



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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San Francisco,  
CA 94103-2479

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**415.558.6378**

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Information:  
**415.558.6377**



**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 22, 2016**  
 Time: **9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance(Rear Yard)**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>424 Alvarado Street</b>	Case No.: <b>2016-000900VAR</b>
Cross Street(s): <b>Noe and Sanchez Streets</b>	Building Permit: <b>N/A</b>
Block / Lot No.: <b>3626/009</b>	Applicant/Agent: <b>Keith Plymale</b>
Zoning District(s): <b>RH-2/40-X</b>	Telephone: <b>415-939-2100</b>
Area Plan: <b>N/A</b>	E-Mail: <b>keith@volume21.com</b>

## PROJECT DESCRIPTION

The proposal is to legalize the existing sunroom, deck and spiral stairs within the required rear yard.

**PER SECTION 134 OF THE PLANNING CODE** lots within an RH-2 Zoning District must provide a rear yard equal to 45% of lot depth. The rear yard requirement in this case is approximately 51 feet. The legalization of the existing addition would result in a rear yard of approximately 40 feet. The sunroom, deck, and stairs encroach into the required rear yard by approximately 11 feet and would be allowed as a permitted obstruction under Planning Code Section 136 if a 5 foot setback were provided on each side.

## ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Erika Jackson** Telephone: **415-558-6363** Mail: [erika.jackson@sfgov.org](mailto:erika.jackson@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2016-000900VAR.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

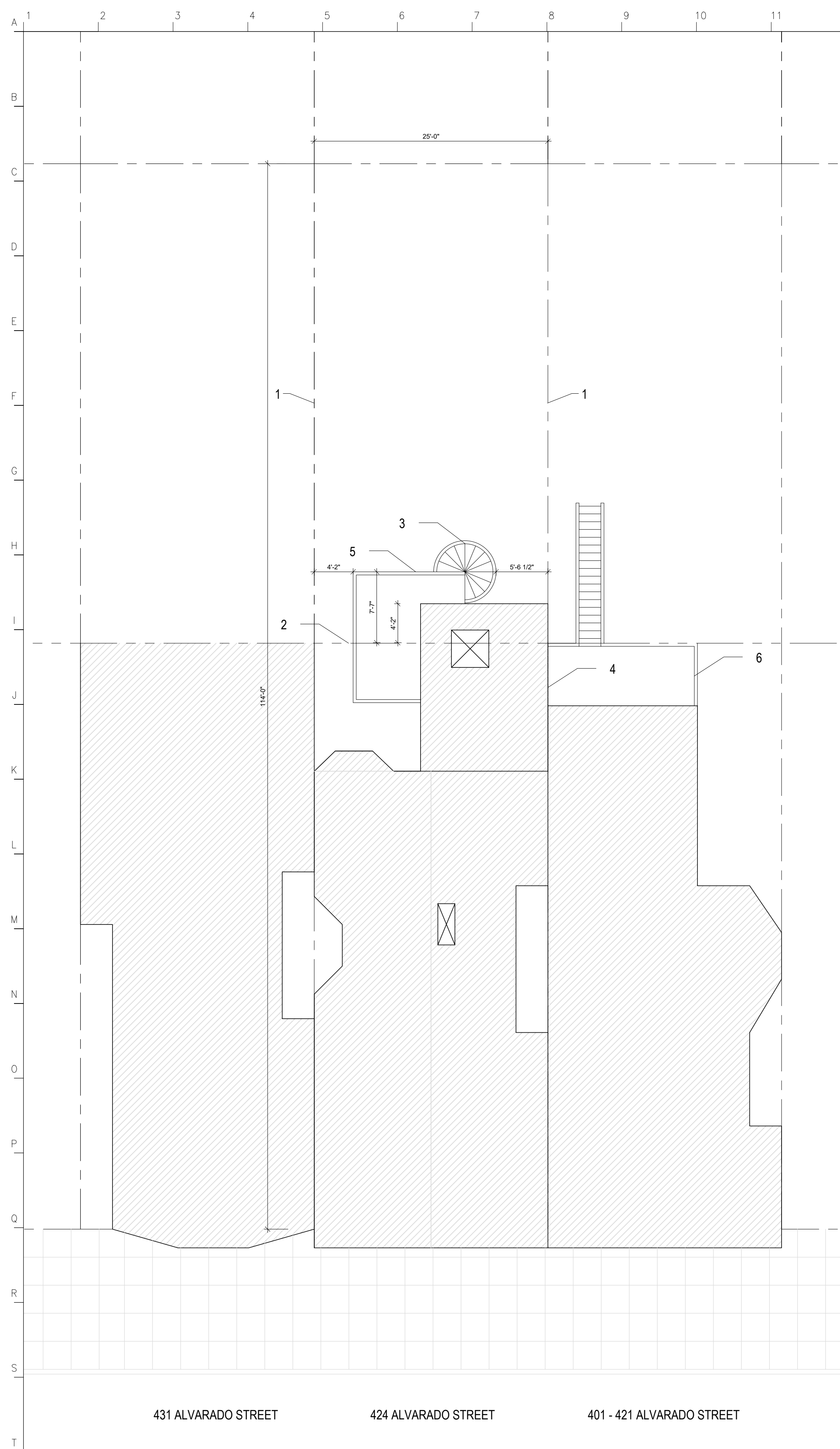
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

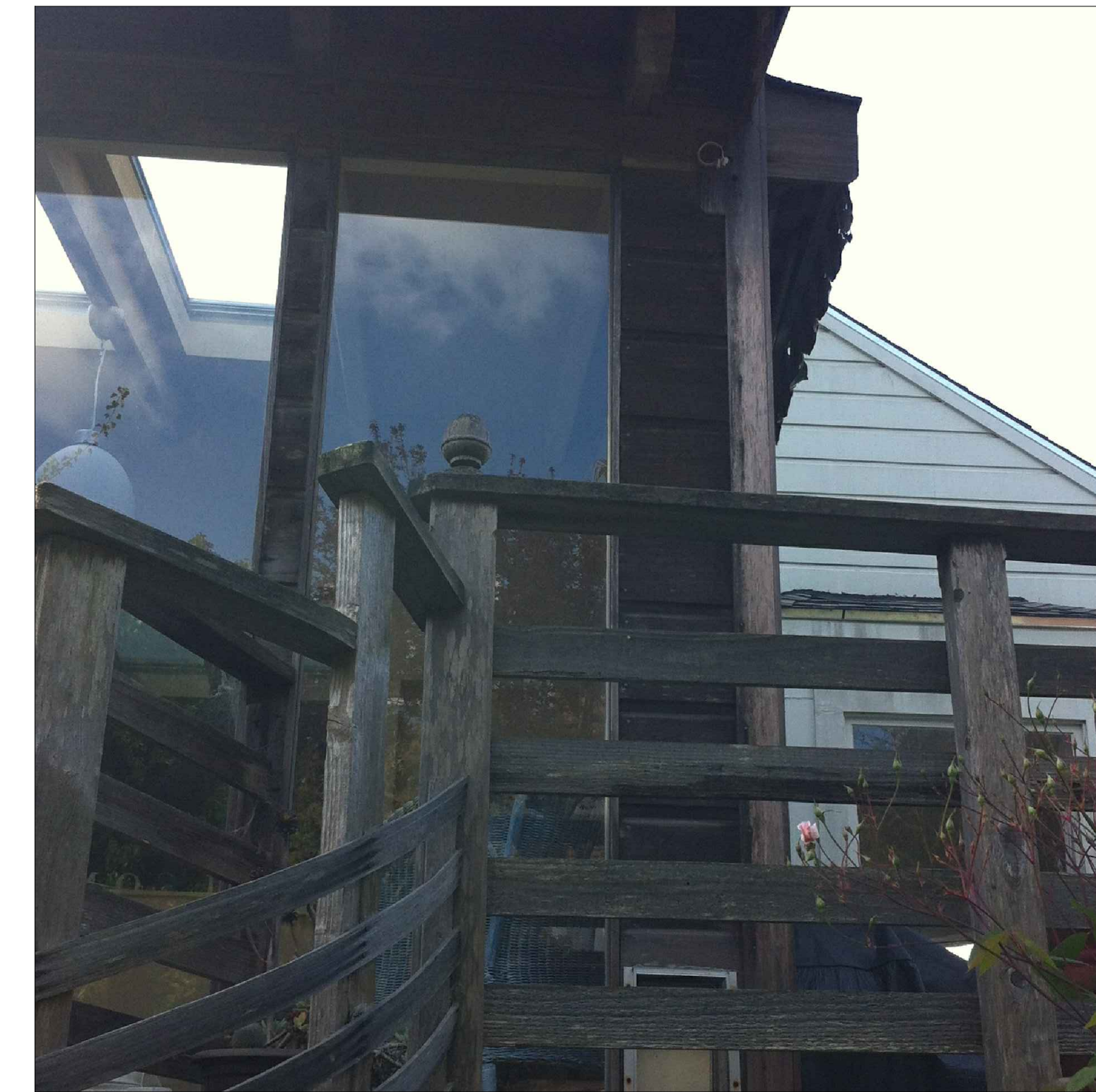


1 SITE PLAN : EXISTING  
1/8" = 1'-0"

- SHEET NOTES
- 1 PROPERTY LINE
  - 2 45% REAR YARD SETBACK
  - 3 SPIRAL STAIR (E)
  - 4 1 HOUR FIREWALL (P)
  - 5 DECK (E)
  - 6 NEIGHBOR DECK



2 SUN ROOM PERSPECTIVE : EXISTING STRUCTURE



3 SUN ROOM PERSPECTIVE : EXISTING STRUCTURE



4 SITE MAP

- THE PROJECT IS FOR A VARIANCE TO THE PLANNING CODE FOR A PRE-EXISTING SUNROOM, DECK, AND SPIRAL STAIR.
- THE SUNROOM, DECK, AND STAIR EXTEND INTO THE REAR AND SIDE YARDS, BEYOND THE REQUIRED REAR YARD AND SIDE YARD SETBACKS.
- THE STRUCTURE HAS BEEN IN PLACE FOR APPROXIMATELY 50 YEARS AND HAS A SMALLER FOOTPRINT THAN IS ALLOWED BY THE PLANNING CODE.
- ACCORDING TO THE CODE, A STRUCTURE WITH 5' SETBACKS WOULD ALLOW FOR A DEEPER PROTRUSION INTO THE REAR YARD.
- THIS SOLUTION, THOUGH VIABLE BY CODE, IS NOT BEING PURSUED FOR BOTH FINANCIAL REASONS AND IN ORDER TO MAINTAIN THE OPENNESS OF THE CURRENT GROUP OF YEAR YARDS IN THIS BLOCK.
- BY ALLOWING THE VARIANCE, THE EXISTING ENVELOPE WILL NOT CHANGE, ALLOWING THE OTHER PROPERTY OWNERS TO CONTINUE TO ENJOY THE AMOUNT OF LIGHT AND OPENNESS THAT THEY ARE USED TO.
- THE GRANTING OF THIS VARIANCE WILL BE IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE PLANNING CODE.

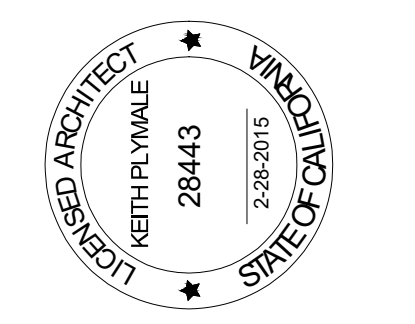
5 PROJECT DESCRIPTION

- A100 SITE PLAN
- EXISTING PERSPECTIVES
- SITE MAP
- PROJECT DESCRIPTION
- DRAWING INDEX

6 DRAWING INDEX

# V21: OFA

seashsignature



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VOLUME 21:  
OFFICE FOR ARCHITECTURE  
Pier #70, Building #11 (Noonan)  
20th Street  
San Francisco, CA  
94107  
415.939.2100  
www.volume21.com

All construction and assembly shall comply with:

- 2013 CA Building code
- 2013 CA Plumbing code
- 2013 CA Mechanical code
- 2013 CA Electrical code
- 2013 CA Building Energy standards

## # 424 ALVARADO ST

SAN FRANCISCO, CA  
94114

BLOCK / LOT : 3626 / 009

OCCUPATION CODE : R-3

ZONING : RH - 2

BUILDING AREA : 2,000 SQFT

PARCEL AREA : 2,848 SQFT

UNITS : 2

STORIES : 2

date 12.16.15

phase REVIEW

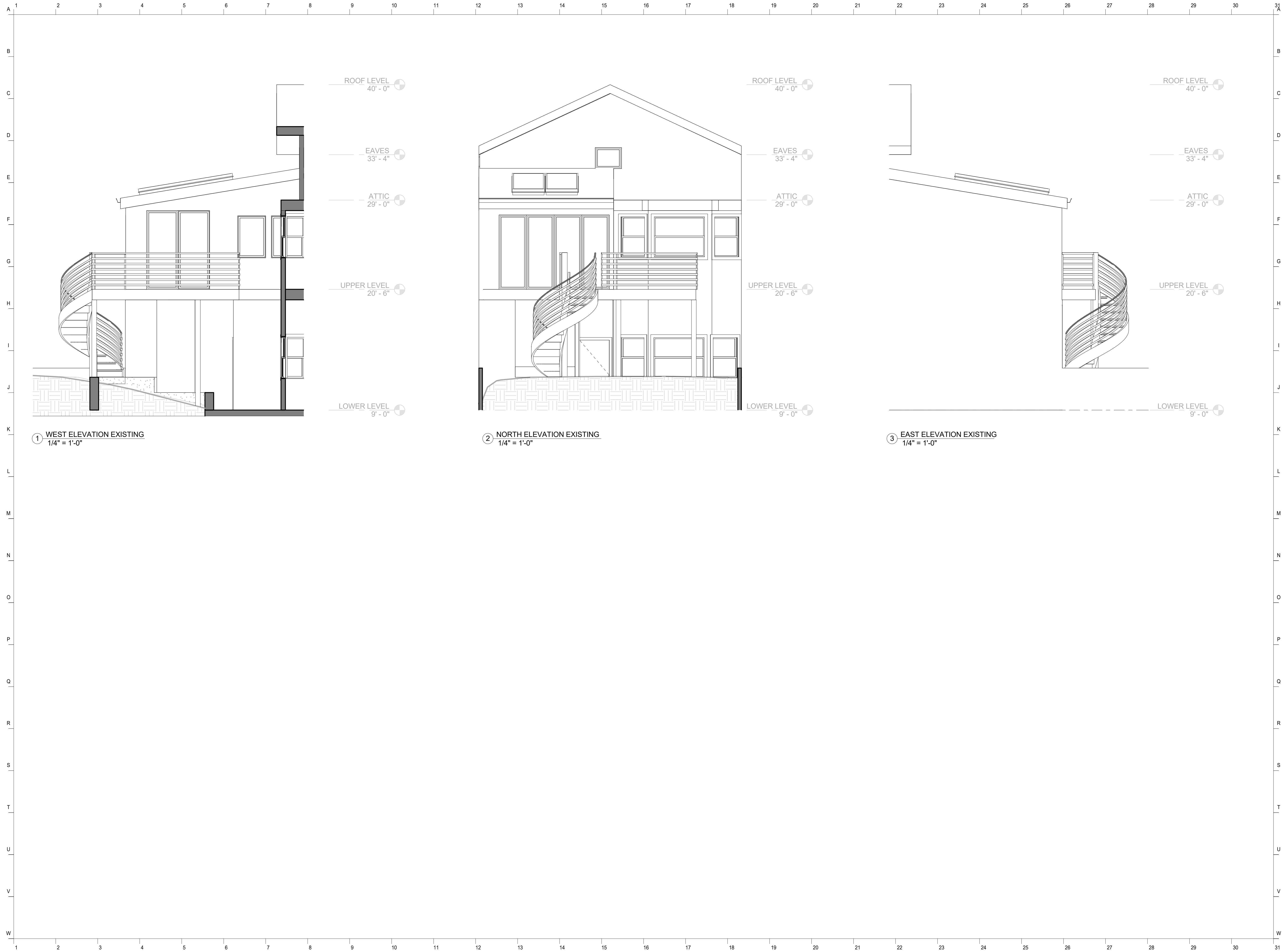
issued for VARIANCE

project # ALVARADO

sheet title SITE PLAN

sheet number

# A100

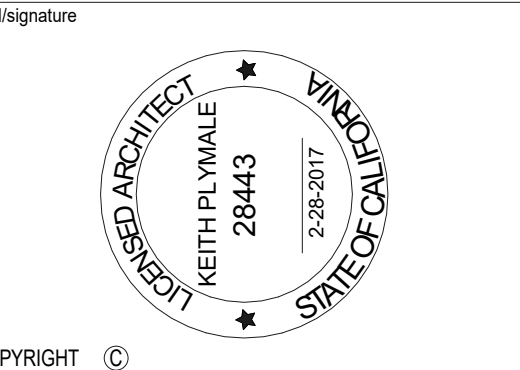


① WEST ELEVATION EXISTING  
1/4" = 1'-0"

② NORTH ELEVATION EXISTING  
1/4" = 1'-0"

③ EAST ELEVATION EXISTING  
1/4" = 1'-0"

**V21:  
OFA**



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All construction and assembly shall comply with:  
2013 CA Building code  
2013 CA Plumbing code  
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2013 CA Electrical code  
2013 CA Energy standards

**#424 ALVARADO ST  
(#426 T.I.C.)**

SAN FRANCISCO ,CA  
94114

date 12/16/2015 11:26:46 AM

phase

issued for VARIANCE

project # ALVARADO

sheet title EXTERIOR ELEVATIONS

sheet number A101