



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2016**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	111 Devonshire Way	Case No.:	2016-000861VAR
Cross Street(s):	Oak Park Drive	Building Permit:	2015.12.01.3887
Block / Lot No.:	2676/022	Applicant/Agent:	Javier Rodriguez
Zoning District(s):	RH-1(D)	Telephone:	(415) 671-9231
Area Plan:	N/A	E-Mail:	javiarch@yahoo.com

PROJECT DESCRIPTION

The proposal is to remove a noncomplying cantilevered rear deck of approximately 102 square feet and replace it in-kind.

SECTION 134 OF THE PLANNING CODE requires a rear yard of 15 feet. The project proposes to replace the entire deck, a portion of which encroaches into the required rear yard; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Nancy Tran** Telephone: **415-575-9174** Mail: Nancy.H.Tran@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2016-000861VAR.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

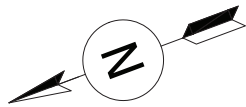
An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

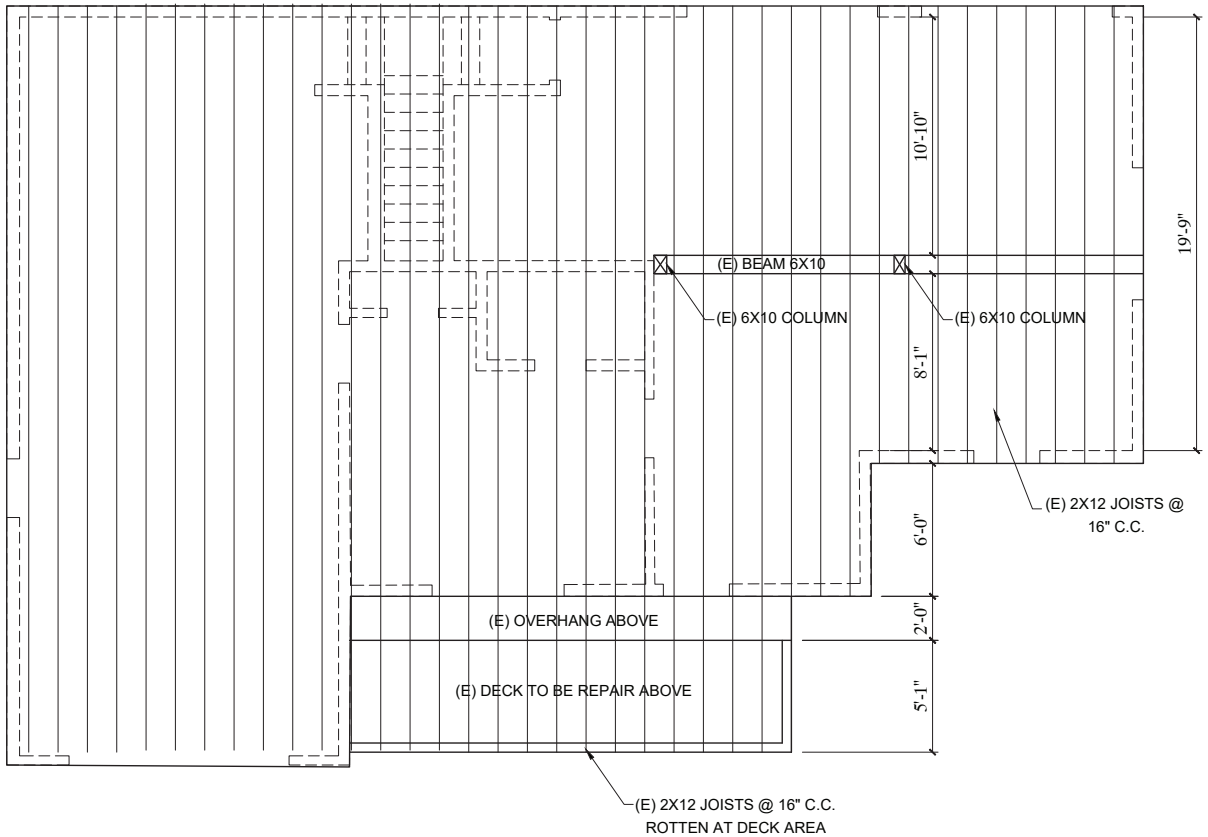
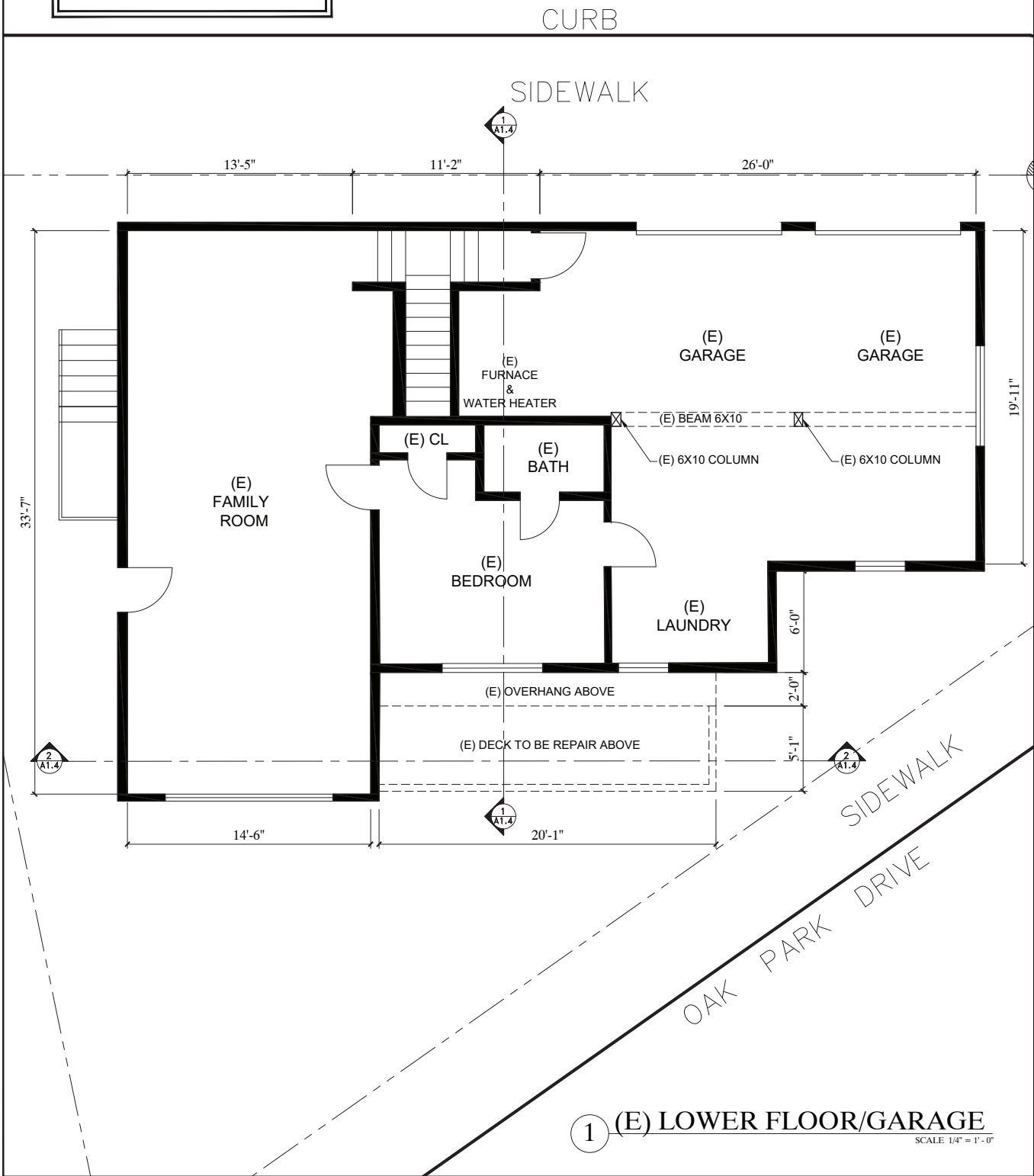
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.



PARTITION LEGEND	
	EXISTING CONSTRUCTION
	DEMOLISHED.



REVISIONS:

CONTACT PHONE:
MICHAEL BEHAN
(415) - 218 - 9270

111 DEVONSHIRE WAY
SAN FRANCISCO - CA 94131

FLOOR
PLAN &
FRAMING

JOB:
DECK REPAIR

DATE:
OCT 30 -15

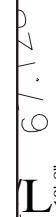
SCALE:
AS NOTED

DRAWN:
JAVIER RODRIGUEZ
(415) 671-9231

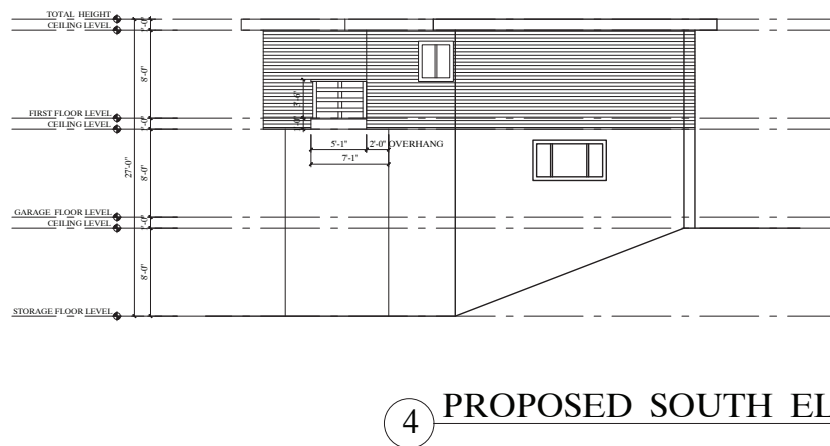
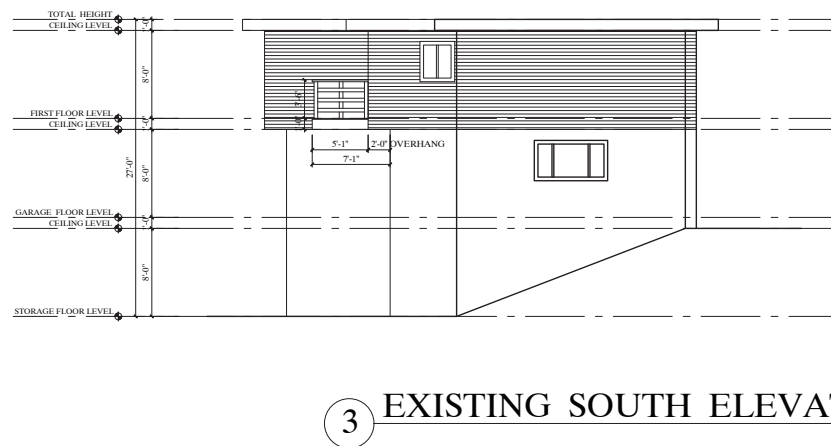
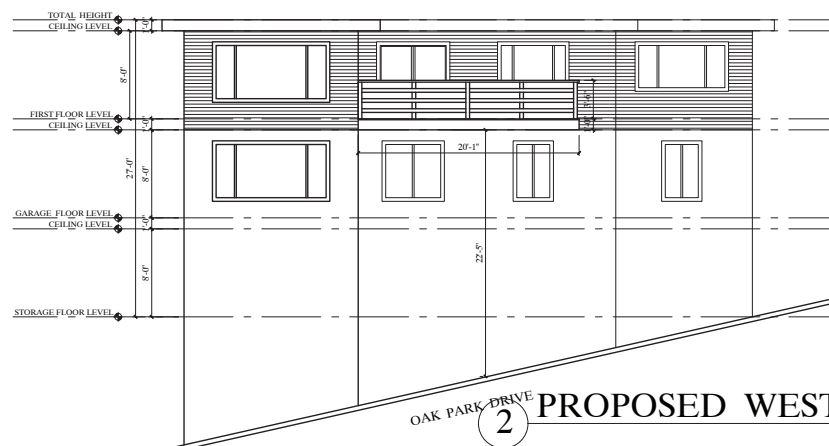
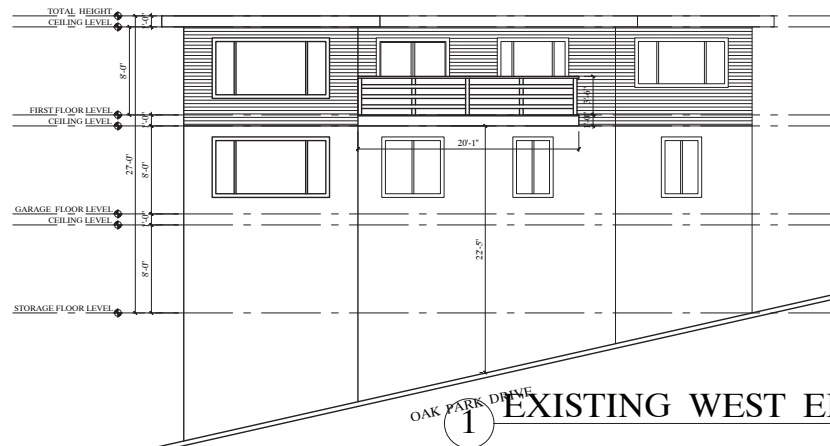
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OF: 6 SHEETS



<div> <div> 111 DEVONSHIRE WAY SAN FRANCISCO - CA 94131 </div> <div> FLOOR PLAN JOB: DECK REPAIR DATE: OCT 30 -15 SCALE: AS NOTED DRAWN: JAVIER RODRIGUEZ (415) 671-9231 SHEET: </div> <div> A1.1 </div> </div>		<div> CONTACT PHONE: MICHAEL BEHAN (415) - 218 - 9270 </div>	<div> REVISIONS: </div>
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REVISIONS:

CONTACT PHONE:
MICHAEL BEHAN
(415) - 218 - 9270

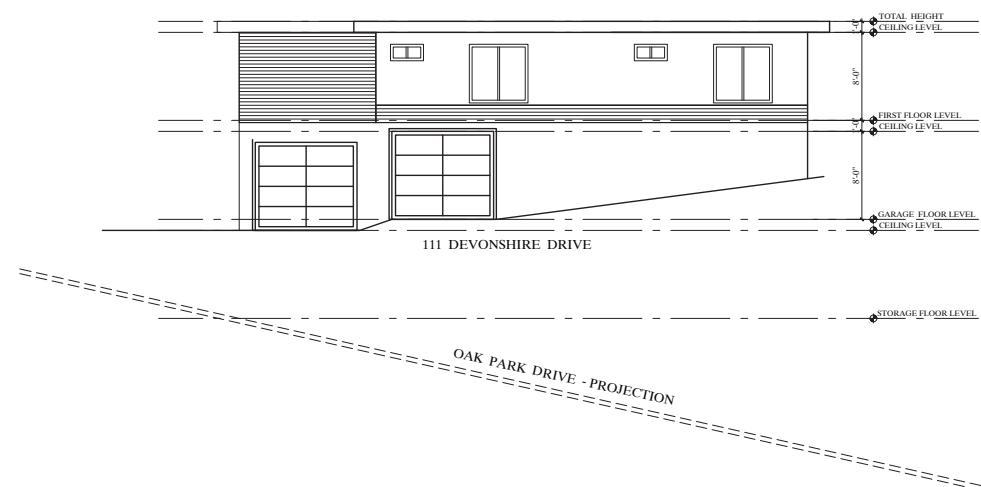
111 DEVONSHIRE WAY
SAN FRANCISCO - CA 94131

ELEVATIONS

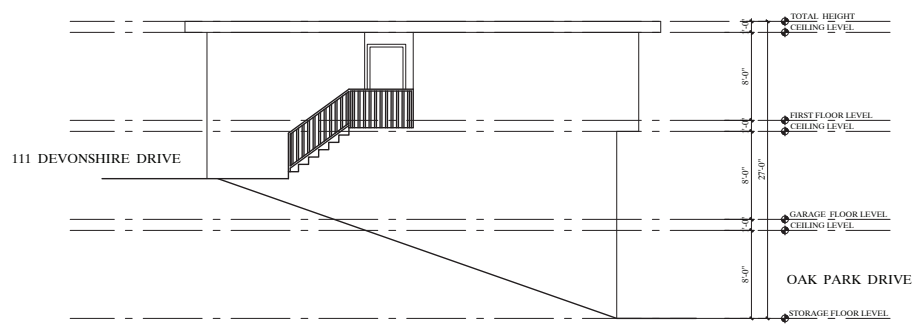
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DECK REPAIR
DATE:
OCT 30 -15
SCALE:
AS NOTED
DRAWN:
JAVIER RODRIGUEZ
(415) 671-9231
SHEET:

A1.3

OF: 7 SHEETS



1 EXISTING EAST ELEVATION
SCALE 1/8" = 1' - 0"



2 EXISTING NORTH ELEVATION
SCALE 1/8" = 1' - 0"

REVISIONS:	

CONTACT PHONE:
MICHAEL BEHAN
(415) - 218 - 9270

111 DEVONSHIRE WAY
SAN FRANCISCO - CA 94131

ELEVATIONS

JOB: DECK REPAIR
DATE: OCT 30 -15
SCALE: AS NOTED
DRAWN: JAVIER RODRIGUEZ
(415) 671-9231
SHEET:

A1.4

GENERAL NOTES (STRUCT.)

1. FOOTINGS SHALL BE POURED AGAINST UNDISTURBED SOIL.-MIN. DEPTH INTO NATURAL FIRM GROUND SHALL BE 1'-0".-MIN. DEPTH BELOW FINISHED GROUND SHALL BE 18".-DESIGN SOIL BRG. PRESS.=1000 P.S.F.-ASSUMED SOIL: HARD CLAY
2. CONCRETE F'C=2500 P.S.I. - MIN. 5 SACK MIX, 3/4" ROCK OR PUMP MIX.
3. REINFORCEMENT TO BE ASTM A-615 GRADE 40 FOR #4 & #5.-GRADE 60 FOR #6 AND LARGER.-EXTEND CONT. BARS AS FAR AS POSSIBLE INTO INTERSECTING MEMBER.-MIN. 36D, BEND IF NECESSARY.-MIN. SPLICE LAP=36D (GRADE 40) 54D (GRADE 60). WELDED WIRE FABRIC (WUF) TO BE ASTM A-185.-ALL CONCRETE SHALL BE REINFORCED.-MIN. REINF. TO BE #4 @ 12" O.C.E.W. EXCEPT AS NOTED.
4. SILL # SHALL BE RDWD. FDN. GRADE OR DOUGLAS FIR PRESS. TREATED (DPFT.) IF DPFT IS USED ALL METAL HARDWARE INCLUDING NAILS TO BE HOT DIPPED GALV.
5. LUMBER TO BE D.F. OF FOLLOWING GRADES: POSTS & BEAMS, SELECT STRUCTURAL.-JOISTS AND RAFTERS 2x6 THRU 2x10, SELECT STRUCTURAL. 2x12 THRU 2x16, SELECT STRUCTURAL. STUDS No. 2 OR BETTER.-MIN. PD=1500 P.S.I. E=1.1 KSI.-NO CHECK OR SPLIT LONGER THAN WIDTH OF NARROW FACE OF BEAM ALLOWED.-SEAL ALL ENDS OF LUMBER.-PLACE DBL. JOISTS UNDER PARALLEL PART.-SOLID BLOCKING UNDER PERP. PART.-LAM. BMS. TO BE BOLTED WITH 1/2" # M.B. @ 16" STAGG.-PLACE SOLID STUDS UNDER ALL ENDS OF BMS.-STUDS @ UPPER TWO FLRS. TO BE 2x4 @ 16".-STUDS @ FIRST FLOOR OF 3 STORIES TO BE 3x4 @ 16" (OR 2x6 @ 16").-WOOD CONNECTORS TO BE SIMPSON, SILVER OR APPROVED EQUAL.
6. ALL CONNECTIONS AND DETAILS SHALL MEET MIN. REQUIREMENTS OF THE BUILDING CODE UNLESS A STRONGER DETAIL IS SPECIFIED.-SHOP DETAILS OF ALL FABRICATED ITEMS SHALL BE SUBMITTED FOR APPROVAL BEFORE FABRICATION.
7. FEES FOR INSPECTIONS REQ'D. BY BLDG. DEPT. OR OTHERS TO BE PAID BY CONTRACTOR.-CONSULT WITH ENGINEER FOR ALLOWANCE.
8. ALL DIMENSIONS AND EXISTING CONDITIONS TO BE VERIFIED IN THE FIELD AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.-IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO TAKE ANY NECESSARY PRECAUTIONS TO AVOID DAMAGE TO ANY EXISTING STRUCTURES AND TO NOTIFY THE ENGINEER IF CONFLICT ARISES BETWEEN THE DESIGN AND EXISTING CONDITIONS BEFORE CONSTRUCTION COMMENCES.-DO NOT UNDERMINE ADJOINING FOUNDATIONS WITHOUT WRITTEN INSTRUCTIONS FROM THE ENGINEER.
9. THE DRAWINGS SHOW ONLY REPRESENTATIVE AND TYPICAL DETAILS TO ASSIST THE CONTRACTOR.-THEY DO NOT ILLUSTRATE EVERY CONDITION.-DETAILS NOT SPECIFICALLY INDICATED SHALL BE SIMILAR TO THOSE SHOWN.-ALL ATTACHMENTS, CONNECTIONS, FASTENING, ETC., SHALL BE PROPERLY SECURED IN CONFORMANCE WITH BEST PRACTICE, AND THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING THEM.-CONTRACTOR SHALL MEET ALL THE APPLICABLE REQUIREMENTS OF THE C.B.C. (CALIFORNIA BUILDING CODE AND INDIVIDUAL CITY BUILDING CODE).
10. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE.-REPRODUCTIONS, PUBLICATION OR REUSE BY ANY METHOD IN WHOLE OR PART IS PROHIBITED.-TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ENGINEER WITHOUT PREJUDICE.-VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.
11. ENGINEER IS NOT RESPONSIBLE FOR CONTRACTOR'S FAILURE TO ADHERE TO PLANS OR SPECIFICATIONS, UNLESS ENGINEER IS HIRED SPECIFICALLY TO INSPECT CONSTRUCTION. RESPONSIBILITY FOR ADHERENCE TO PLANS AND SPECIFICATIONS LIES WITH CONTRACTOR.



111 DEVONSHIRE WAY
SAN FRANCISCO - CA - BLOCK 0000- LOT 000

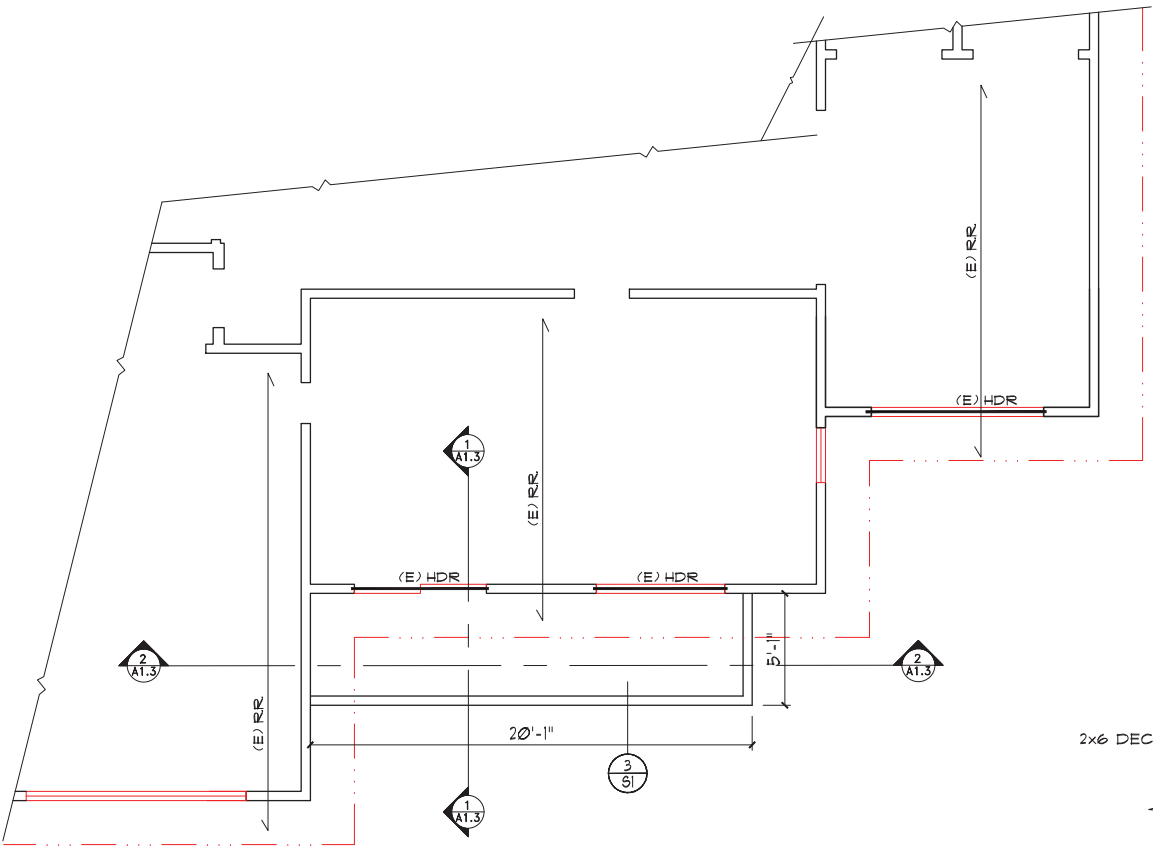
DOMINGUEZ ASSOCIATES LLC 40 HUMBOLDT COURT
PACIFICA, CA. 94044
(650) 359-0947 EMAIL carlos@dominguezassociates.com

REVISION	
NO.	DATE

SCALE
SHEET NUMBER

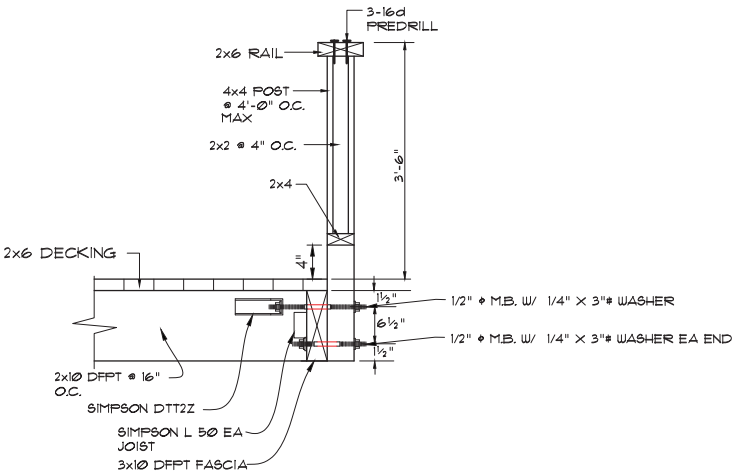
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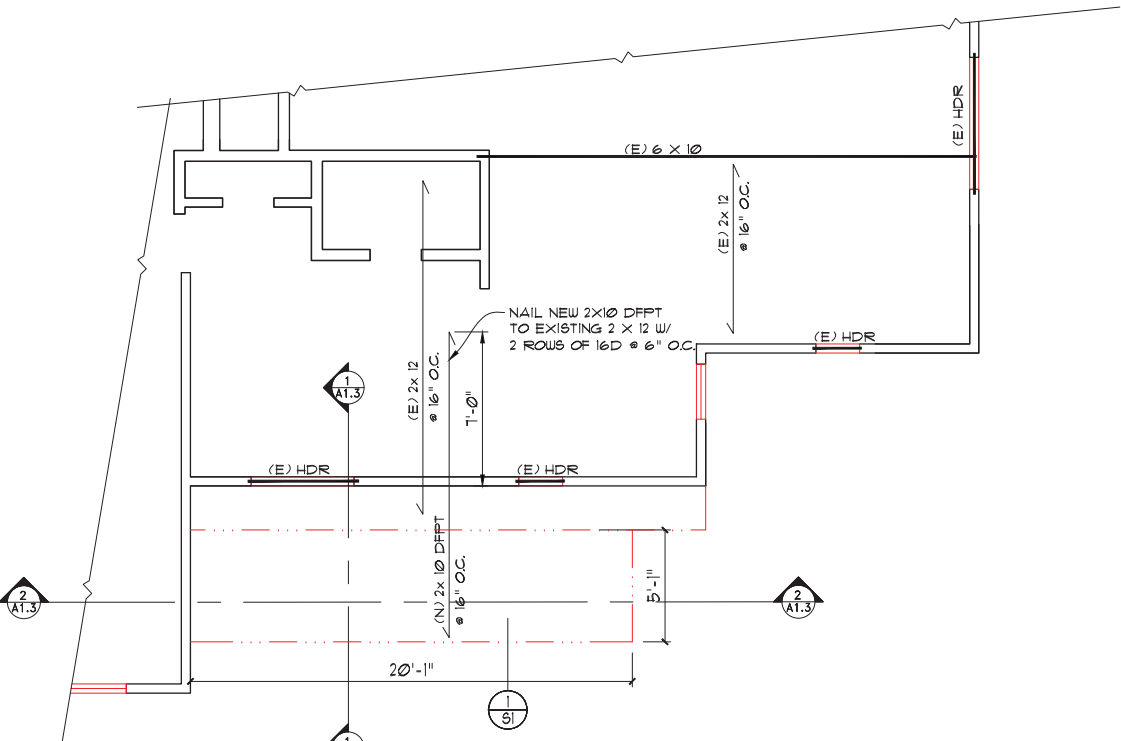


PARTIAL ROOF FRAMING PLAN OVER DECK FLOOR PLAN

SCALE: 1/4" = 1'-0"

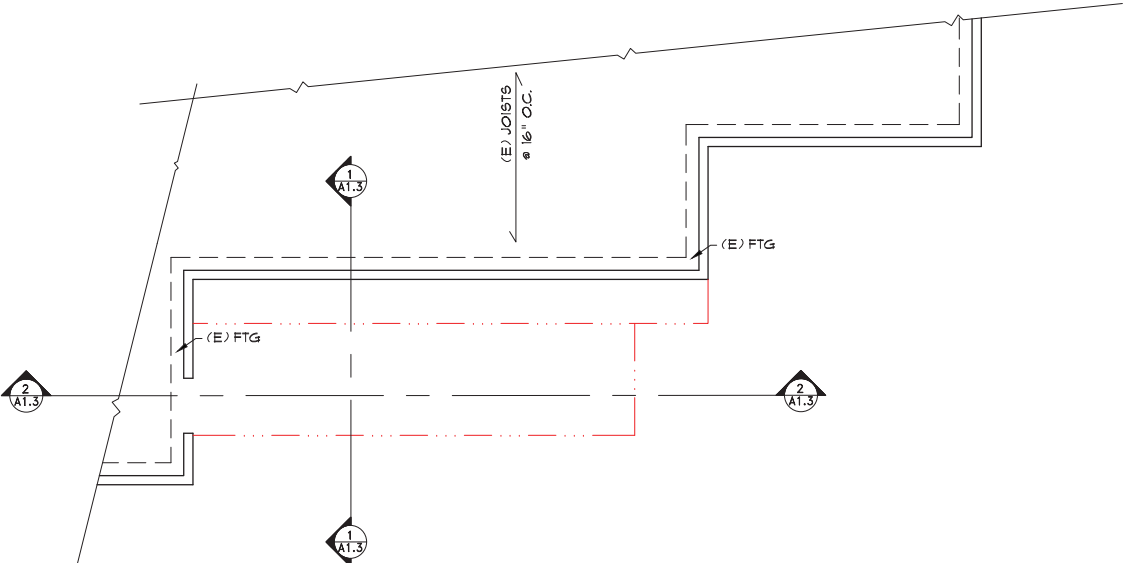


RAIL TYPE 24



PARTIAL DECK FRAMING PLAN OVER GARAGE PLAN

SCALE: 1/4" = 1'-0"



PARTIAL GARAGE FRAMING PLAN OVER FOUNDATION PLAN

SCALE: 1/4" = 1'-0"