



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 25, 2016**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 812 Green Street	Case No.: 2016-000540VAR
Cross Street(s): Btwn. Mason and Taylor	Building Permit: 2013.1106.1249
Block /Lot No.: 0119/010	Applicant: Sheila Mednick
Zoning District(s): RM-2 / 40-X	Telephone: (415) 766-4073
Area Plan: None	E-Mail: smednick@sutroarchitects.com

PROJECT DESCRIPTION

The project proposes to combine two upper flats in an existing three unit, three-story over garage building, and to provide a replacement dwelling unit at the ground floor. Construction of the replacement dwelling unit includes filling in under a cantilevered room at the first floor. The project also proposes the addition of a roof deck.

Per Planning Code Section 140, at least one room which meets a 120 square minimum floor area requirement must face a public street or alley at least 20 feet wide, a side yard at least 25 feet in width, a code-complying rear yard, or an open area at least 25 feet in every horizontal dimension. The proposed replacement dwelling unit does not contain any windows facing Green Street or a complying open area. The existing rear yard is not code-compliant and there are no side yards on the property. Therefore, the project requires a Variance from Section 140 of the Planning Code.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department’s website at: <http://sf-planning.org/ftp/files/notice/2016-000540VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department’s website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **Carly Grob** Telephone: **(415) 575-9138** E-Mail: **carly.grob@sfgov.org**

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

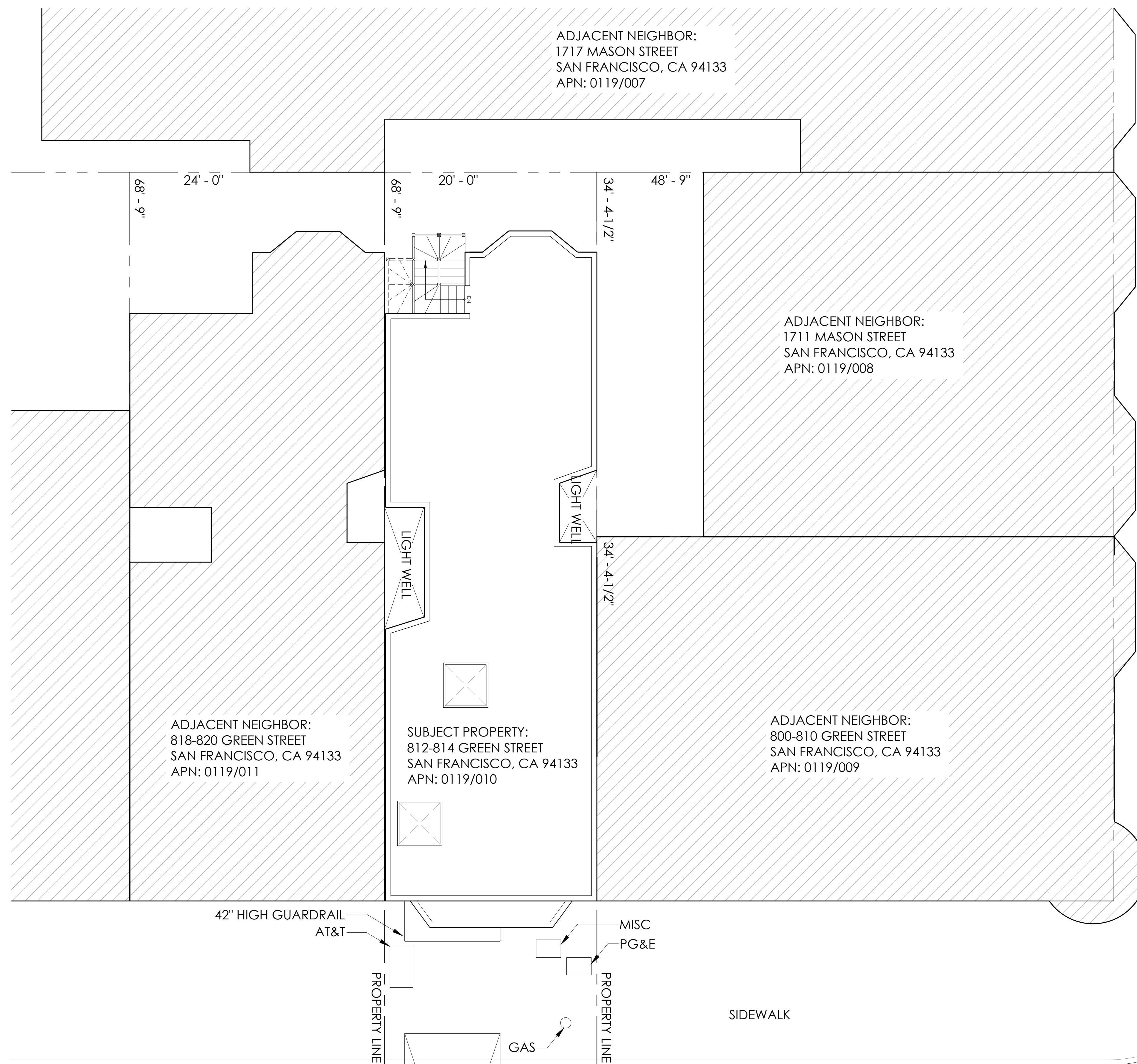
APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

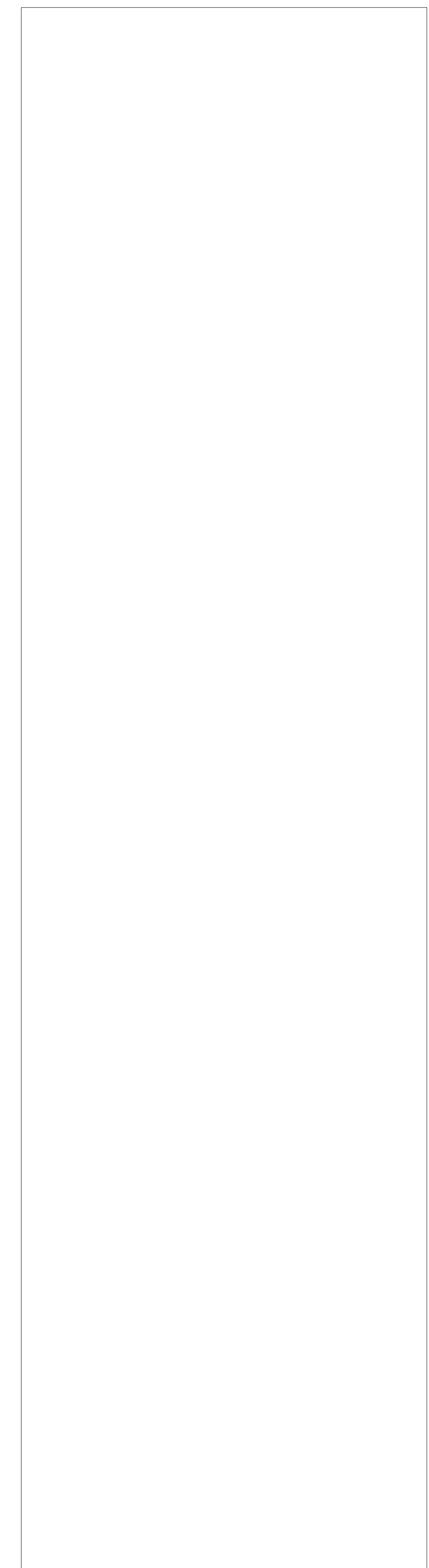
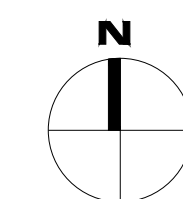
Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

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1

EXISTING SITE PLAN
3/16" = 1'-0"



ISSUED
VARIANCE APP REVISION:
04.25.2016

EXISTING SITE PLAN

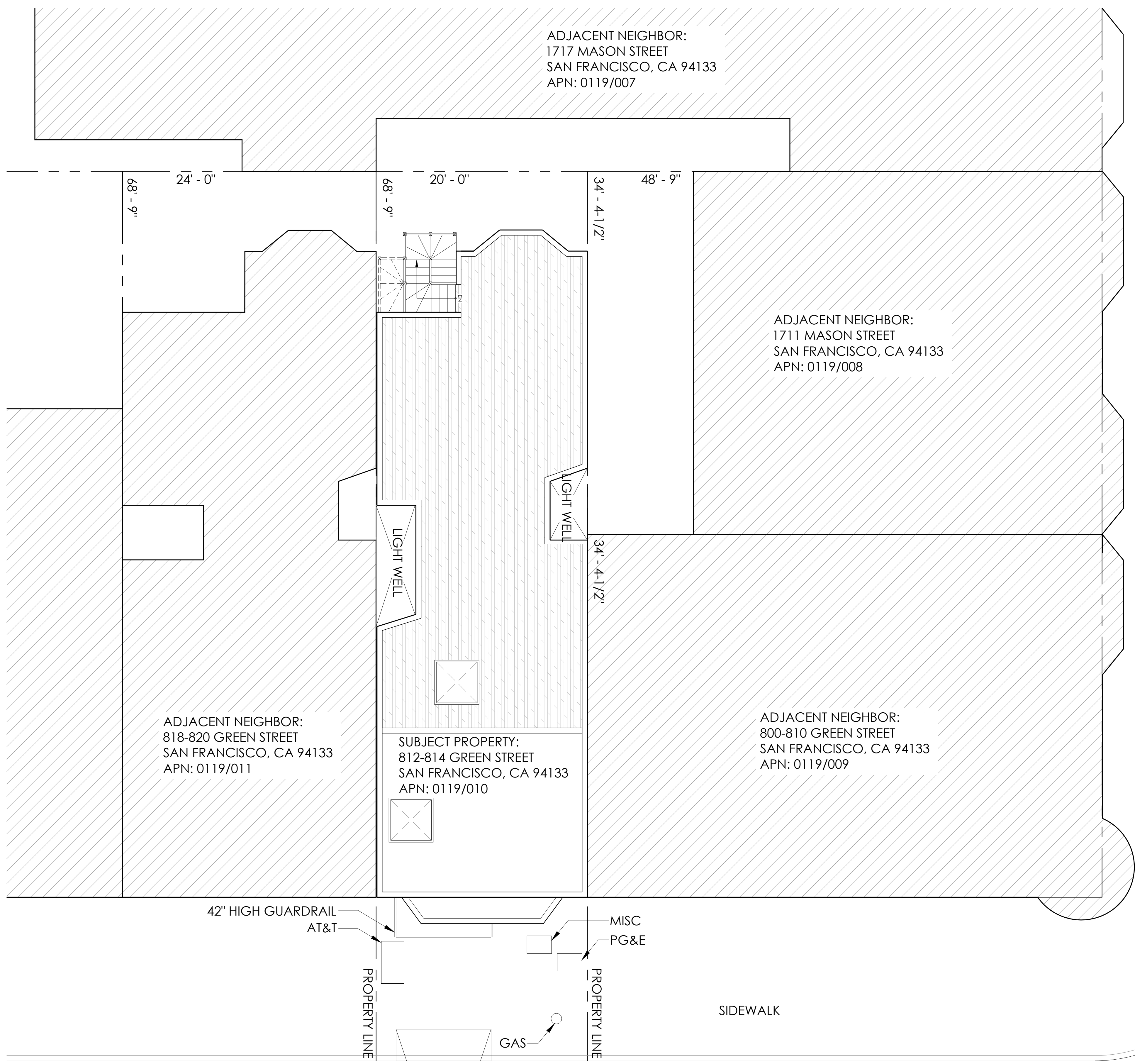
3/16" = 1'-0"

A1.1

BECKHAM DUNN RESIDENCE
812 & 814 GREEN STREET, SAN FRANCISCO, CA 94133
BLOCK 0119 LOT 010 | PROJECT NO. 2013.030

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
915 Battery Street, First Floor, San Francisco, CA 94111

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ADJACENT NEIGHBOR:
818-820 GREEN STREET
SAN FRANCISCO, CA 94133
APN: 0119/011

SUBJECT PROPERTY:
812-814 GREEN STREET
SAN FRANCISCO, CA 94133
APN: 0119/010

ADJACENT NEIGHBOR:
1717 MASON STREET
SAN FRANCISCO, CA 94133
APN: 0119/007

ADJACENT NEIGHBOR:
1711 MASON STREET
SAN FRANCISCO, CA 94133
APN: 0119/008

ADJACENT NEIGHBOR:
800-810 GREEN STREET
SAN FRANCISCO, CA 94133
APN: 0119/009

42" HIGH GUARDRAIL
AT&T

MISC
PG&E

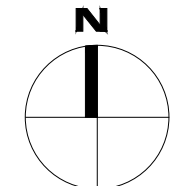
PROPERTY LINE

PROPERTY LINE

SIDEWALK

GAS

1 PROPOSED SITE PLAN
3/16" = 1'-0"



ISSUED
VARIANCE APP REVISION:
04.25.2016

PROPOSED SITE PLAN

3/16" = 1'-0"

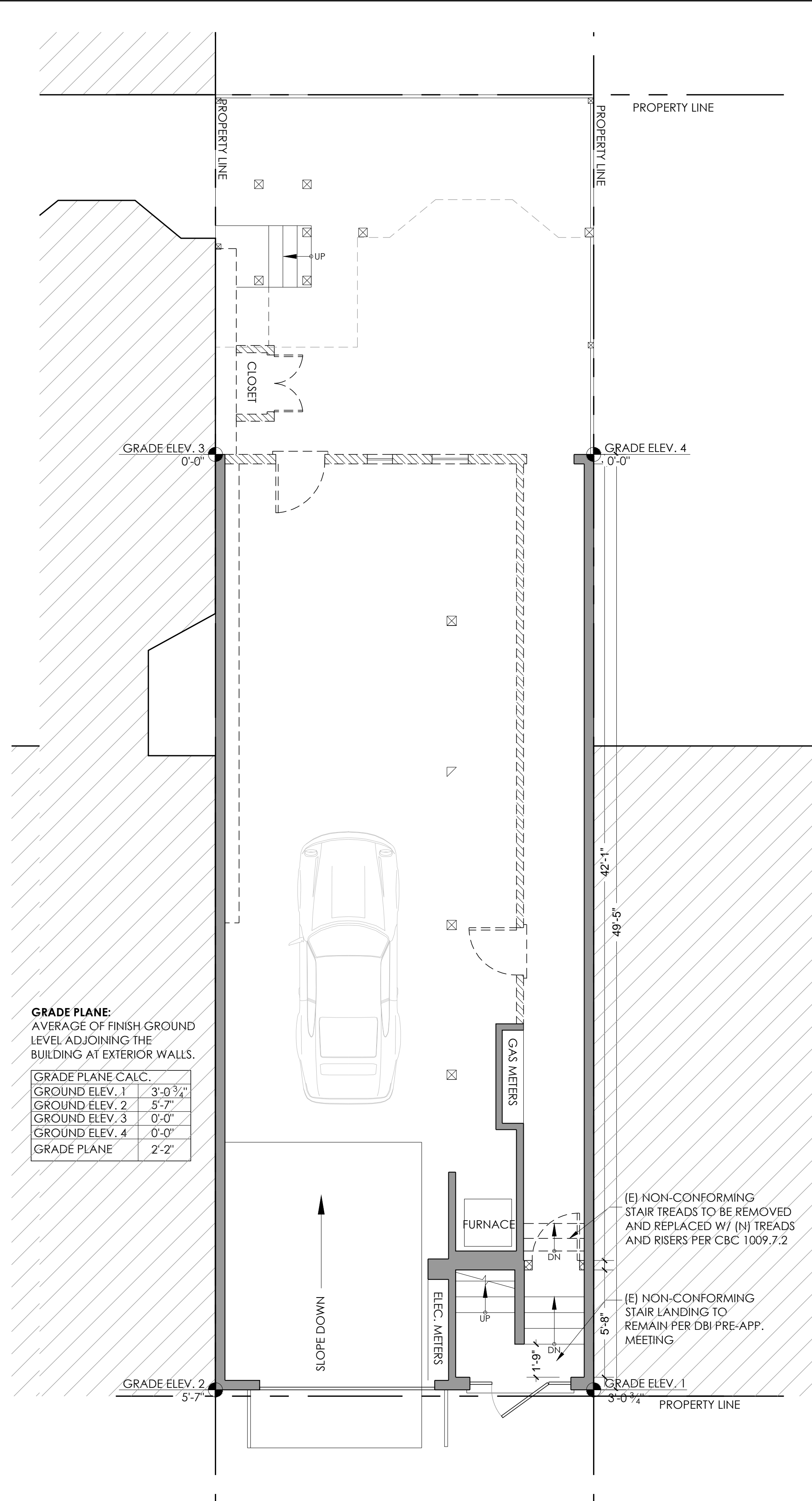
A1.2

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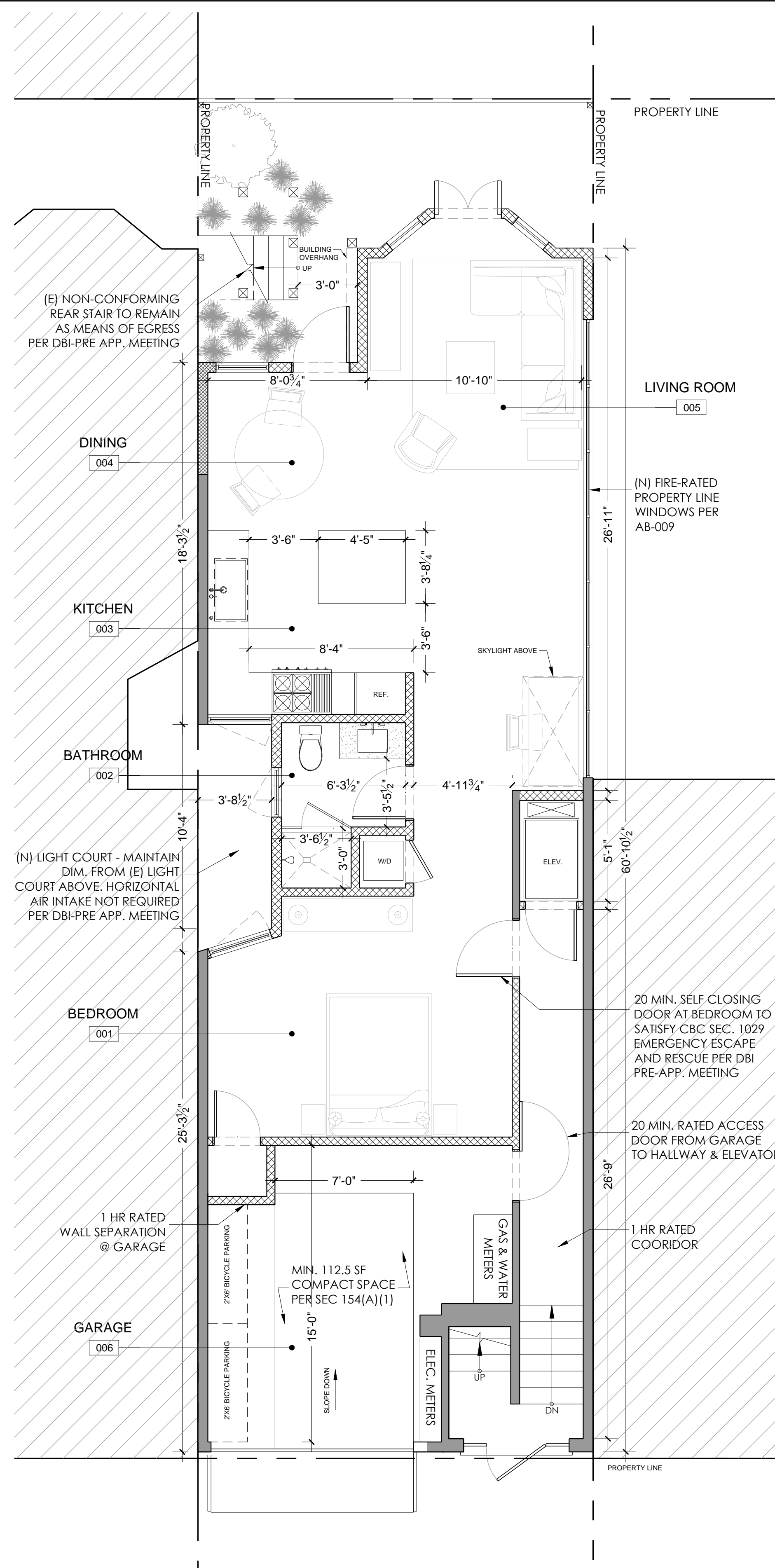
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812 & 814 GREEN STREET, SAN FRANCISCO, CA 94133
BLOCK 0119 LOT 010 | PROJECT NO. 2013.030

812 & 814 GREEN STREET, SAN FRANCISCO, CA 94133
BLOCK 0119 LOT 010 | PROJECT NO. 2013.030

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1 EXISTING BASEMENT LEVEL FLOOR PLAN
1/4" = 1'-0"



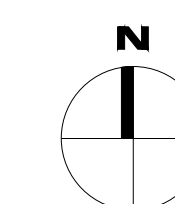
2 PROPOSED BASEMENT LEVEL FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES:

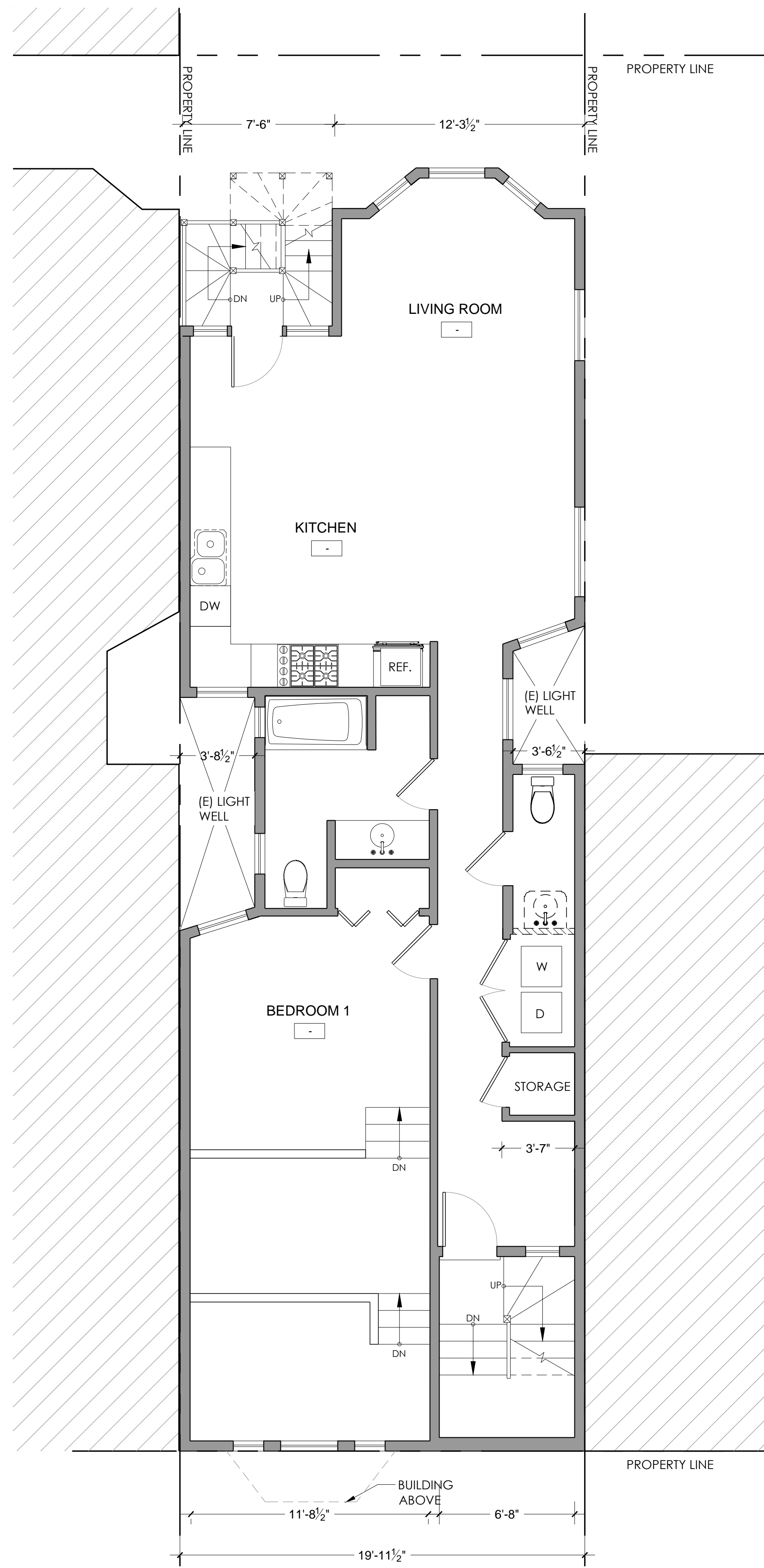
1. AREA OF RELOCATED UNIT 814 = 786 SF, 75% OF EXISTING UNIT 814 (PREVIOUSLY 1048 SF)

WALL LEGEND:

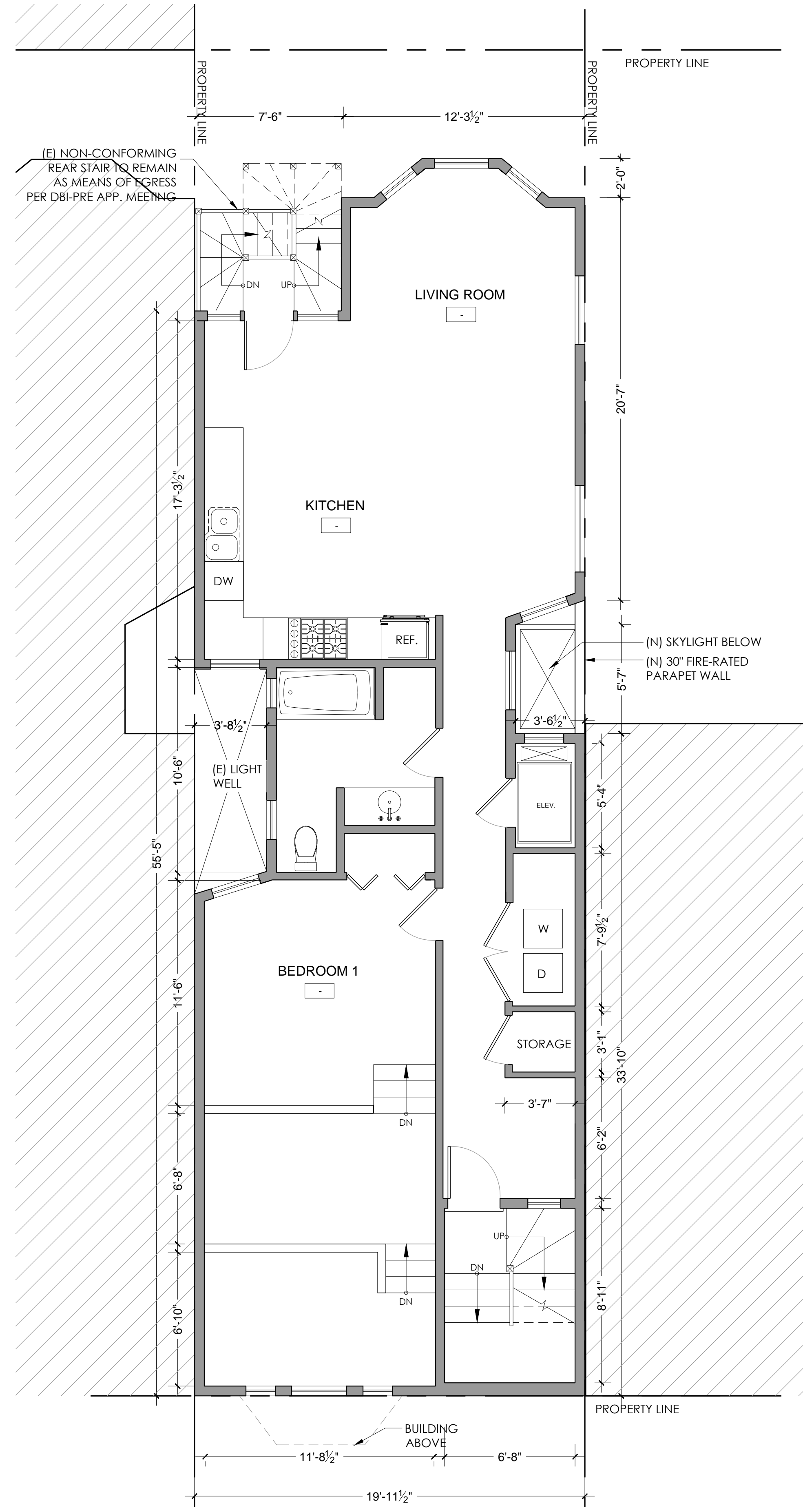
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW WALLS



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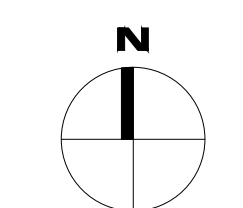
1 EXISTING FIRST LEVEL PLAN
1/4" = 1'-0"



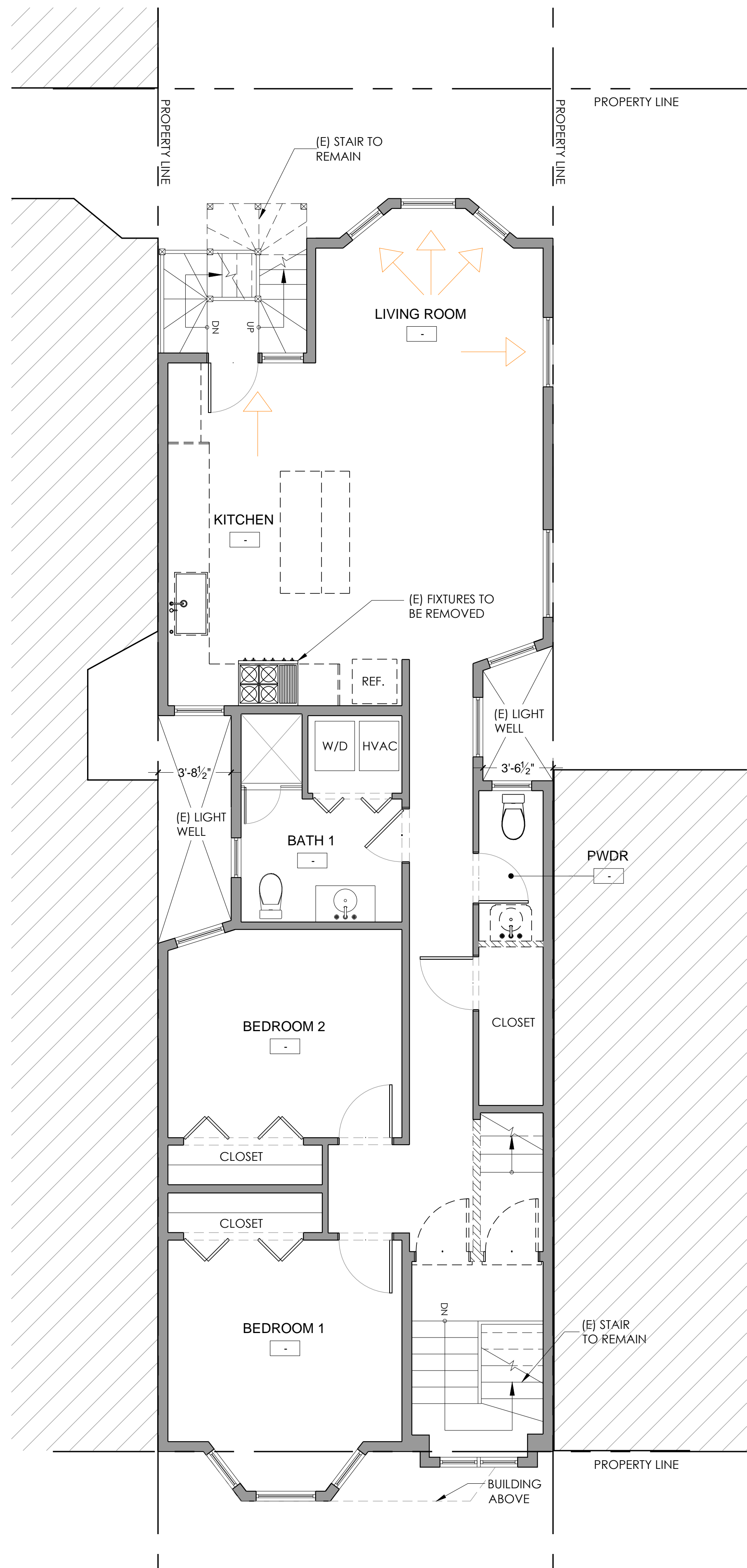
2 PROPOSED FIRST LEVEL FLOOR PLAN
1/4" = 1'-0"

WALL LEGEND:

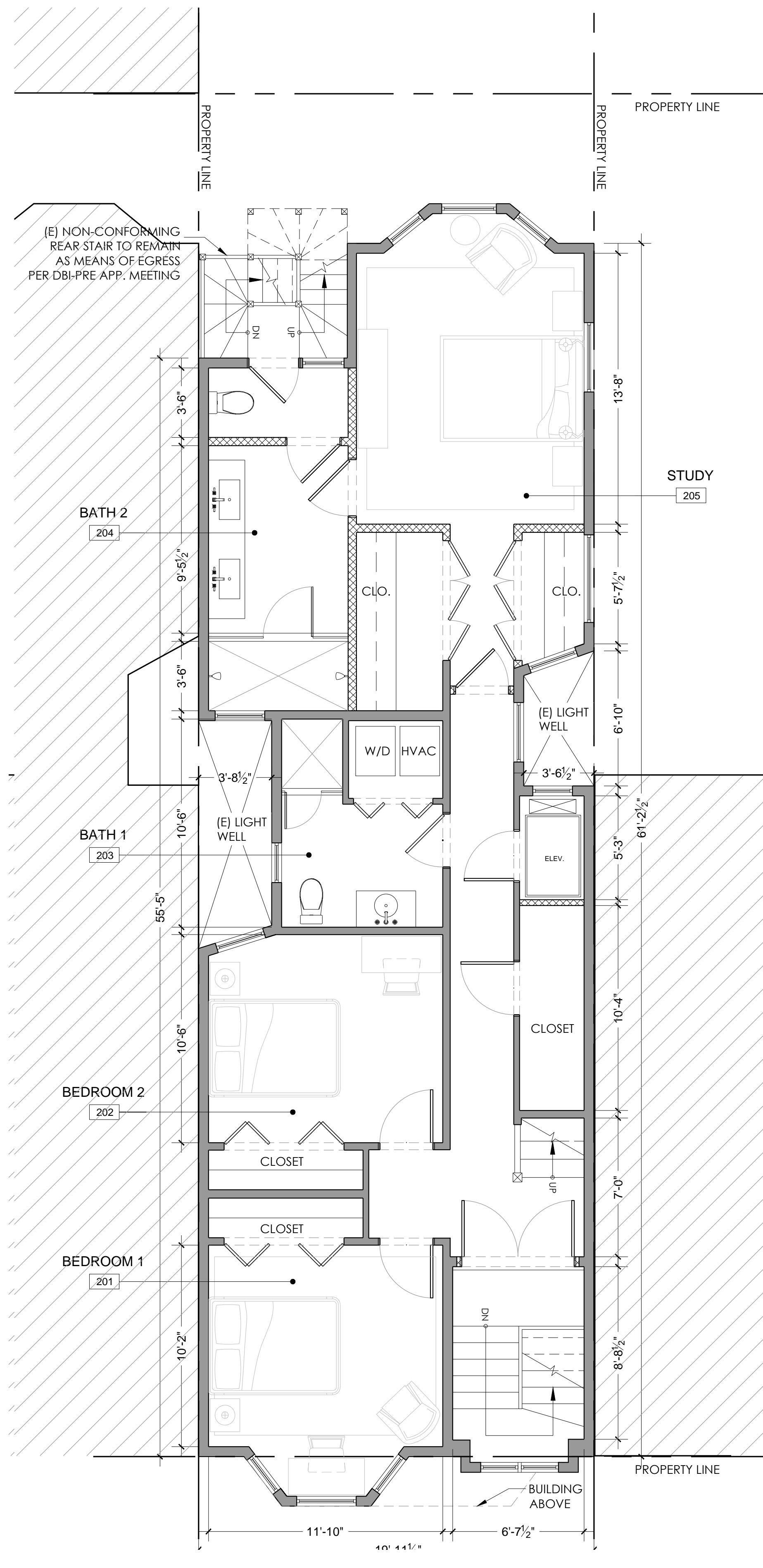
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW WALLS



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1 EXISTING SECOND LEVEL FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED SECOND LEVEL FLOOR PLAN
1/4" = 1'-0"

WALL LEGEND:

- EXISTING WALLS TO REMAIN
- ▨ EXISTING WALLS TO BE REMOVED
- - - EXISTING ELEMENTS TO BE REMOVED
- ▤ NEW WALLS

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04.25.2016

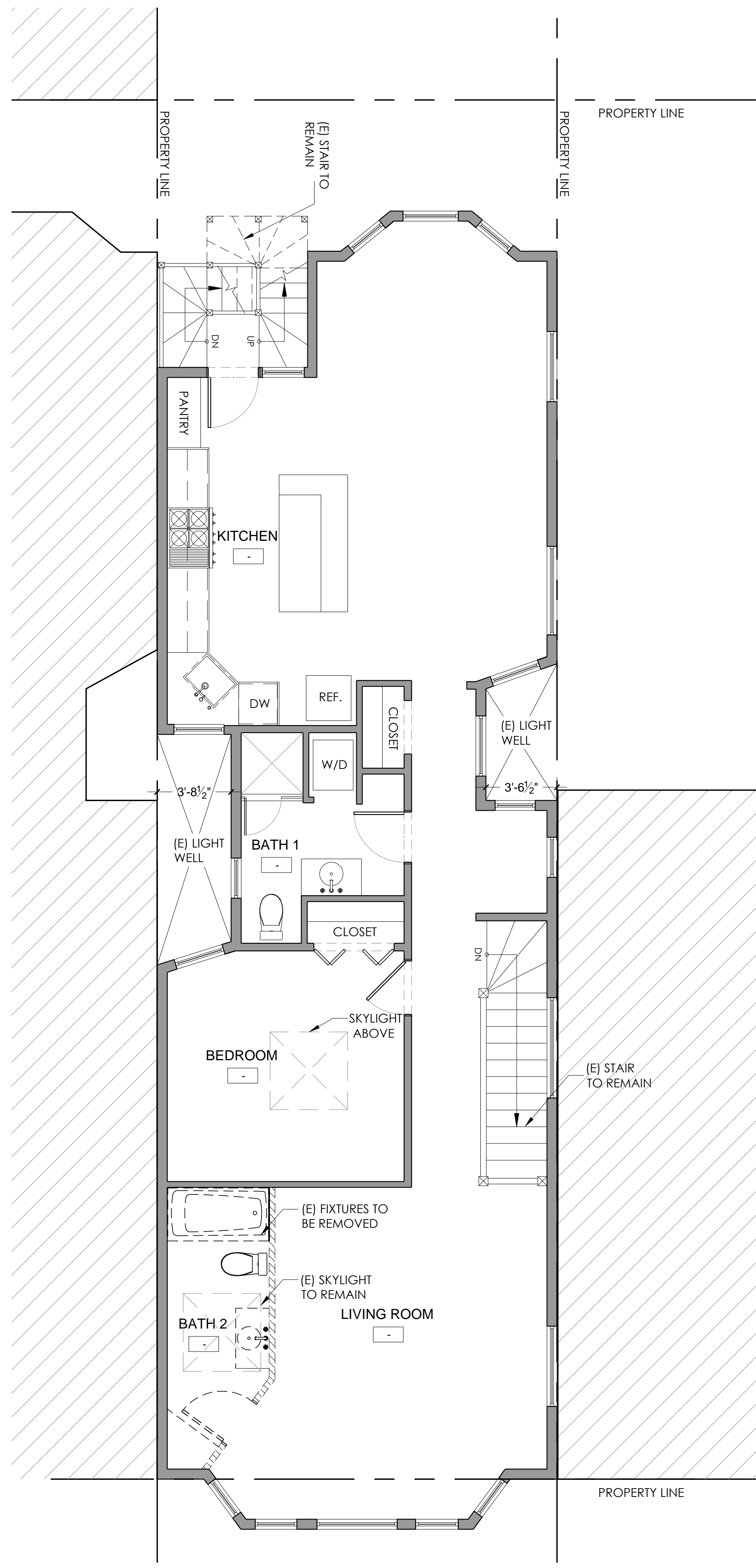
EXISTING AND PROPOSED SECOND LEVEL FLOOR PLAN

1/4" = 1'-0"

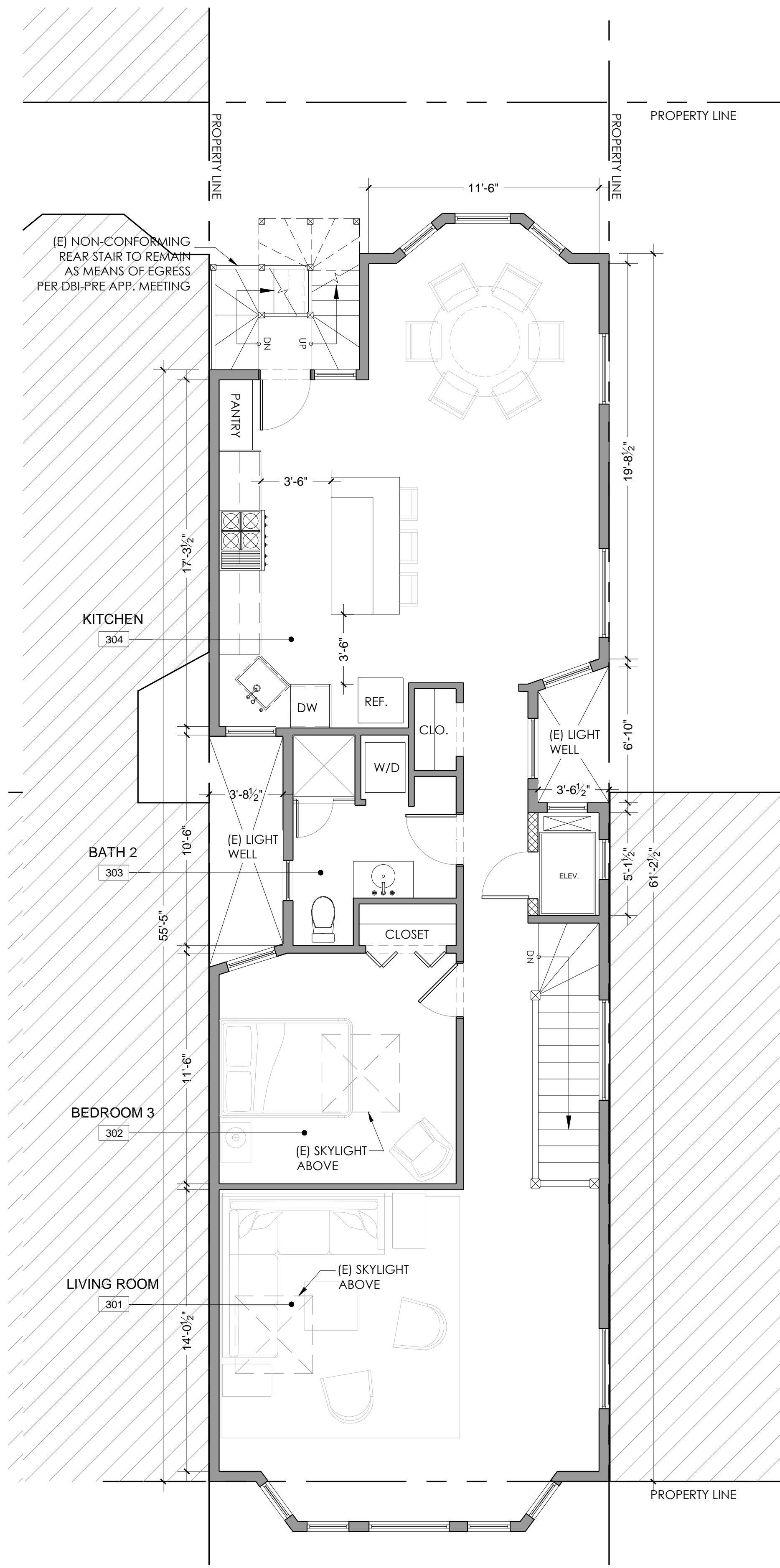
A2.2

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812 & 814 GREEN STREET, SAN FRANCISCO, CA 94133
BLOCK 0119 LOT 010 | PROJECT NO. 2013.030

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1 EXISTING THIRD LEVEL FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED THIRD LEVEL FLOOR PLAN
1/4" = 1'-0"

WALL LEGEND:
 ——— EXISTING WALLS TO REMAIN
 ▨ EXISTING WALLS TO BE REMOVED
 ——— EXISTING ELEMENTS TO BE REMOVED
 ▩ NEW WALLS

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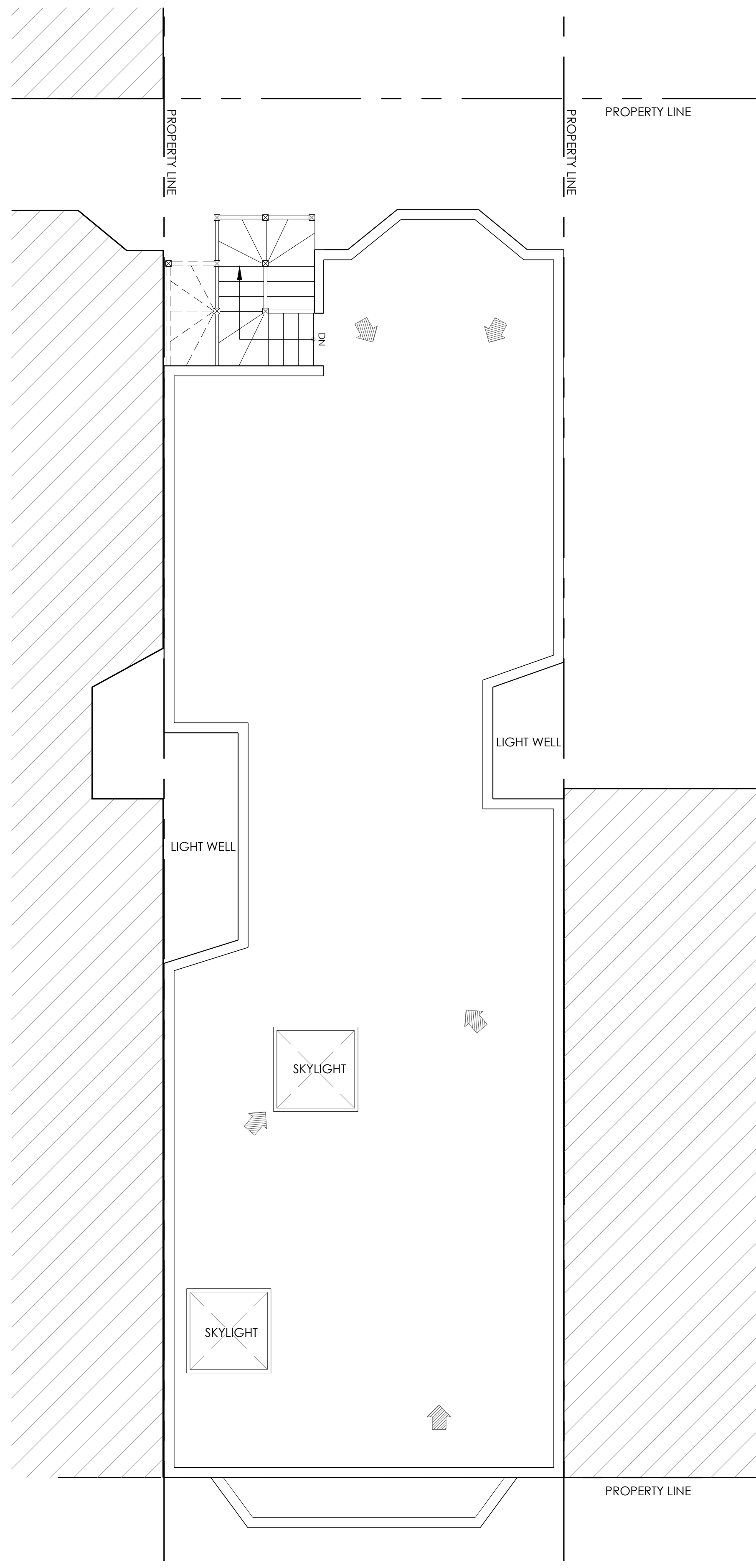
EXISTING AND
 PROPOSED THIRD LEVEL
 FLOOR PLAN

1/4" = 1'-0"

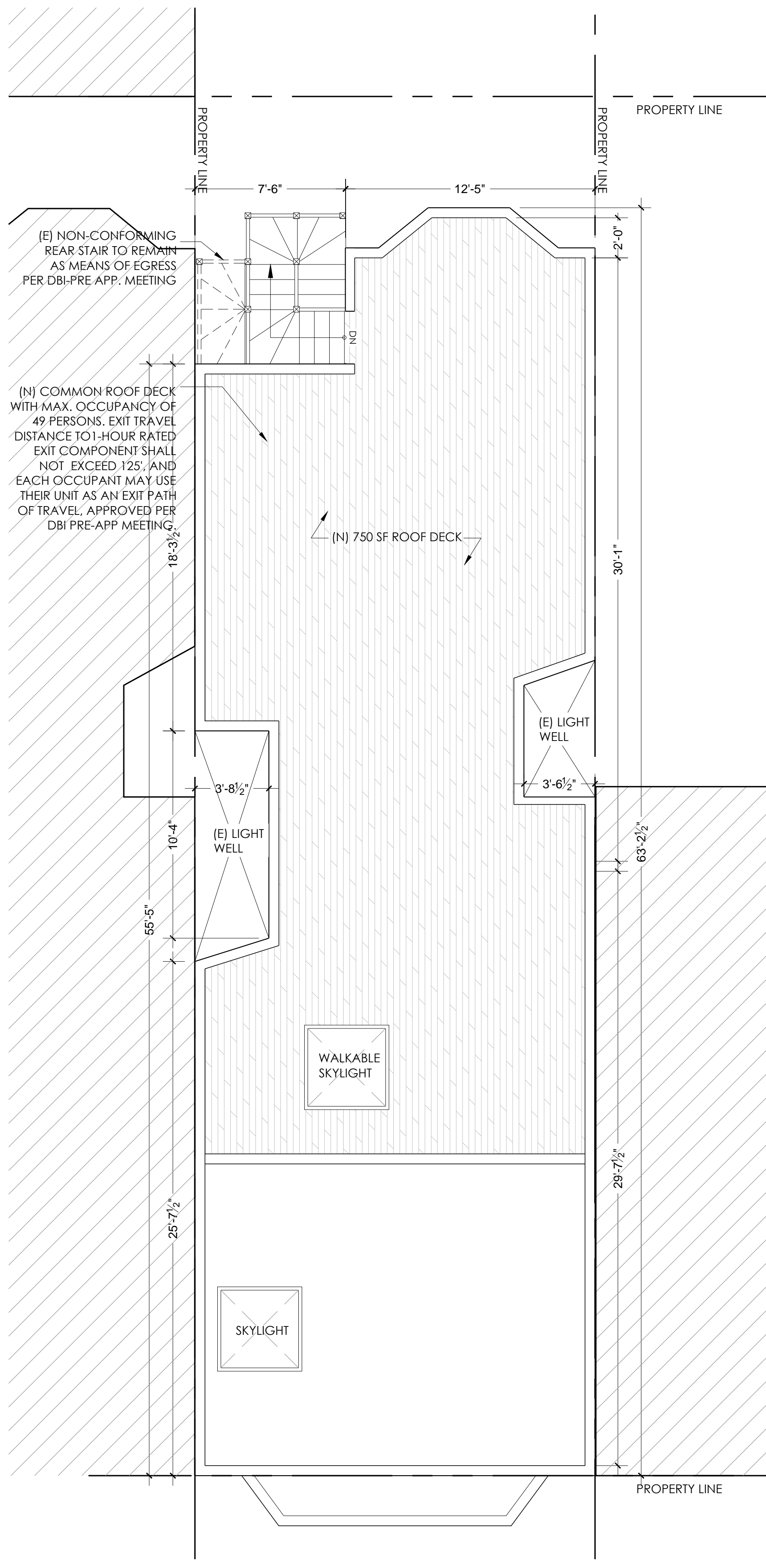
A2.3

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1 EXISTING ROOF PLAN
1/4" = 1'-0"



2 PROPOSED ROOF PLAN
1/4" = 1'-0"

WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW WALLS

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EXISTING AND PROPOSED ROOF PLAN

1/4" = 1'-0"

A2.4

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1 EXISTING/PROPOSED WEST ELEVATION - NO CHANGES
1/4" = 1'-0"

- WALL LEGEND:**
- EXISTING WALLS TO REMAIN
 - EXISTING WALLS TO BE REMOVED
 - EXISTING ELEMENTS TO BE REMOVED
 - NEW WALLS

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EXISTING & PROPOSED
WEST EXTERIOR
ELEVATION

1/4" = 1'-0"

A3.4

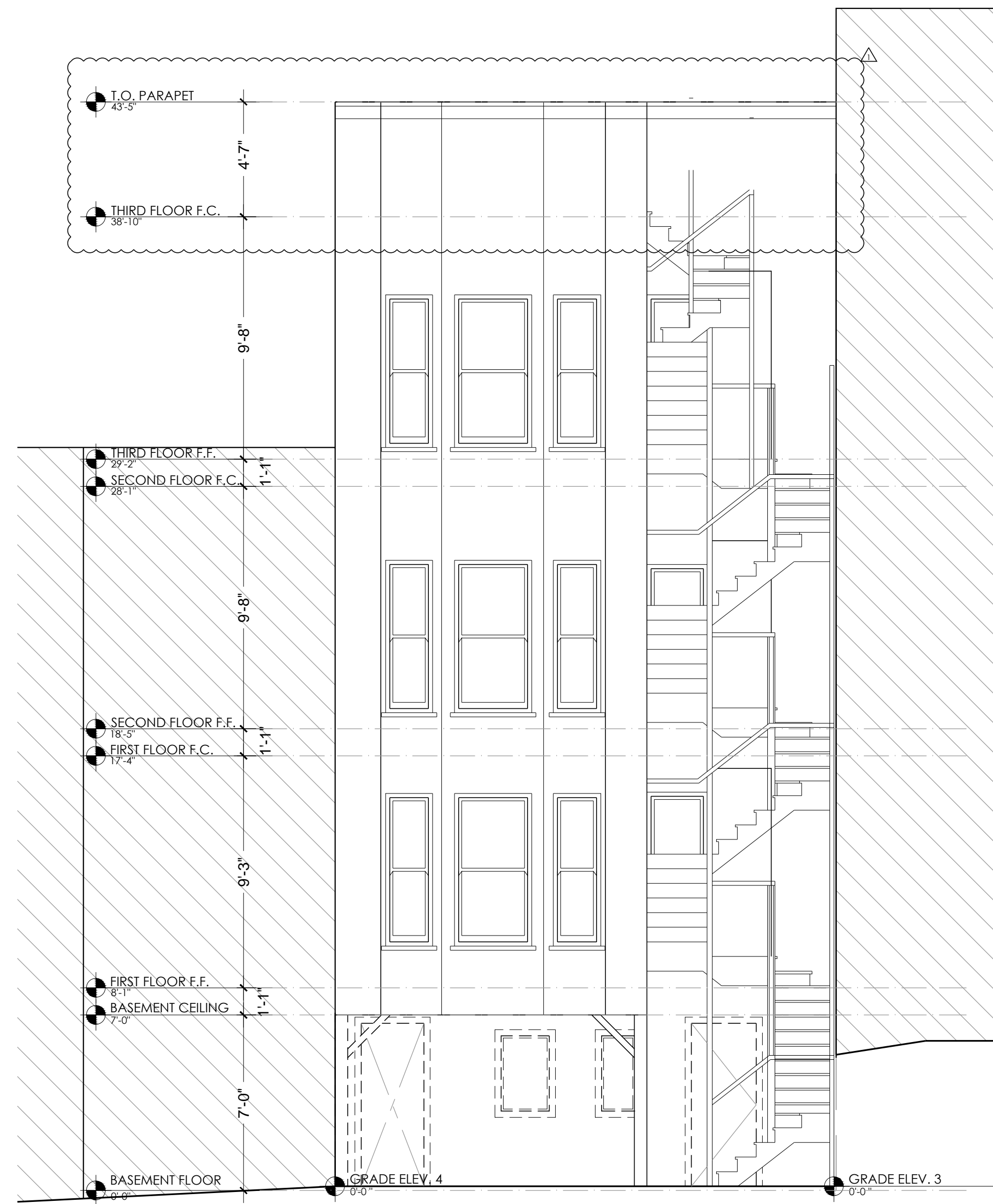
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1 EXISTING NORTH ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW WALLS

ISSUED
VARIANCE APP REVISION:
04.25.2016
△ EXISTING PARAPET
UPDATE: 5/3/2016

EXISTING & PROPOSED
NORTH EXTERIOR
ELEVATION

1/4" = 1'-0"

A3.0

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GENERAL NOTES:
 1. TOTAL AREA OF (E) EAST EXTERIOR WALL - 2241 SF.

WALL LEGEND:
 [Solid line] EXISTING WALLS TO REMAIN
 [Hatched pattern] EXISTING WALLS TO BE REMOVED
 [Dashed line] EXISTING ELEMENTS TO BE REMOVED
 [Cross-hatched pattern] NEW WALLS

1 EXISTING EAST ELEVATION
 1/4" = 1'-0"

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1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

- 1. AREA OF (E) EAST EXTERIOR WALL = 2241 SF.
- AREA OF PROPOSED PROPERTY-LINE WINDOWS = 162 SF
- TOTAL AREA OF OPENING ON EAST ELEVATION = 297 SF (13% OF EAST ELEVATION)

WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW WALLS

ISSUED
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△ EXISTING PARAPET
UPDATE: 5/3/2016

PROPOSED EAST EXTERIOR ELEVATION

1/4" = 1'-0"

A3.2

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WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW WALLS

1 EXISTING/PROPOSED SOUTH ELEVATION - NO CHANGES
1/4" = 1'-0"

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- WALL LEGEND:**
- EXISTING WALLS TO REMAIN
 - EXISTING WALLS TO BE REMOVED
 - EXISTING ELEMENTS TO BE REMOVED
 - NEW WALLS

1 EXISTING/PROPOSED WEST ELEVATION - NO CHANGES
1/4" = 1'-0"

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04.25.2016
△ EXISTING PARAPET
UPDATE: 5/3/2016

EXISTING & PROPOSED
WEST EXTERIOR
ELEVATION

1/4" = 1'-0"

A3.4

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