



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



# SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 24, 2018**  
 Time: **Not before 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>982 Green Street</b>	Case No.: <b>2015-018474VAR</b>
Cross Street(s): <b>Jones Street</b>	Building Permit: <b>2015.11.23.3374</b>
Block /Lot No.: <b>0120/008A</b>	Applicant: <b>Alexandra Owen</b>
Zoning District(s): <b>RH-2 / 40-X</b>	Telephone: <b>(415) 346-2444</b>
Area Plan: <b>n/a</b>	E-Mail: <a href="mailto:alexandra@owendesignsf.com">alexandra@owendesignsf.com</a>

### PROJECT DESCRIPTION

The request is for the approval of Variances from the Planning Code to legalize portions of previously unpermitted construction on the property, including the retention of 1 new enclosed garage in the required front setback facing Green Street (where a legal carport had existed), a property line wall and for a horizontal addition that encroaches into the required rear yard.

**PER SECTION 132 OF THE PLANNING CODE** the subject property is required to maintain a front setback of 15 feet. Two features of the project require Variance approval: the garage structure proposed to be retained and modified at the site's SW corner encroaches into the full 15 feet of required front setback; and a solid, 6-foot high wall along the east property line is located within the front setback; therefore, the project requires a variance from the front setback requirement of the Planning Code.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of a specified depth. The rear addition encroaches beyond the average rear yard line at both the 1<sup>st</sup> and 2<sup>nd</sup> floors; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

### ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2015-018474VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

### FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Eiliesh Tuffy** Telephone: **(415) 575-9191** E-Mail: [eiliesh.tuffy@sfgov.org](mailto:eiliesh.tuffy@sfgov.org)

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. On September 5, 2017, the Department issued the required Section 311/312 notification for this project, which expired on October 5, 2017.

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

# 982 Green Street

Residential Remodel  
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Project No.	Date
17-016	10.25.17

Revisions	
No.	Issue / Date
	ISSUED FOR REVIEW 11.07.17
	ISSUED FOR REVIEW 11.30.17
	ISSUED FOR PLANNING REVIEW 11.13.17
	VARIANCE APPLICATION 12.12.17
	SITE PERMIT 12.18.17
	VARIANCE / SITE PERMIT 01.03.18

## LOCATION MAP



PROJECT SITE



## PROJECT INFORMATION

**ADDRESS:** 982 GREEN STREET  
SAN FRANCISCO, CA 94133

**BLOCK / LOT:** 0120 / 008A

**ZONING:** RH-2

**OCCUPANCY:** R - 3

## SCOPE OF WORK

REVISION TO PERMIT NO. 2015-11-23-3374.

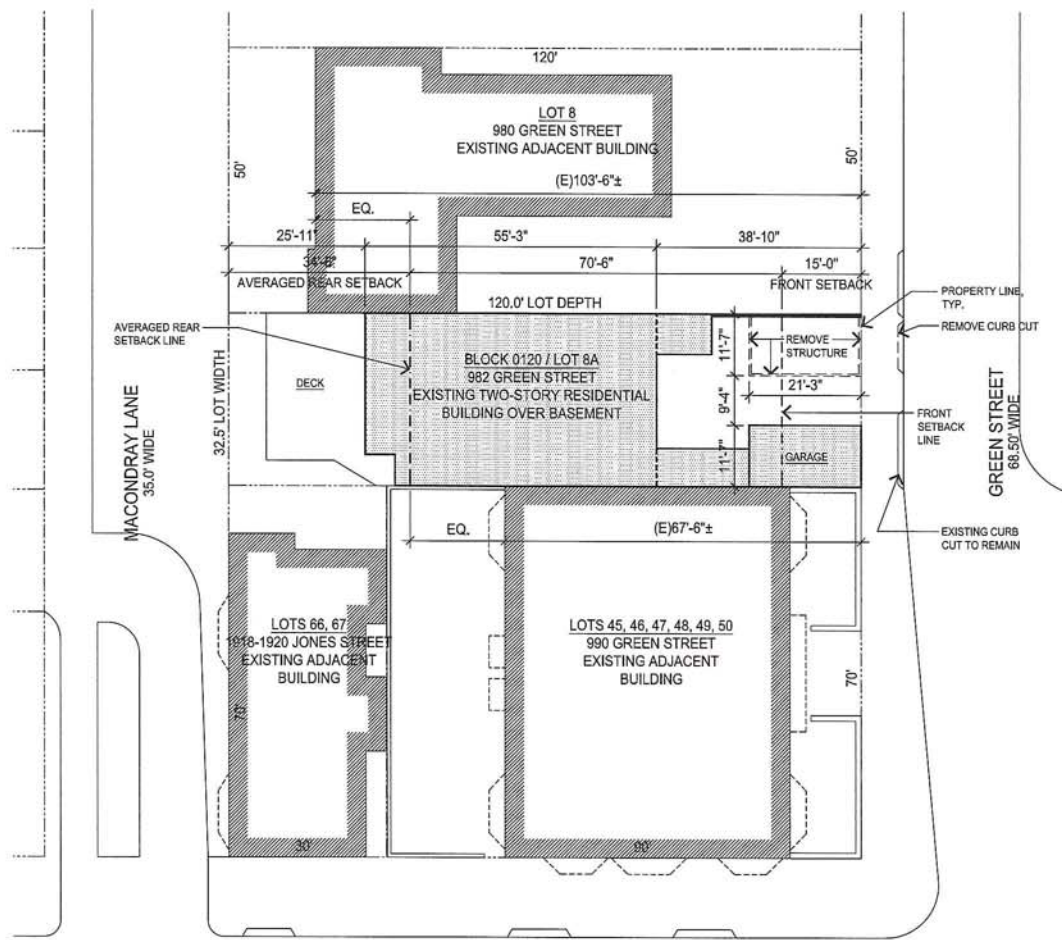
PROPOSED REMODEL OF EXISTING TWO-UNIT RESIDENTIAL BUILDING, TWO STORIES OVER BASEMENT.

## GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH 2013 CALIFORNIA BUILDING CODES (CBC), SAN FRANCISCO BUILDING CODES (SFBC) AND ALL APPLICABLE ORDINANCES AND AMENDMENTS.
- ALL DIMENSIONS ARE TO EXISTING FINISHED FACE OF WALL OR FACE OF CONCRETE OR TO FACE OF NEW STUD WALL, U.O.N.
- DRAWINGS ARE NOT TO BE SCALED.
- EXISTING CONSTRUCTION IS TYPE 5B, NON-SPRINKLERED.

## DRAWING INDEX

- A0.1 PROPOSED 2017 SITE PLAN, PROJECT INFORMATION, DRAWING INDEX, GENERAL NOTES
- AR.0 PRE-2011 SITE PLAN
- AR.1 APPROVED 2012 BASEMENT PLAN (FOR UNIT MERGER UNDER PERMIT NO. 2011-1130-9810)
- AR.2 PRE-2011 FIRST AND SECOND FLOOR PLANS
- AR.3 PRE-2011 SOUTH (GREEN ST) AND NORTH ELEVATIONS
- AR.4 PRE-2011 SIDE ELEVATIONS
- A2.1 PROPOSED 2017 BASEMENT FLOOR PLAN
- A2.2 PROPOSED 2017 FIRST FLOOR PLAN, CONCEPTUAL LANDSCAPE PLAN
- A2.3 PROPOSED 2017 SECOND FLOOR PLAN
- A2.4 PROPOSED 2017 ROOF PLAN
- A3.1 PROPOSED 2017 EXTERIOR ELEVATION
- A3.2 PROPOSED 2017 EXTERIOR ELEVATIONS
- A3.3 PROPOSED 2017 EXTERIOR ELEVATION
- A3.4 PROPOSED 2017 EXTERIOR ELEVATION
- A4.1 PROPOSED 2017 BUILDING SECTION



## PROPOSED 2017 - SITE PLAN

SCALE: 1/16" = 1'-0"



# PROPOSED 2017 BUILDING PLANS

**A0.1**

Project Information, Site Plan, Drawing Index  
Scale: As Noted



# 982 GREEN STREET SAN FRANCISCO, CALIFORNIA

**982**  
Green Street

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## PROJECT OWNER

OWNER: ALEXANDRA OWEN  
982 GREEN STREET  
SAN FRANCISCO, CA

## VICINITY MAP



**PROJECT SITE**  
982 GREEN STREET  
SAN FRANCISCO, CA 94133



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## BUILDING INFO

EXISTING BUILDING TYPE: 5B  
EXISTING BUILDING USE: 2 UNIT RESIDENTIAL  
EXISTING NO. OF STORIES: 2 STORIES OVER BASEMENT  
EXISTING NO. OF UNITS: 2  
EXISTING OCCUPANCY CODE: R-3

2010 CALIFORNIA BUILDING CODE WITH LOCAL AMENDMENTS  
2010 CALIFORNIA PLUMBING CODE WITH LOCAL AMENDMENTS  
2010 CALIFORNIA ELECTRICAL CODE WITH LOCAL AMENDMENTS  
2010 CALIFORNIA MECHANICAL CODE WITH LOCAL AMENDMENTS

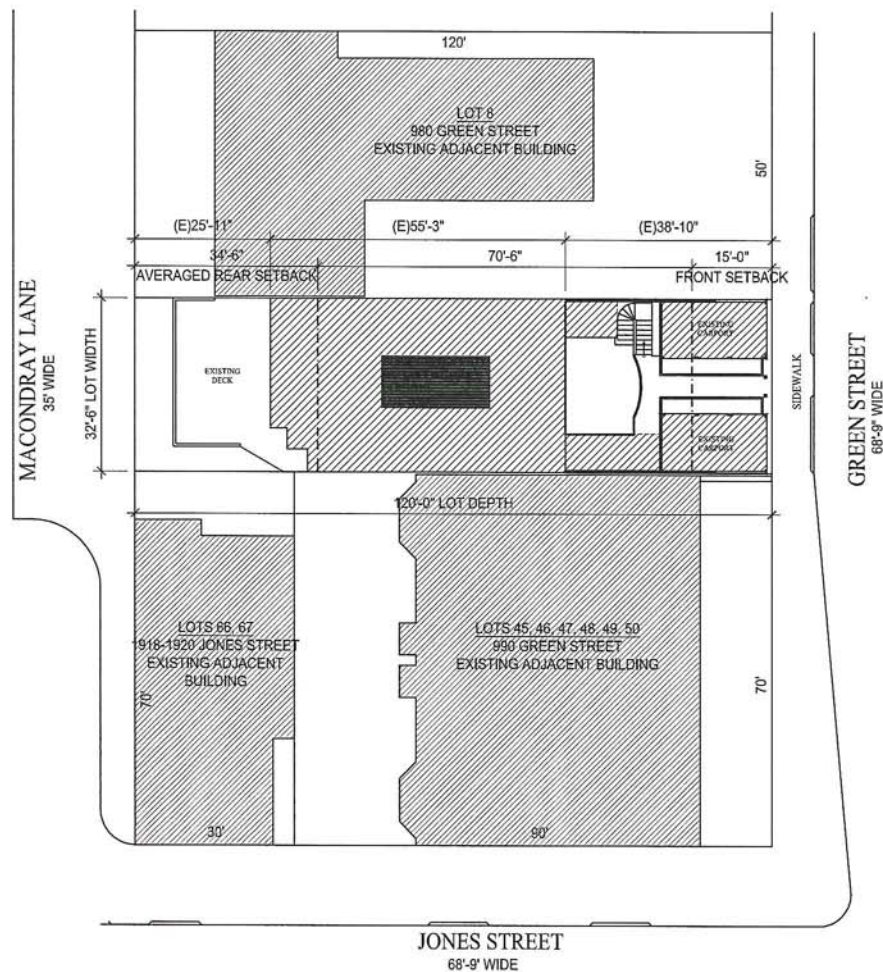
## NOTE:

ALL ARCHITECTURAL RECORD (AR) DRAWINGS ARE A RECORD OF PRE-2011 BUILDING PLANS AND ELEVATIONS WITH APPROVED 2012 BASEMENT FLOOR PLAN (FOR UNIT MERGER UNDER PERMIT NO. 2011-1130-9810)

Project No.	Date
17-016	10.25.17

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## PRE-2011 SITE PLAN

SCALE: 1/16" = 1'-0"

City and County of San Francisco  
Department of Building Inspection

Edwin M. Lee, Mayor  
Vivian L. Day, C.B.O., Director

November 14, 2011

Re: 982 Green Street

Alexandra Owen  
3450 Sacramento Street #444  
San Francisco, CA 94118

Dear Alexandra Owen:

A site inspection with Acting Deputy Director Daniel Lowrey and Senior Building Inspector Joseph Duffy together with owner's representatives on Aug 31, 2011 showed that the current structure is a 3-story building, one existing kitchen, one basement and 2 exterior carports.

The house was originally built in 1878 as a single family home. Records also show the original application for a water hook up to be in September 1875, a permit for a concrete wall and sidewalk to the house in 1913 (Permit #49448), and a kitchen remodel in 1942 (Permit #69496).

In 1971, the Board of Appeals case #5920's Notice of Decision and Order requires that permits for a 3 unit apartment house be issued and granted with the following stipulations:

Stipulations:  
Storage and garage to be provided with sheetrock or to provide fire sprinklers

In 1973 a Certificate of Completion was issued for a 3 units apartment building. However, there is no evidence of the above stipulations being met at the time of site inspection.

In conclusion, it is hard to determine the use of the building due to the original age of the building, lack of evidence that the above stipulations have been complied with and inconsistency together with the lack of the permit history.

Owner(s) is required to obtain appropriate building permit to show the proper unit count or to comply with the above stipulations by Board of Appeals for a 3-unit apartment status.

For questions regarding the above, please contact Acting Deputy Director, Daniel Lowrey at 558-0127.

Very truly yours,  
  
Daniel Lowrey  
Acting Deputy Director

cc: Edward Sweeney, Acting Director  
Joseph Duffy, Senior Building Inspector

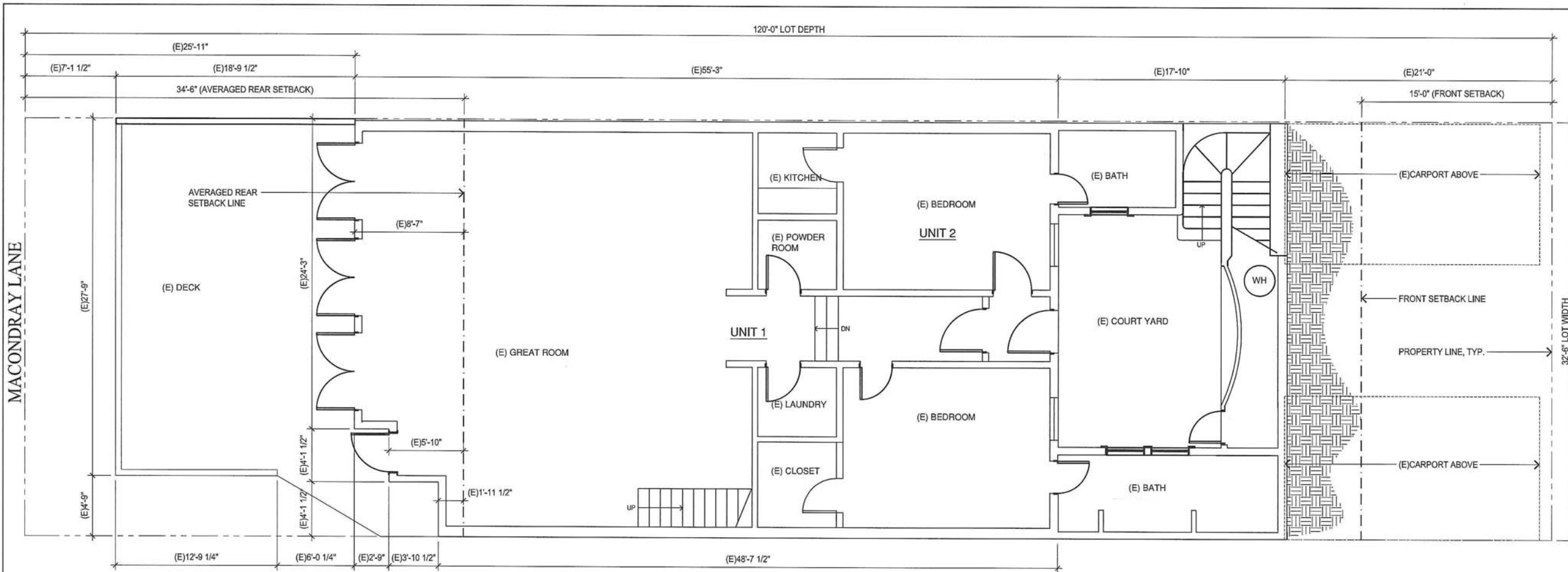
Inspection Services  
1660 Mission Street - San Francisco CA 94103  
Office (415) 558-0370 -- FAX (415) 558-0261 -- www.sfbid.org

Pre-2011 Site Plan

Scale: As Noted

PRE-2011 BUILDING PLANS

AR.0



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APPROVED 2012 BASEMENT FLOOR PLAN (FOR UNIT MERGER UNDER PERMIT NO. 2011-1130-9810)

SCALE: 1/4"=1'-0"



PRE-2011 BUILDING PLANS WITH  
APPROVED 2012 BASEMENT FLOOR PLAN

Pre-2011 Floor Plan

Scale: 1/4" = 1'-0"

AR.1





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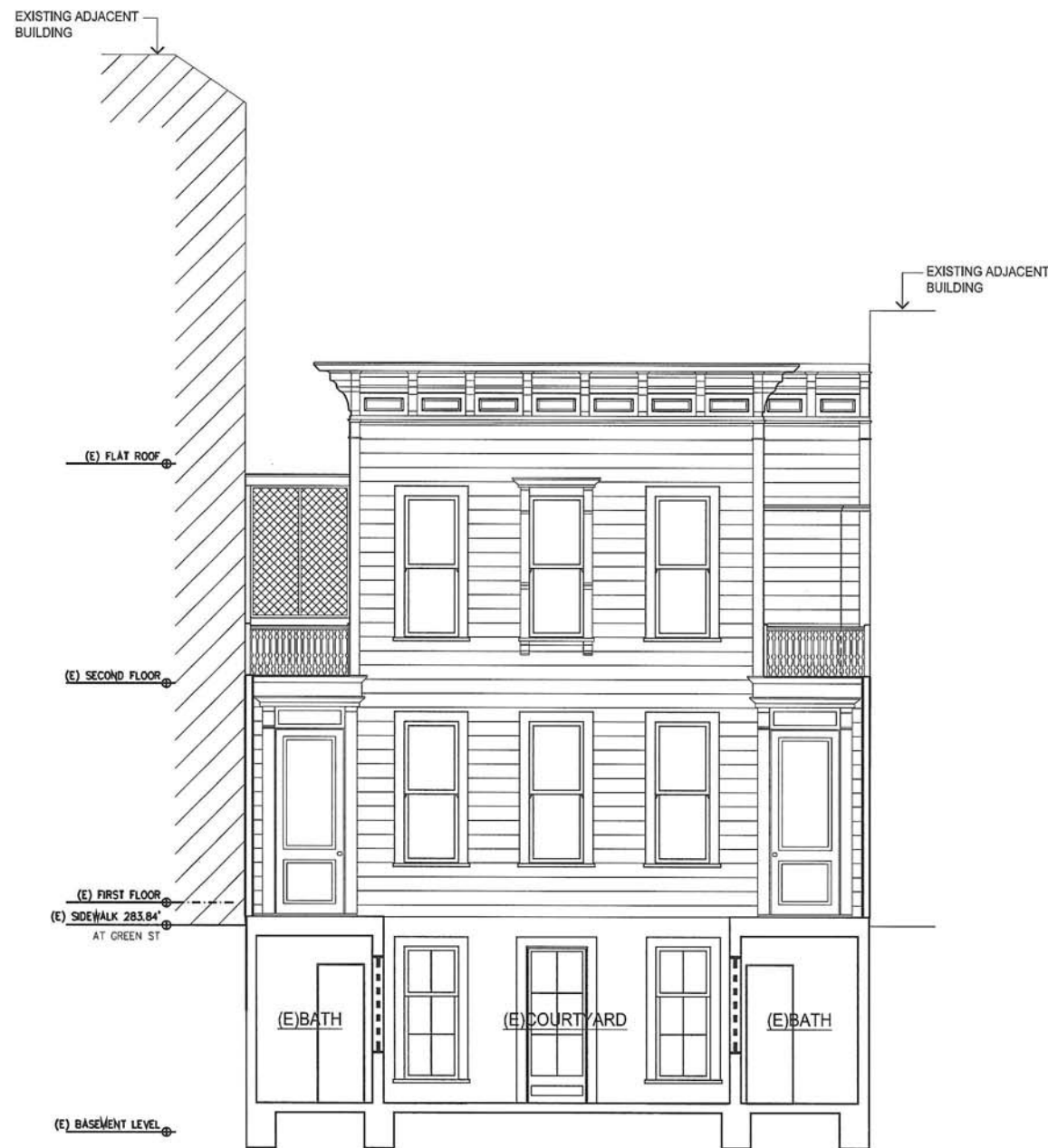
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Pre-2011  
Elevations

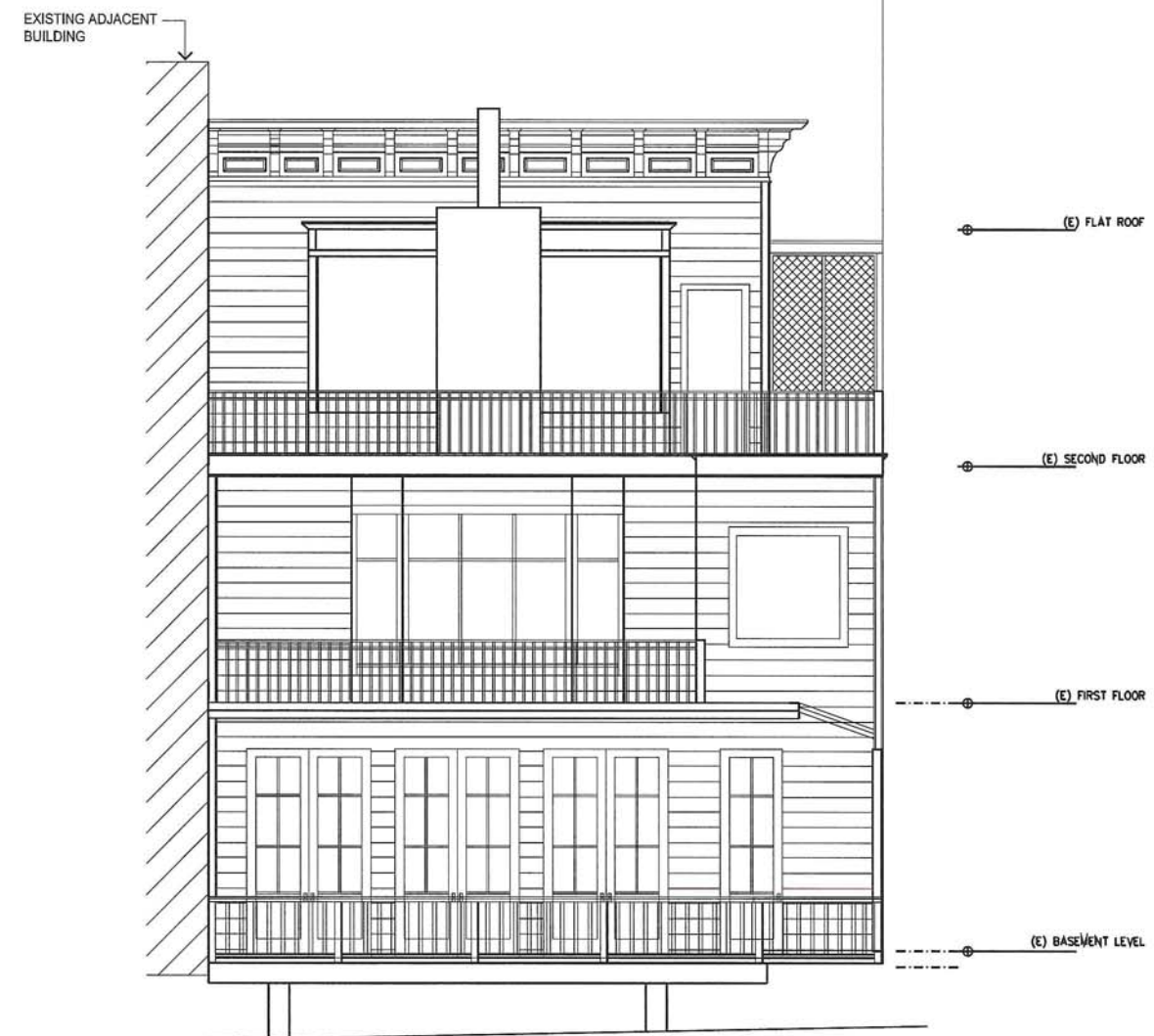
Scale: 1/4" = 1'-0"

AR.3



PRE-2011 SOUTH ELEVATION (GREEN STREET)

SCALE: 1/4"=1'-0"



PRE-2011 NORTH ELEVATION (REAR YARD)

SCALE: 1/4"=1'-0"



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Green Street

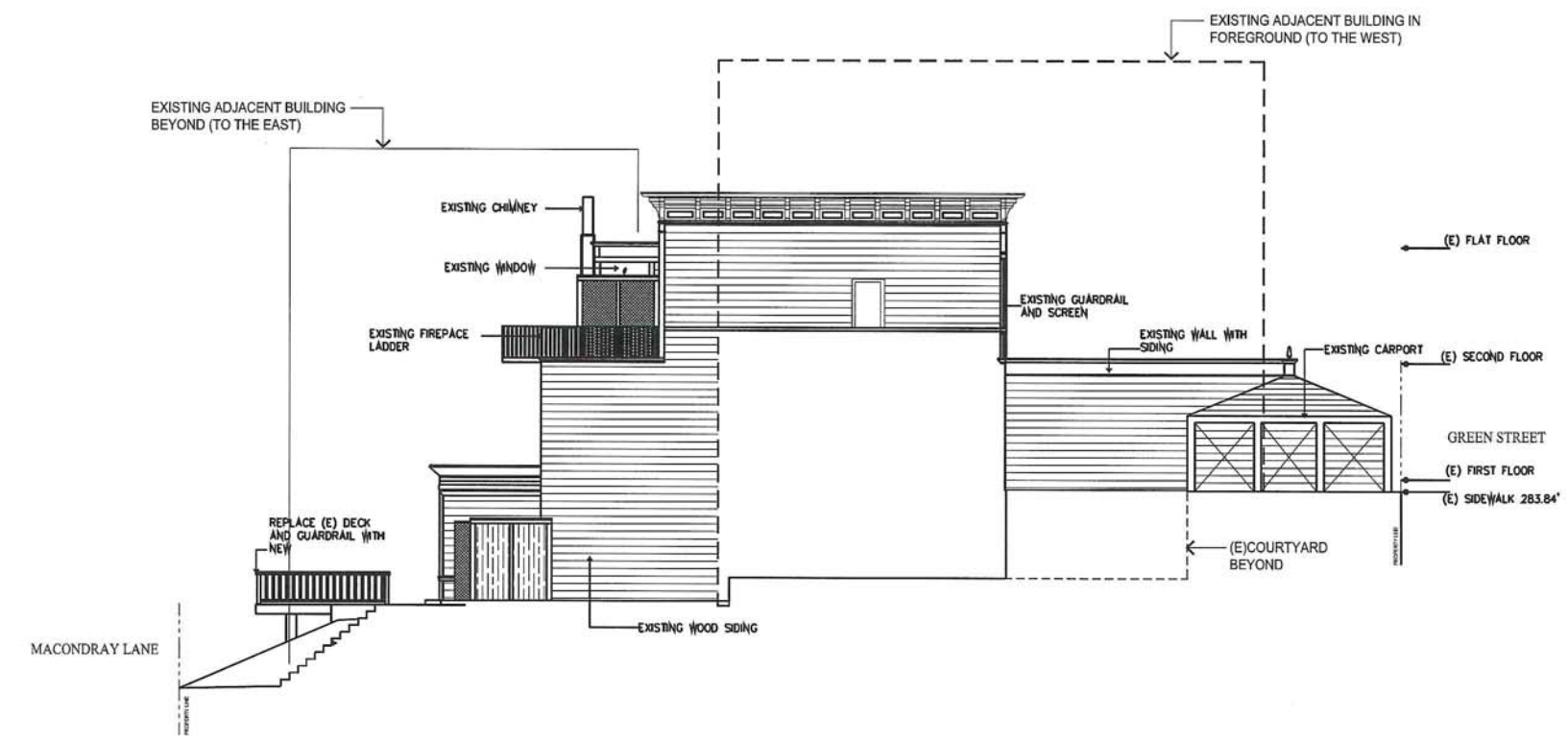
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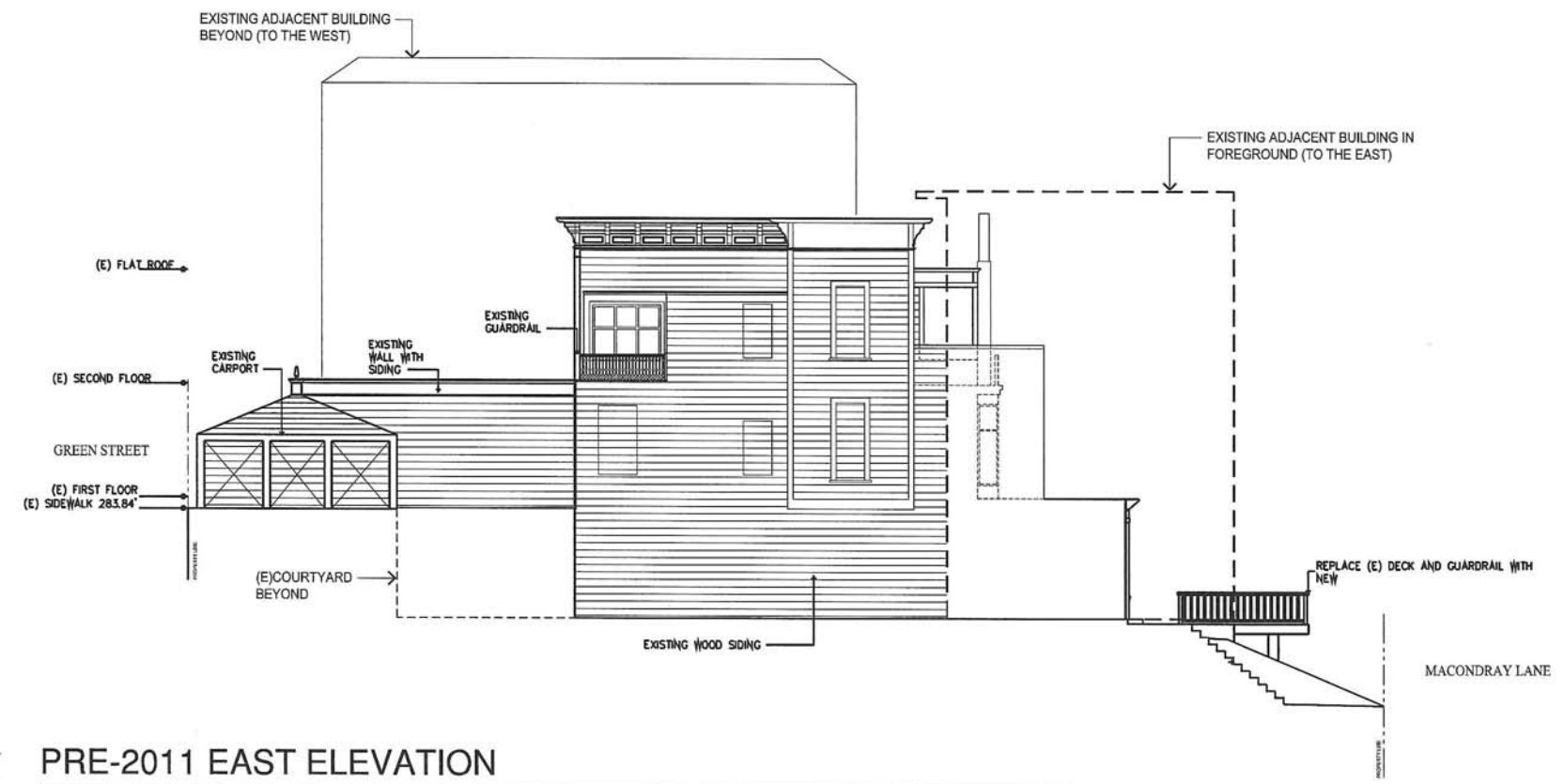
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PRE-2011 WEST ELEVATION

SCALE: 1/8"=1'-0"



PRE-2011 EAST ELEVATION

SCALE: 1/8"=1'-0"

PRE-2011 BUILDING PLANS

Pre-2011 Side Elevations

Scale: 1/8" = 1'-0"

AR.4

982  
Green Street

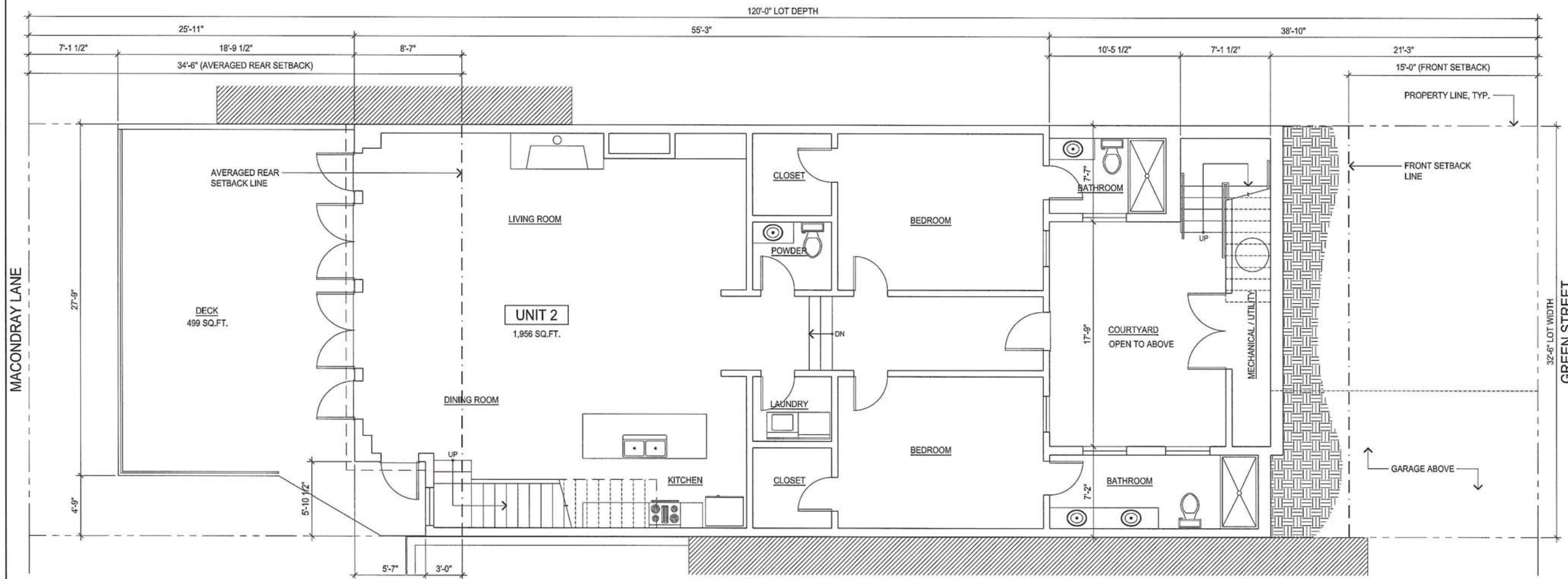
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PROPOSED 2017 - BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



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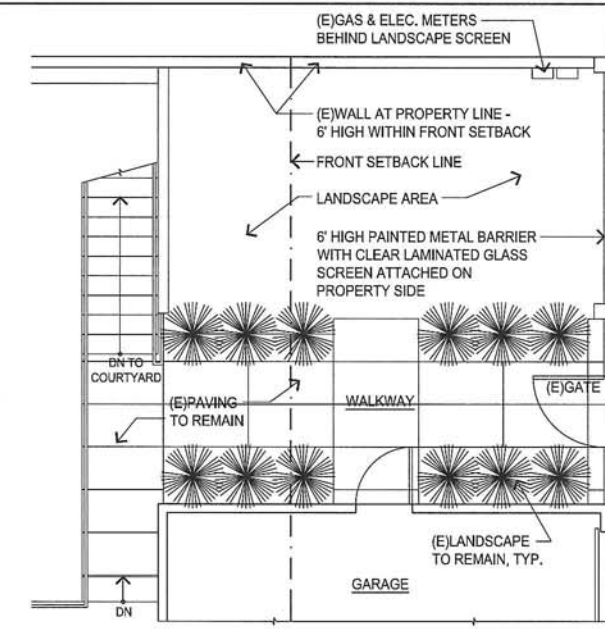
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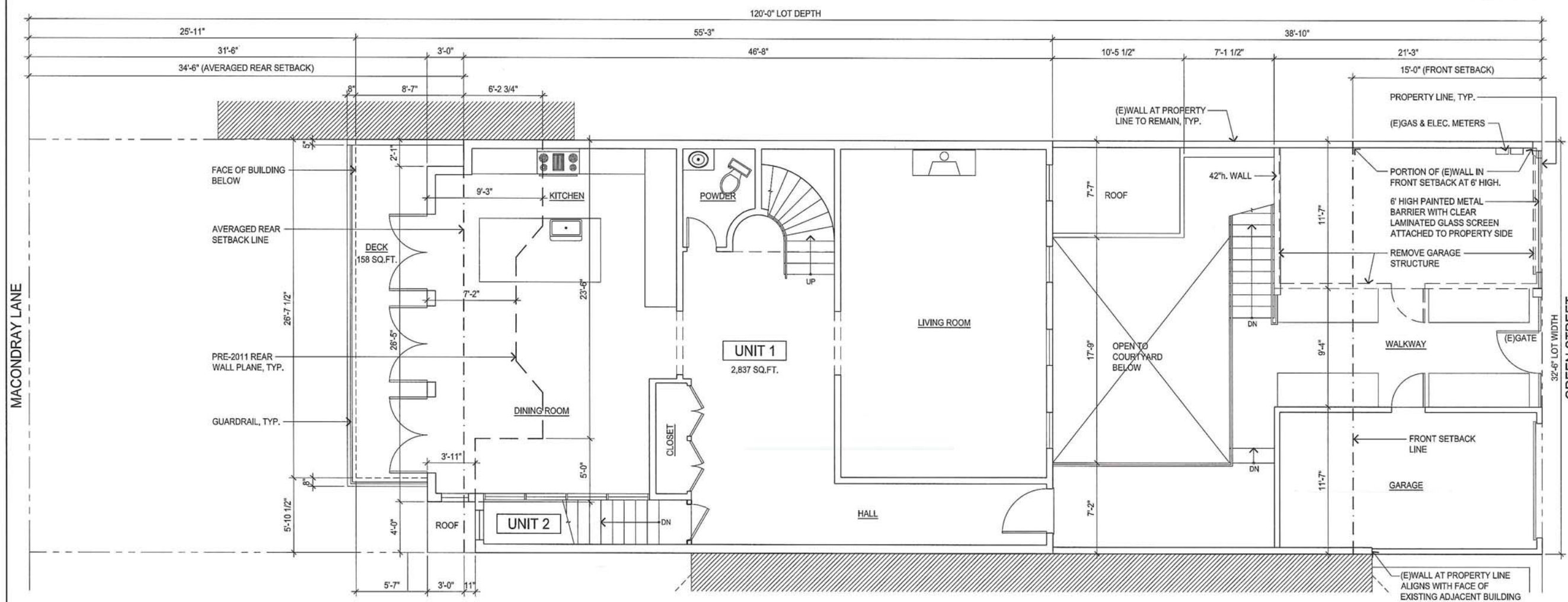
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PROPOSED 2017 - CONCEPTUAL LANDSCAPE PLAN  
SCALE: 1/4" = 1'-0"



PROPOSED 2017 - FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



# 982 Green Street

Residential Remodel  
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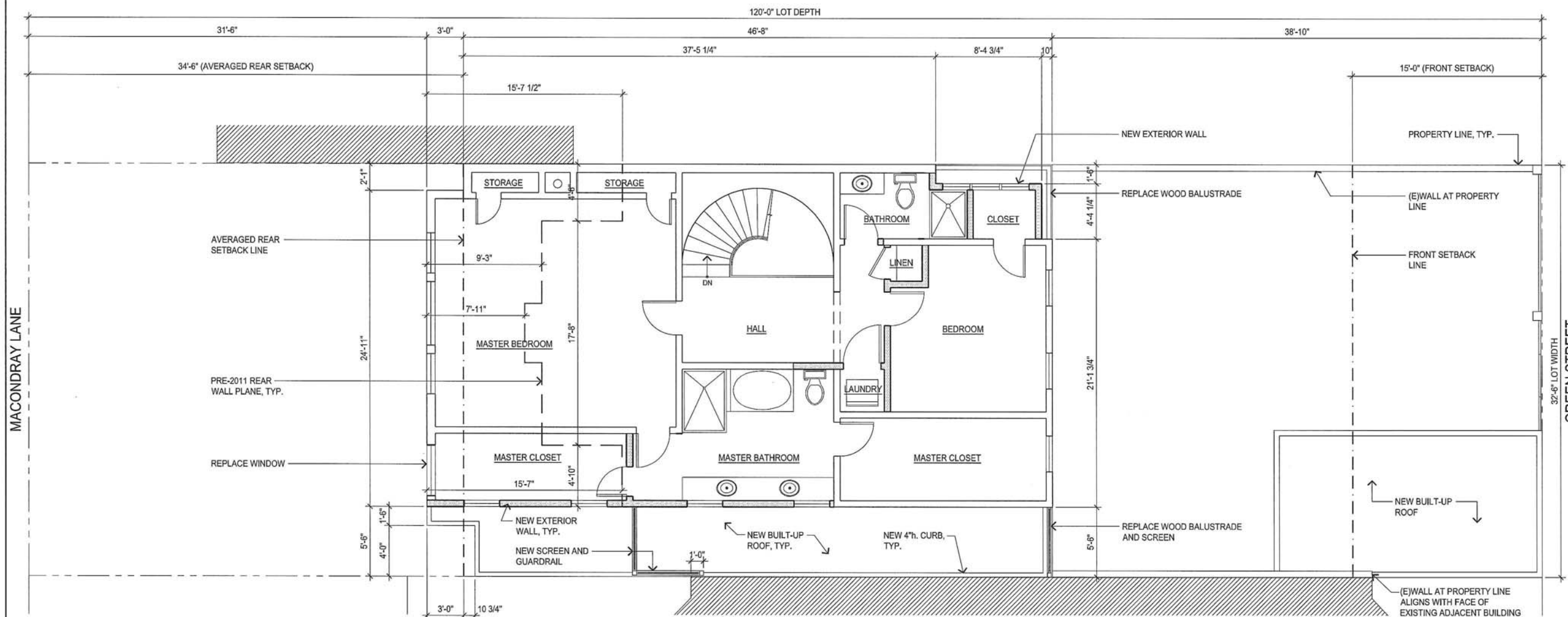
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PROPOSED 2017 - SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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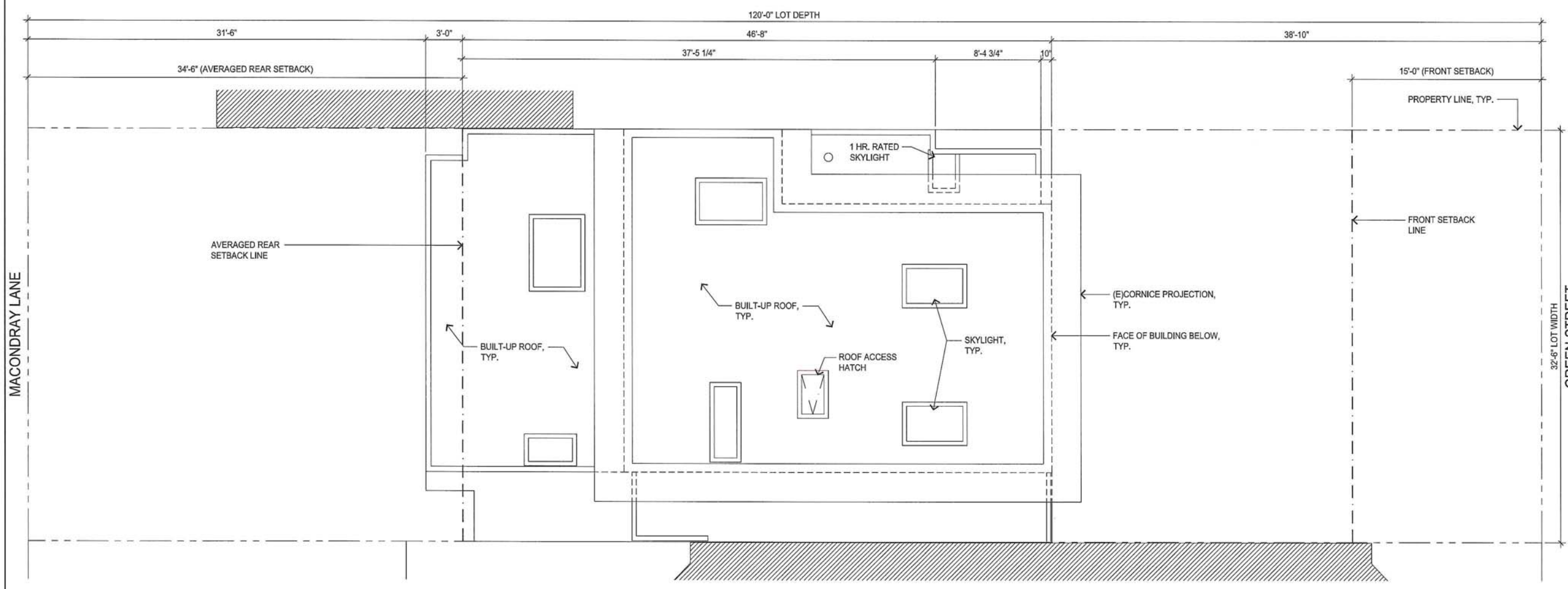
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PROPOSED 2017 - ROOF PLAN

SCALE: 1/4" = 1'-0"



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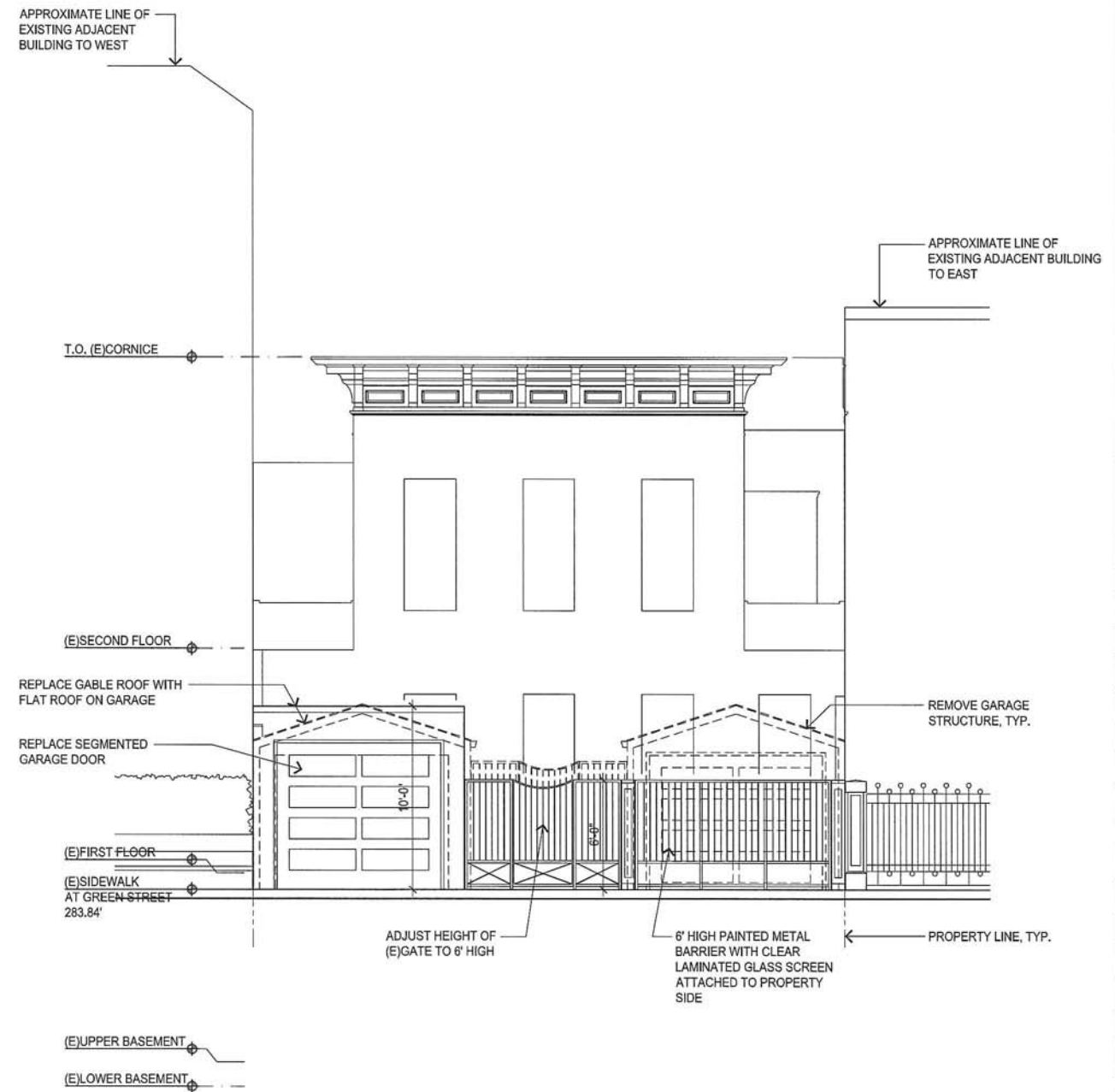
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**PROPOSED 2017 - SOUTH ELEVATION (GREEN STREET)**

SCALE: 1/4" = 1'-0"

Exterior  
Elevation

Scale: 1/4" = 1'-0"



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Green Street

Residential Remodel

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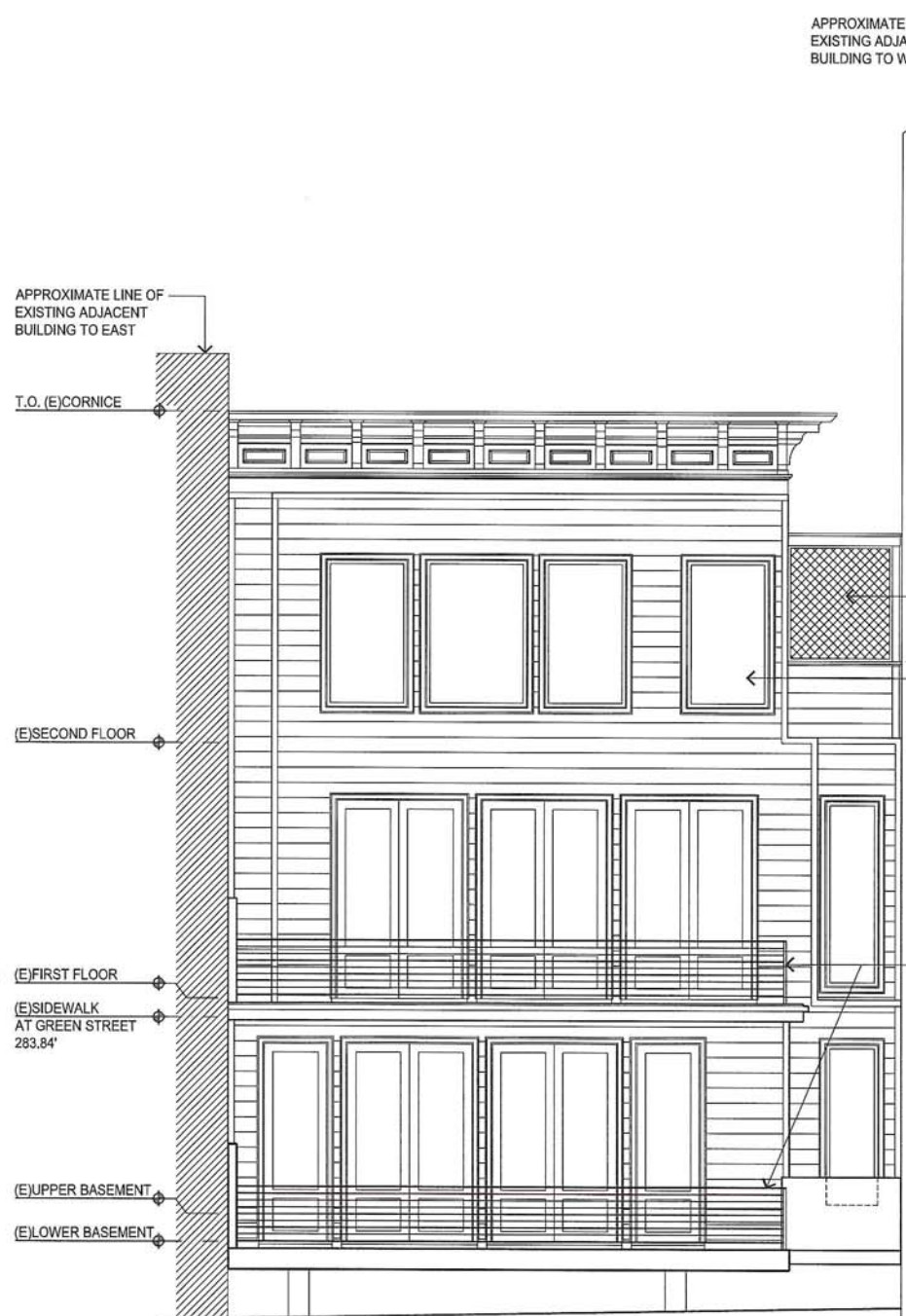
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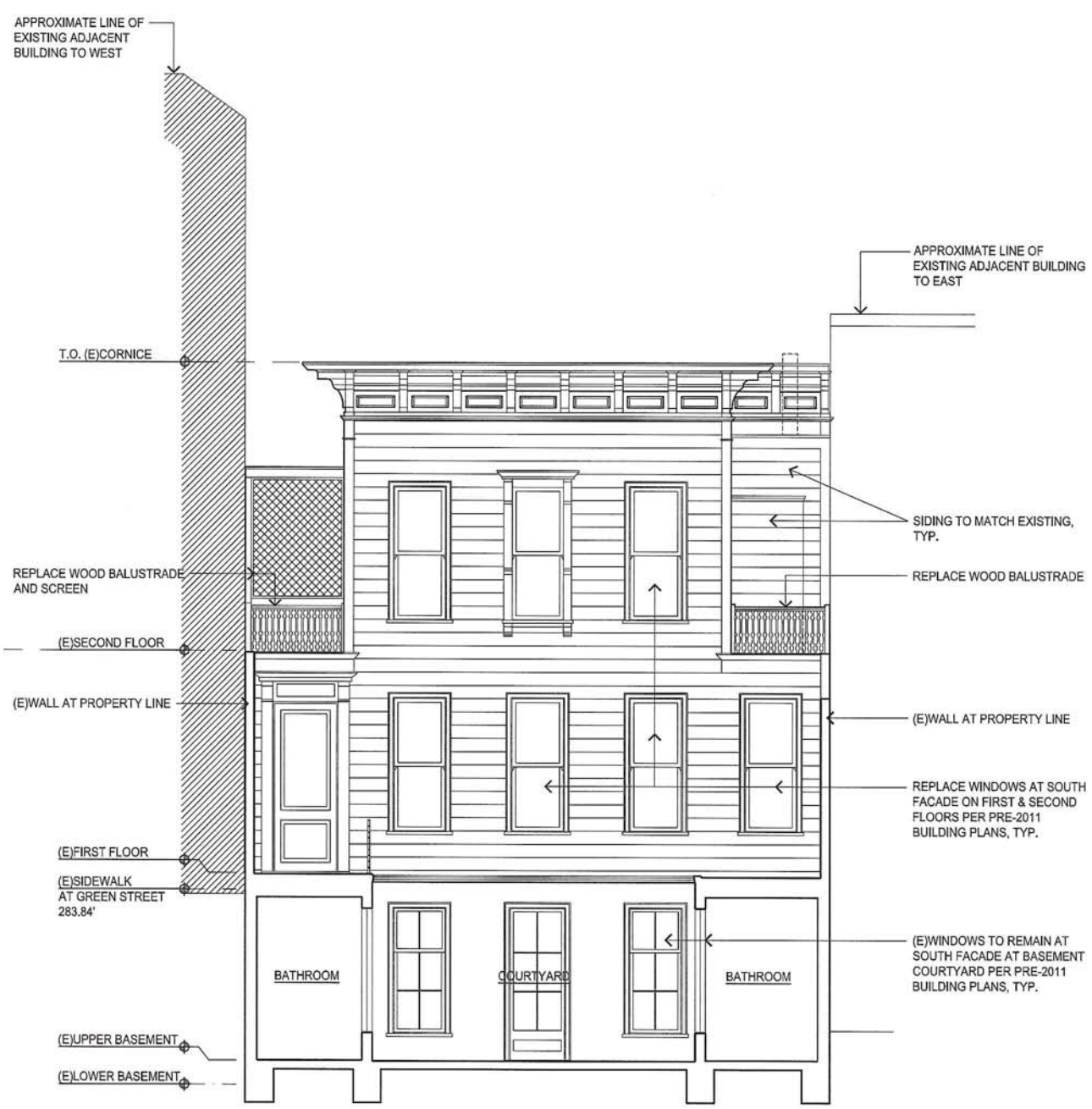
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PROPOSED 2017 - NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED 2017 - SOUTH ELEVATION (GREEN STREET)

SCALE: 1/4" = 1'-0"

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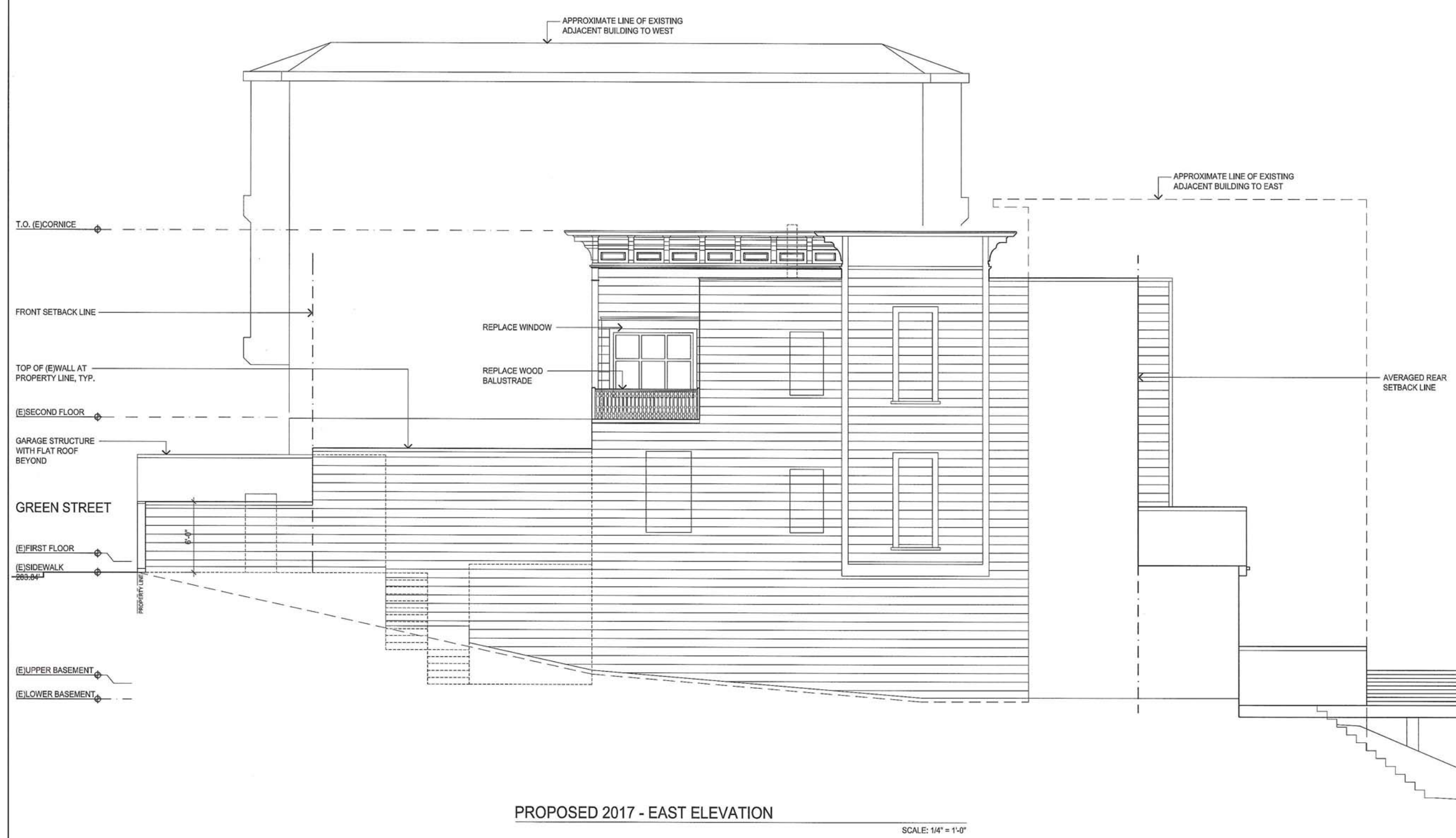
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Project No. 17-016 Date 10.25.17

Revisions

No.	Issue / Date
	ISSUED FOR REVIEW 11.10.17
	ISSUED FOR PLANNING REVIEW 11.13.17
	VARIANCE APPLICATION 12.12.17
	SITE PERMIT 12.18.17
	VARIANCE / SITE PERMIT 01.03.18



PROPOSED 2017 - EAST ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED 2017 BUILDING PLANS

Exterior Elevation

Scale: 1/4" = 1'-0"

A3.3



982  
Green Street

Residential Remodel  
San Francisco • California

**GARY  
GEE  
AIA**

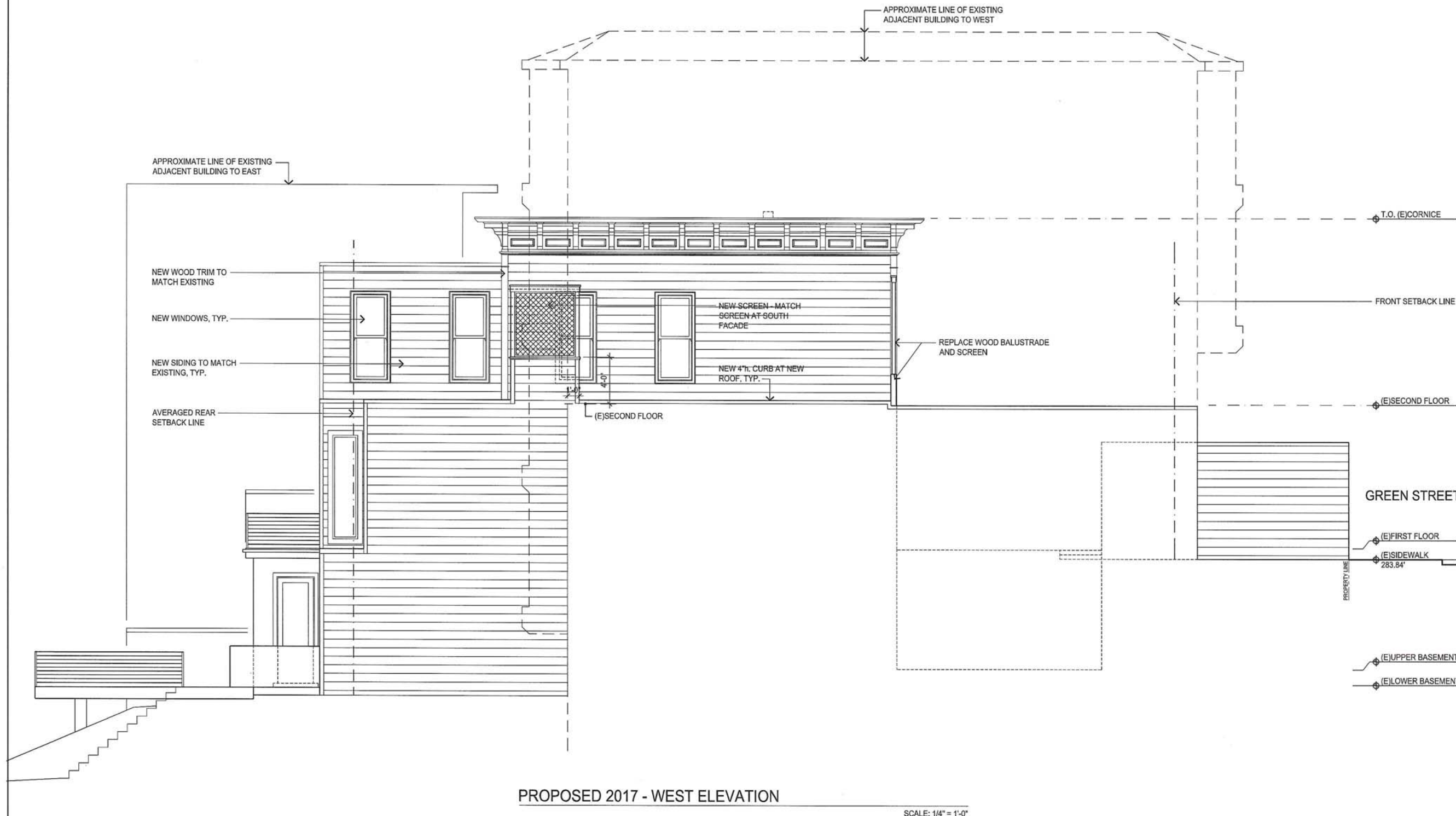
GARY GEE ARCHITECTS, INC.  
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PROPOSED 2017 - WEST ELEVATION  
SCALE: 1/4" = 1'-0"



# 982 Green Street

Residential Remodel  
San Francisco • California

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GEE  
AIA**

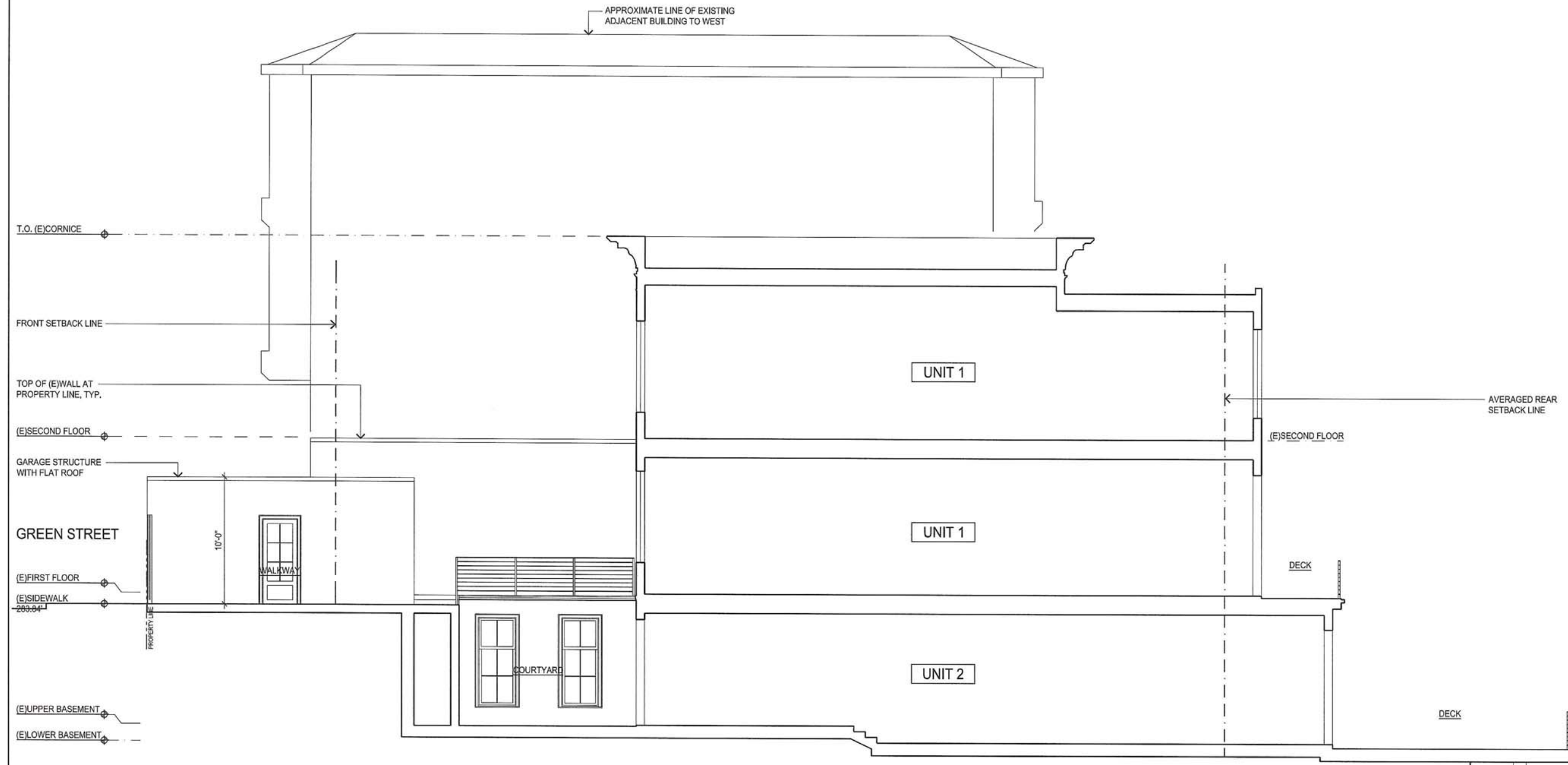
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PROPOSED 2017 - BUILDING SECTION  
SCALE: 1/4" = 1'-0"

Building Section  
Scale: 1/4" = 1'-0"