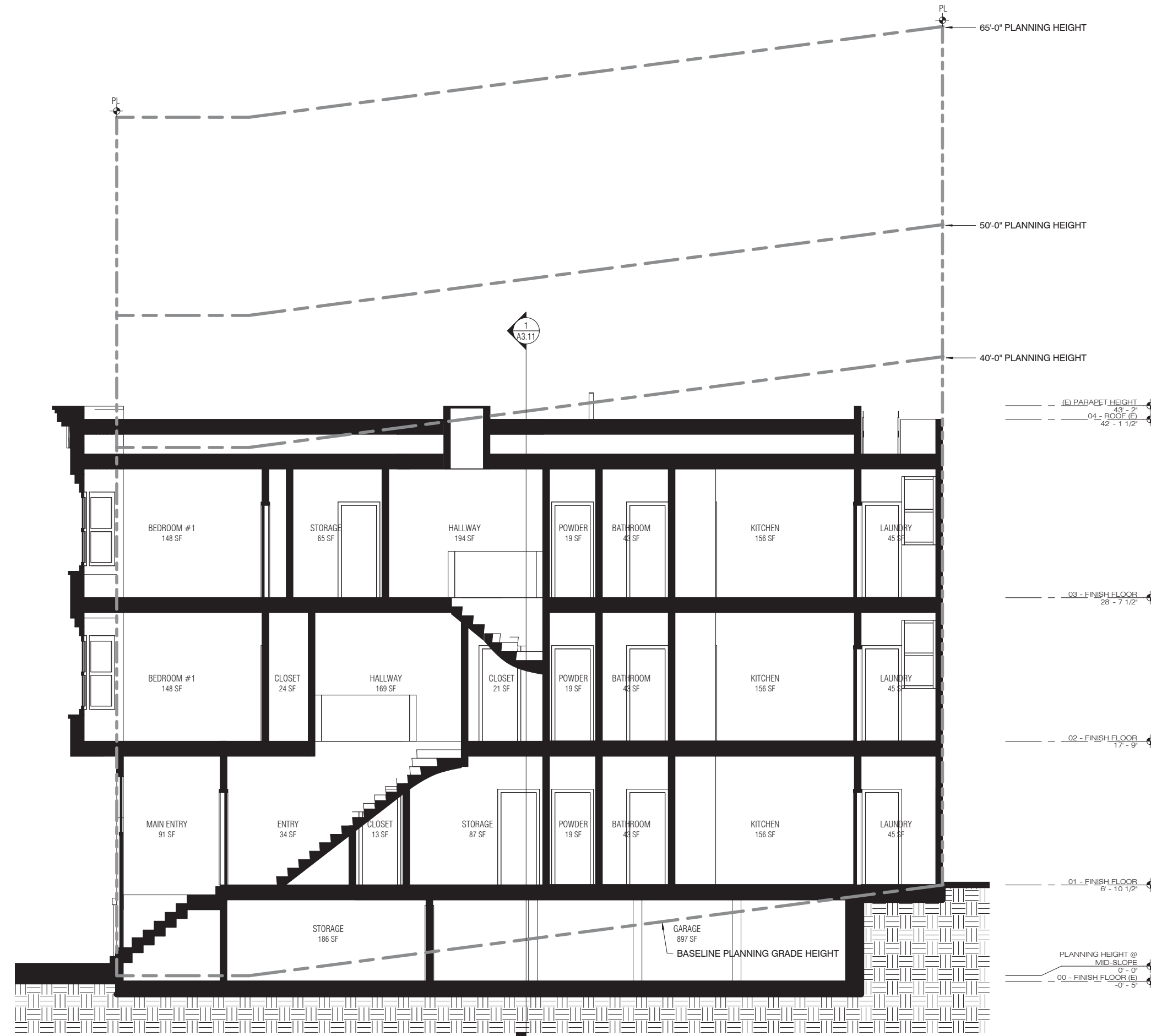
**REVISIONS**

NO.	DATE	DESCRIPTION
2	5/5/16	PLANNING REVISION 02

DATE 2/1/16  
SCALE 1/4" = 1'-0"  
JOB NO. 2015.06

SHEET NUMBER

**A3.10**



(E) PARAPET HEIGHT 43' - 2"  
04 - ROOF (E) 42' - 1 1/2"

03 - FINISH FLOOR 28' - 7 1/2"

02 - FINISH FLOOR 17' - 9"

01 - FINISH FLOOR 6' - 10 1/2"

PLANNING HEIGHT @ MID-SLOPE 0' - 0"  
00 - FINISH FLOOR (E) -0' - 5"

GARAGE 897 SF  
BASELINE PLANNING GRADE HEIGHT

12/9/2016 4:40:14 PM

1  
A3.10 1/4" = 1'-0"



**EXISTING NORTH/SOUTH SECTION**

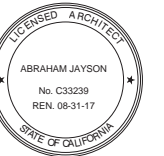
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**PROJECT**

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**PLANNING  
SUBMITTAL**

SHEET TITLE  
**EXISTING  
BUILDING  
SECTIONS**

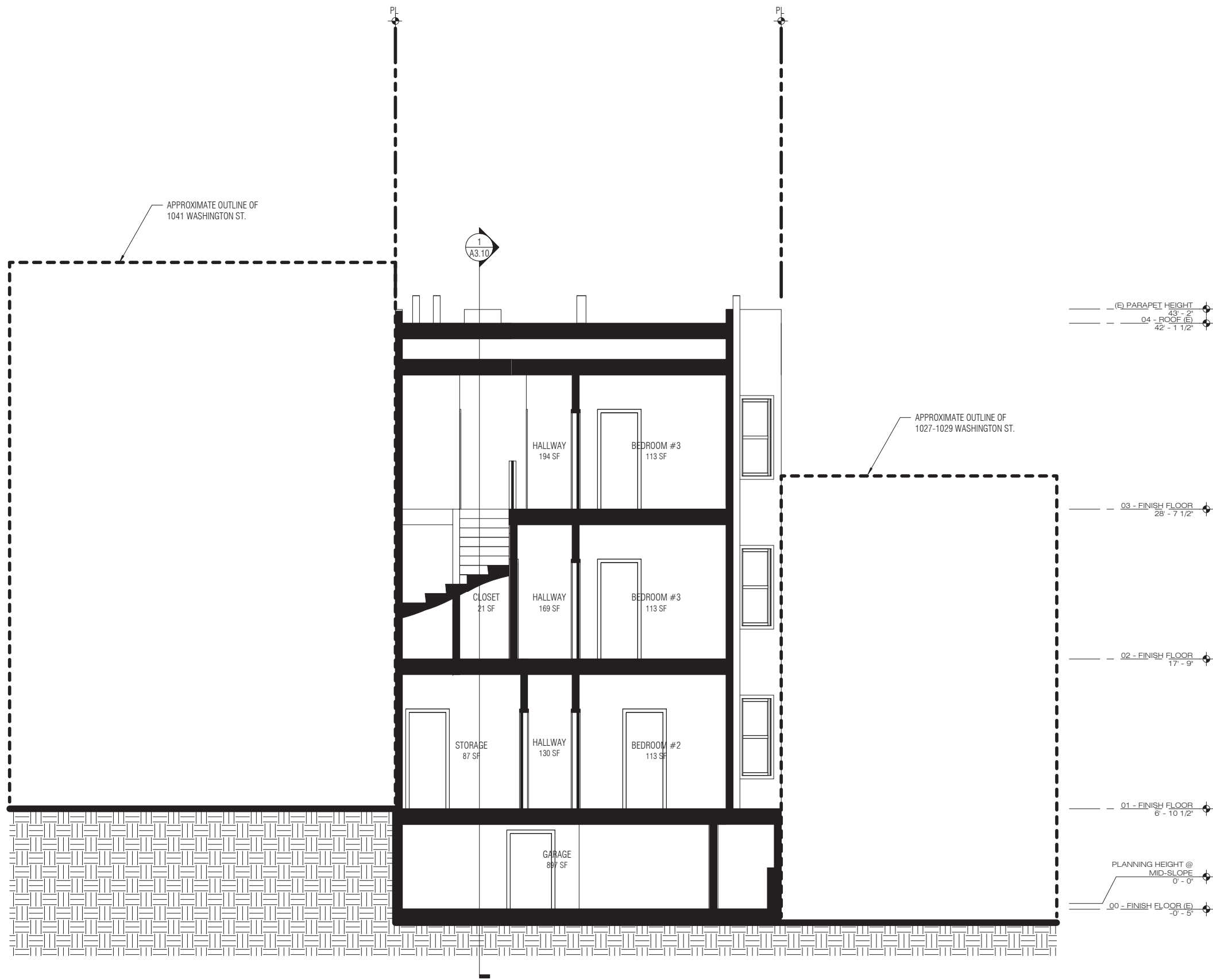
**REVISIONS**

NO.	DATE	DESCRIPTION

DATE 2/1/16  
SCALE 1/4" = 1'-0"  
JOB NO. 2015.06

SHEET NUMBER

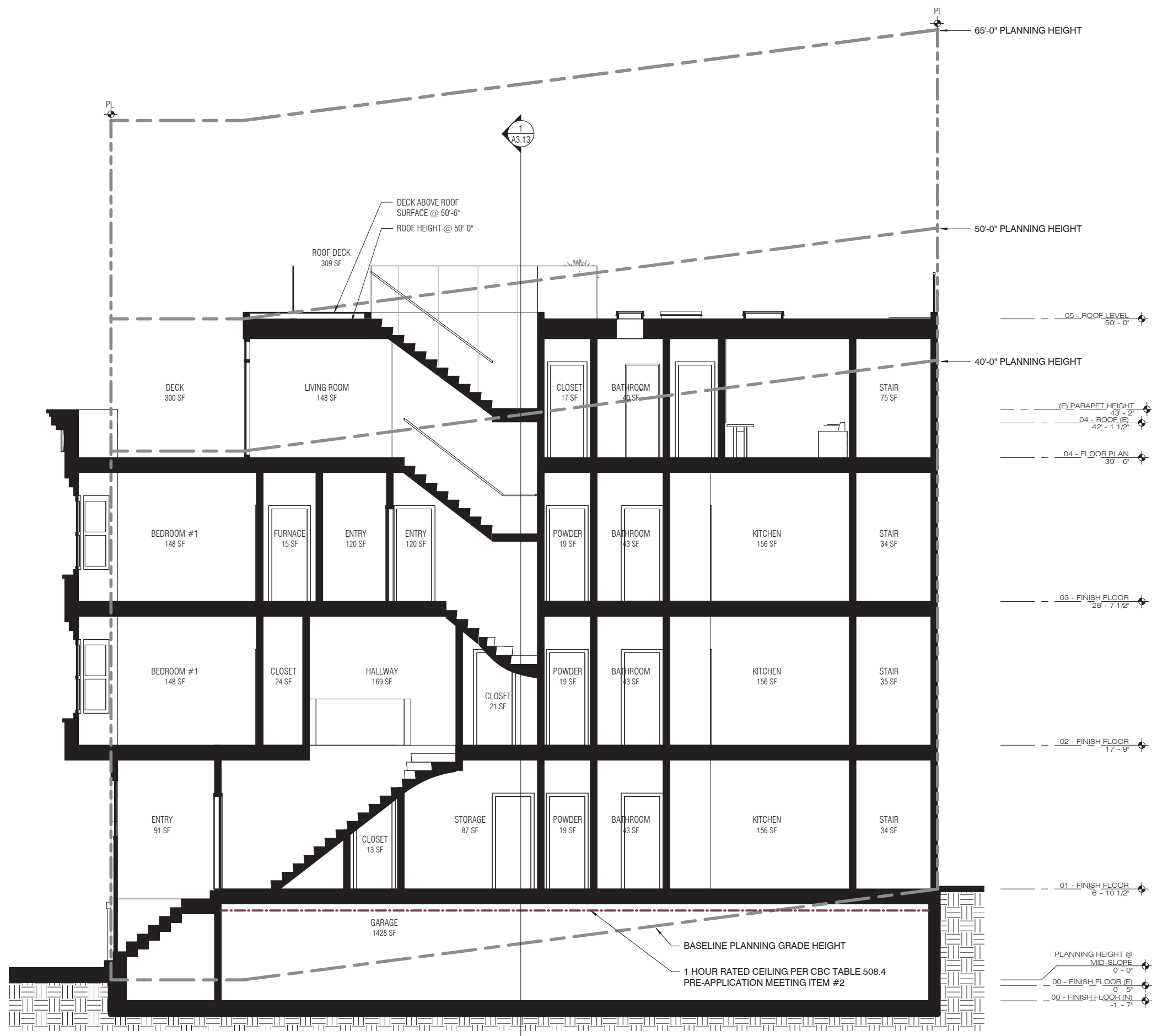
**A3.11**



**1** EXISTING EAST/WEST SECTION  
A3.11 1/4" = 1'-0"



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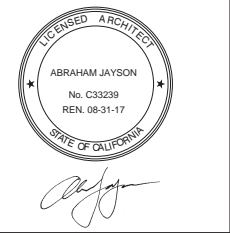


1 PROPOSED NORTH/SOUTH SECTION  
A3.12 1/4" = 1'-0"



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**PLANNING  
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6	8/31/16	DBI PRE-APP
7	9/20/16	DBI PRE-APP #2

DATE 2/1/16  
SCALE 1/4" = 1'-0"  
JOB NO. 2015.06

SHEET NUMBER  
**A3.12**



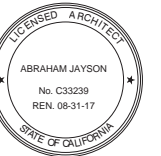
**CLIENT**

LIBERTY DEVELOPMENT  
GROUP LLC

**PROJECT**

**RENOVATION & ADDITION**

1033-1039  
WASHINGTON ST.  
SAN FRANCISCO CA  
94108



*Abraham Jayson*

**PLANNING  
SUBMITTAL**

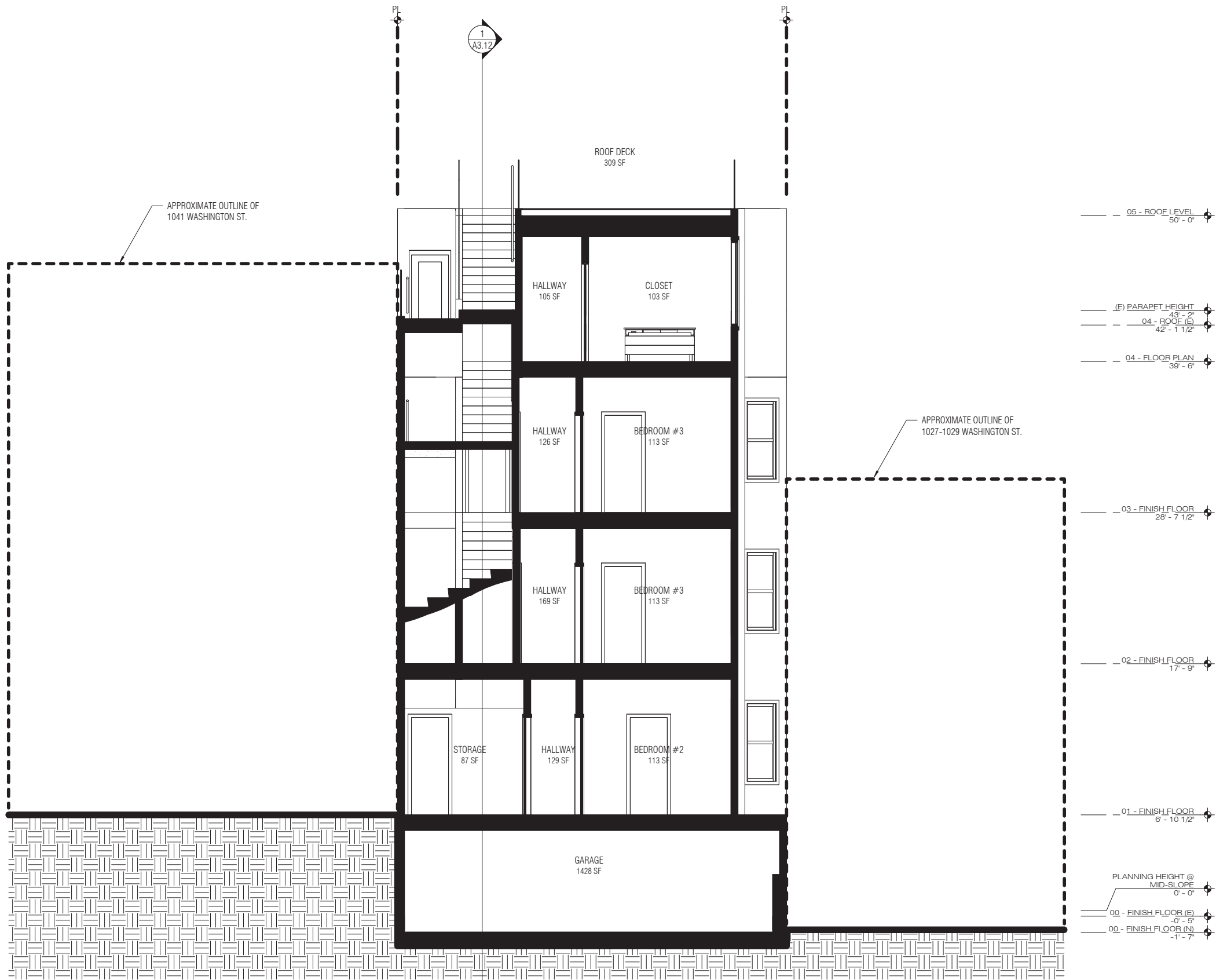
SHEET TITLE  
**PROPOSED  
BUILDING  
SECTIONS**

REVISIONS		
NO.	DATE	DESCRIPTION
2	5/5/16	PLANNING REVISION 02
3	7/5/16	PLANNING REVISION 03

DATE 2/1/16  
SCALE 1/4" = 1'-0"  
JOB NO. 2015.06

SHEET NUMBER

**A3.13**



**1** PROPOSED EAST/WEST SECTION  
A3.13 1/4" = 1'-0"

