



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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PROJECT INFORMATION

ADDRESS: 245 PIERCE STREET, SAN FRANCISCO, CA
 A.P.N.: 0846070
 LOT / BLOCK: 0846 / 070
 ZONING: RH-3 (RESIDENTIAL - HOUSE THREE FAMILY)
 TYPE OF CONSTRUCTION: TYPE V-B
 OCCUPANCY CLASSIFICATION: R3
 FIRE SPRINKLERS: NO
 TOTAL LOT SIZE: 2,656 SQ. FT.

	EXISTING	ADDITION	TOTAL
BASEMENT	1,428 SF	0 SF	1,428 SF
SECOND	1,400 SF	0 SF	1,400 SF
THIRD	1,314 SF	0 SF	1,314 SF

	EXISTING	ADDITION	TOTAL
THIRD FLOOR DECK	27 SF	64 SF	91 SF

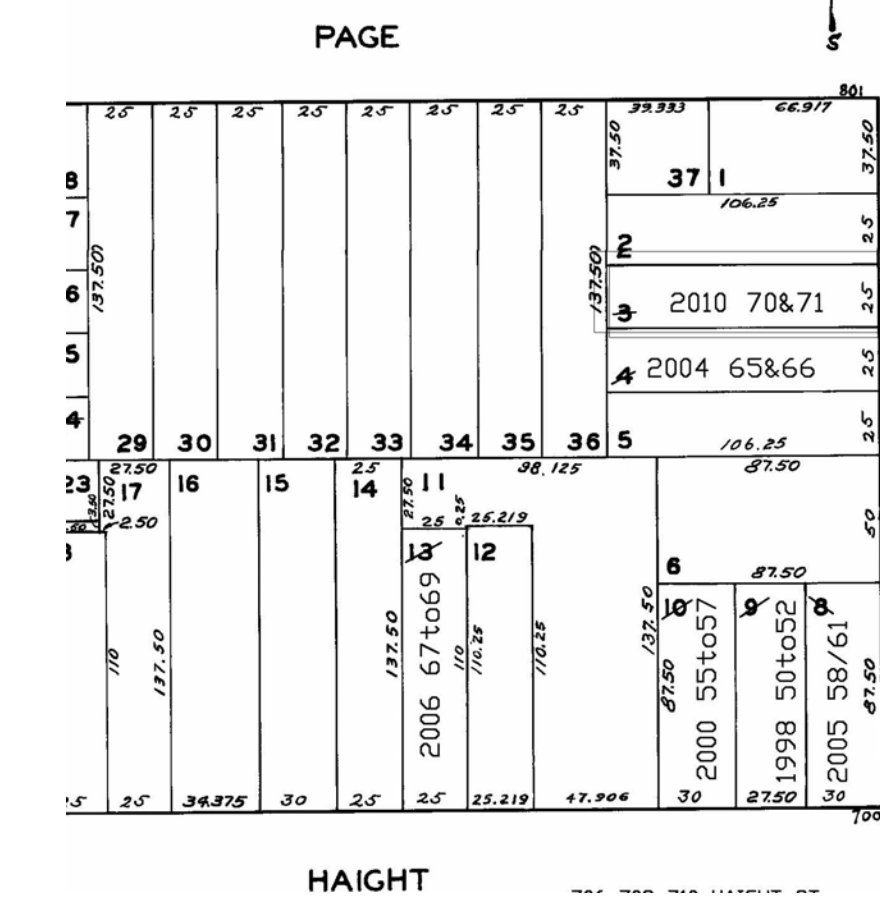
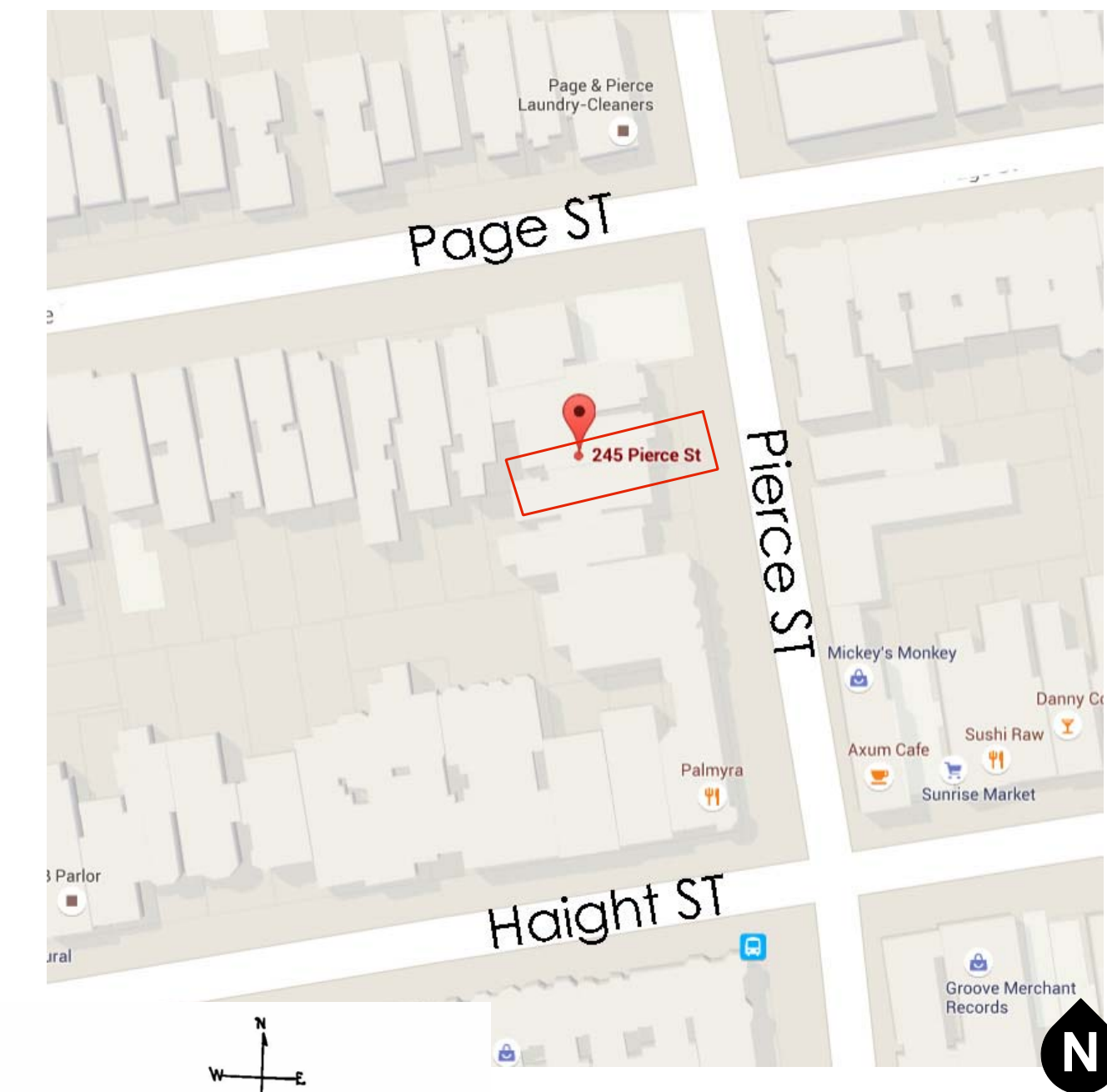
SCOPE OF WORK

FOR VARIANCE APPLICATION
 BUILDING PERMIT 201511041718
 PLANNING PERMIT 2015-018073PRJ
 REAR DECK ADDITION
 EXTEND APPROX 64 SQ. FT. TO EXISTING DECK.
 REPAIR (E) EXTERIOR STAIR.

PROJECT PHOTO



VICINITY MAP



ARCHITECTURAL

- A-0.1 PROJECT INFORMATION, VICINITY MAP AND INDEX OF DRAWINGS
- A-1.0 C-2 GREEN BUILDING: SITE PERMIT SUBMITTAL
- A-1.1 EXISTING SITE PLAN & FLOOR PLANS
- A-1.2 PROPOSE SITE PLAN & FLOOR PLANS
- A-2.1 PROPOSED DECK PLAN
- A-3.1 EXISTING & PROPOSED REAR ELEVATIONS
- A-3.2 EXISTING & PROPOSED LEFT AND RIGHT ELEVATIONS
- A-4.1 PHOTOGRAPHS

APPLICABLE BUILDING CODE

1. 2013 CALIFORNIA BUILDING CODE
2. 2013 CALIFORNIA MECHANICAL CODE
3. 2013 CALIFORNIA PLUMBING CODE
4. 2013 CALIFORNIA ELECTRICAL CODE
5. 2010 CALIFORNIA ENERGY CODE
6. 2013 CALIFORNIA FIRE CODE
7. 2013 SAN FRANCISCO HOUSING CODE

LEGEND

	EXISTING EXTERIOR WALL		SECTION KEY
	EXISTING EXTERIOR WALL TO BE REMOVED		EXTERIOR ELEVATION KEY
	EXISTING INTERIOR WALL		INTERIOR ELEVATION KEY
	EXISTING INTERIOR WALL TO BE REMOVED		DETAIL KEY
	CONCRETE WALL		NOTE KEY
	CONCRETE WALL TO BE REMOVED		DOOR KEY
	NEW EXTERIOR WALL		WINDOW KEY
	NEW EXTERIOR WALL - RATED		REVISION
	NEW INTERIOR WALL		REFERENCE KEY
	NEW INTERIOR WALL - RATED		

OWNER: IAN & MEGAN
 McCONNELL
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 San Francisco, CA 94117
 CELL: 415.963.3343
 CONTACT: KEVIN WONG
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**PROJECT INFORMATION,
 VICINITY MAP AND INDEX OF
 DRAWINGS**

1	DATE	REVISION	BY

PROJECT LOCATION:
 REAR DECK REMODEL
 PROJECT
 245 PIERCE STREET
 SAN FRANCISCO, CA 94117

SHEET TITLE:
**PROJECT
 INFORMATION,
 VICINITY MAP AND
 INDEX OF
 DRAWINGS**

SCALE: AS SHOWN
 DATE: OCT. 31, 2015
 DRAWN BY: JK
 SHEET NO.

A0.1

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PROPOSED DECK PLANS

1	DATE	REVISION	BY

PROJECT LOCATION:
REAR DECK REMODEL
PROJECT
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SAN FRANCISCO, CA 94117

SHEET TITLE:
PROPOSED DECK PLANS

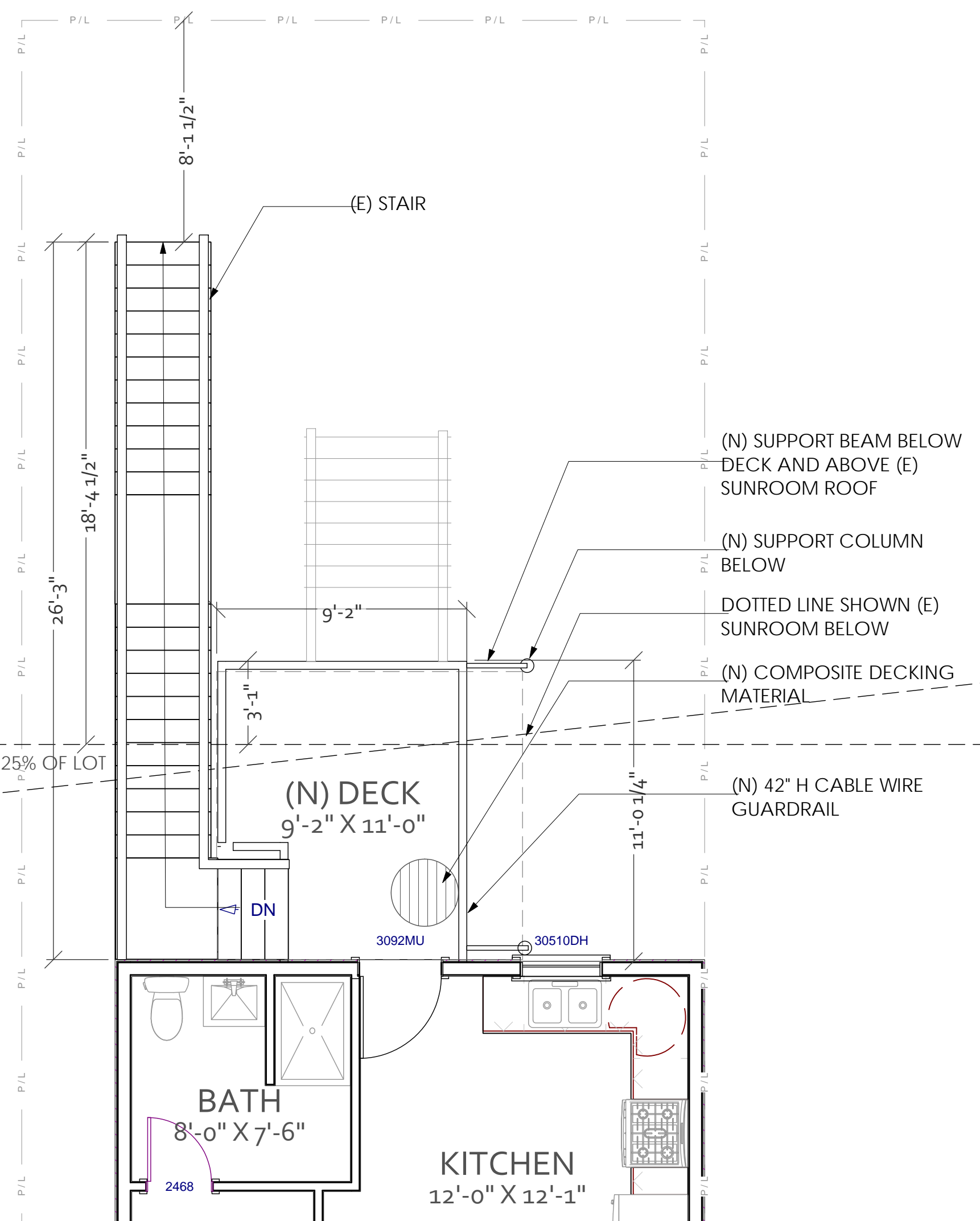
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DATE: OCT. 31, 2015

DRAWN BY: JK

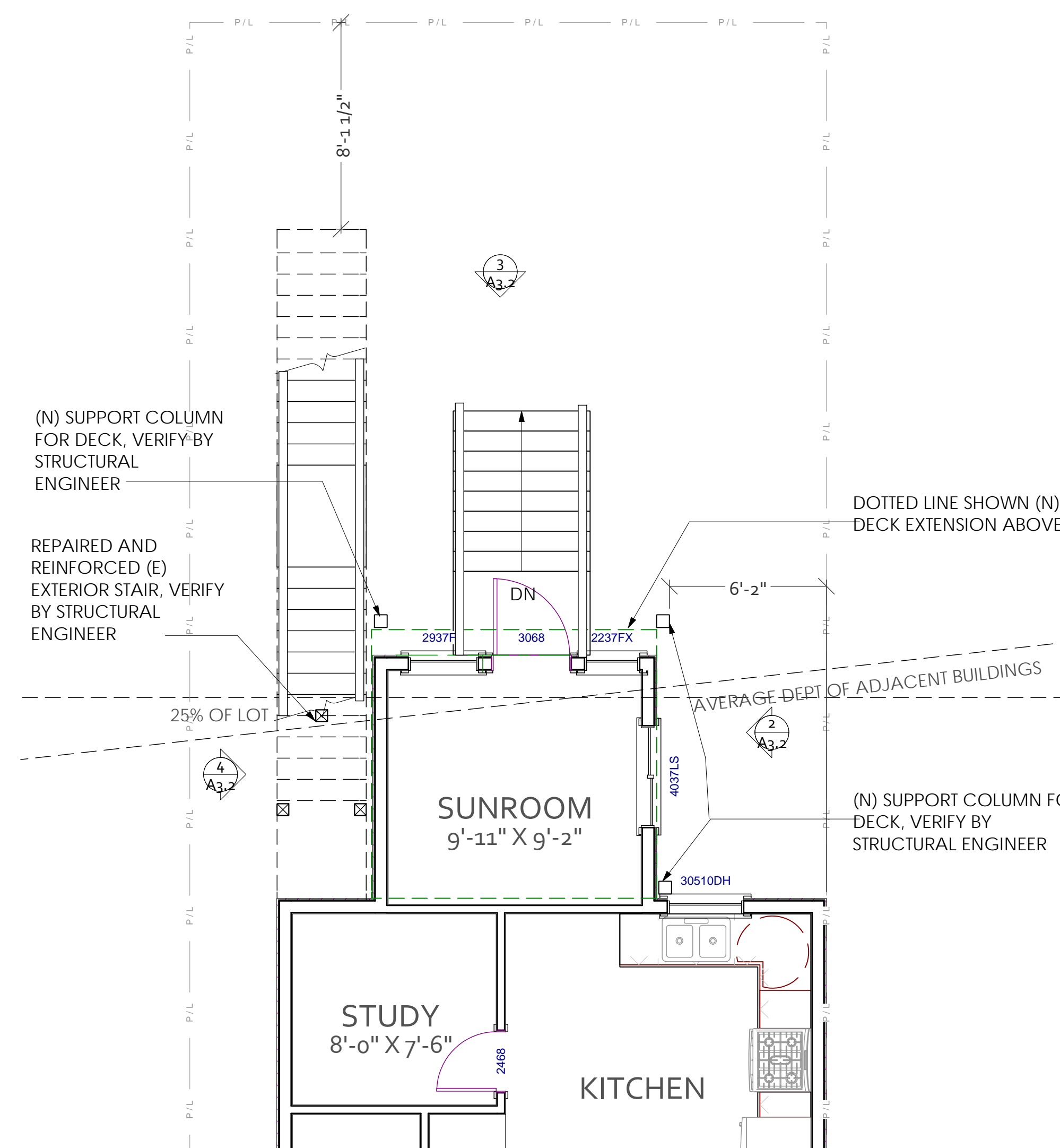
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A2.1



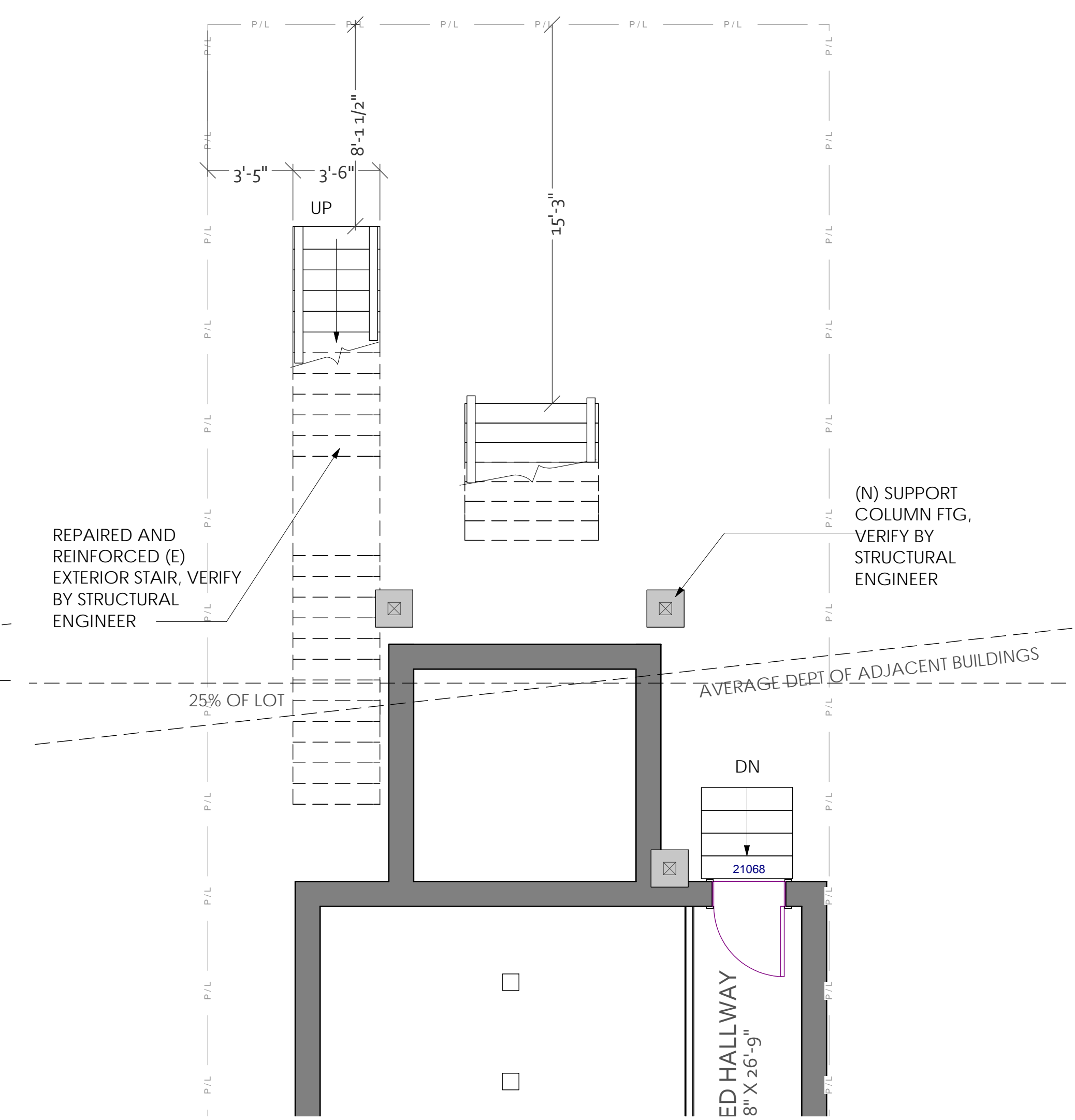
3 PROPOSED THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



1 PROPOSED BASEMENT PLAN

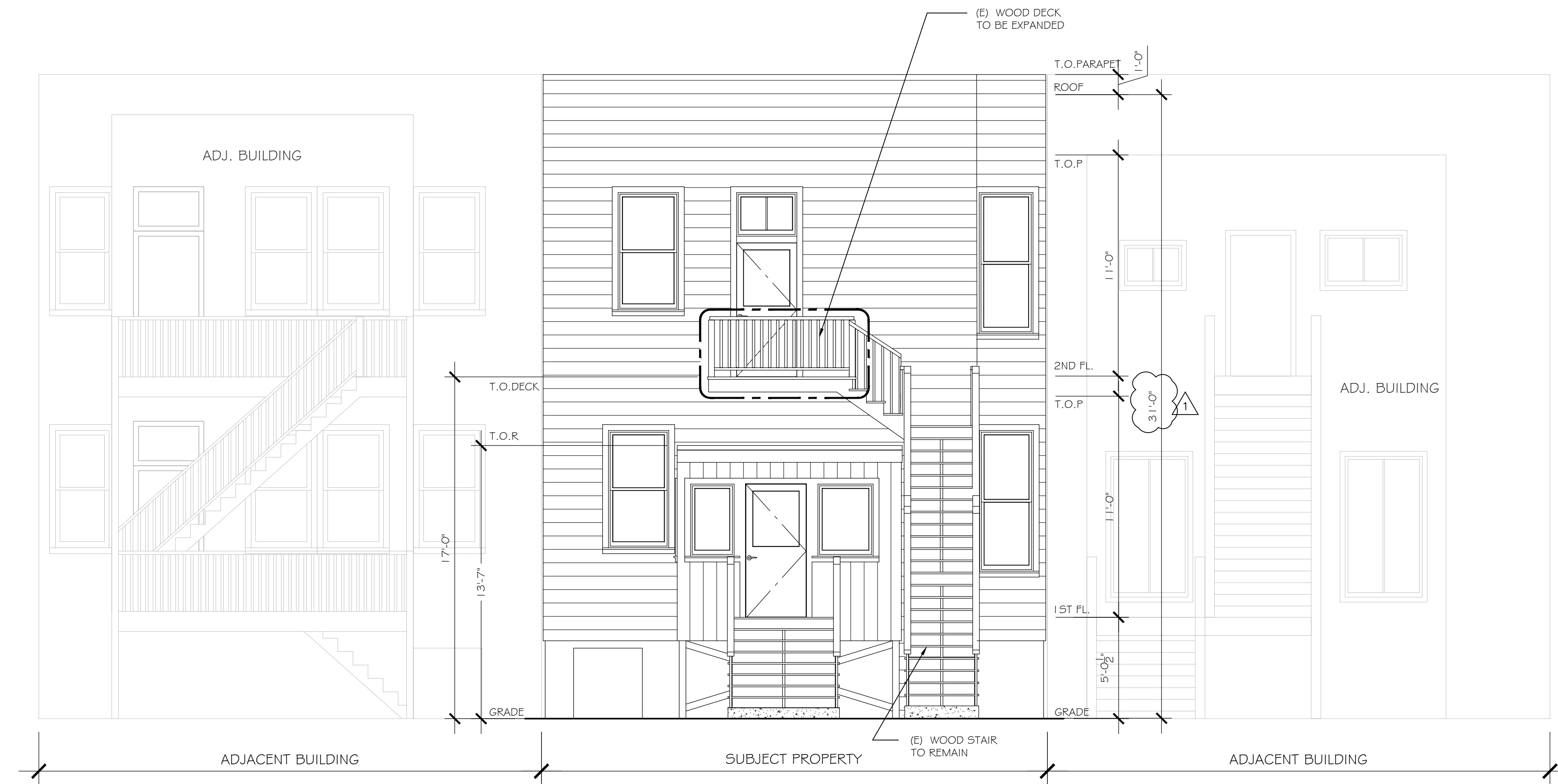
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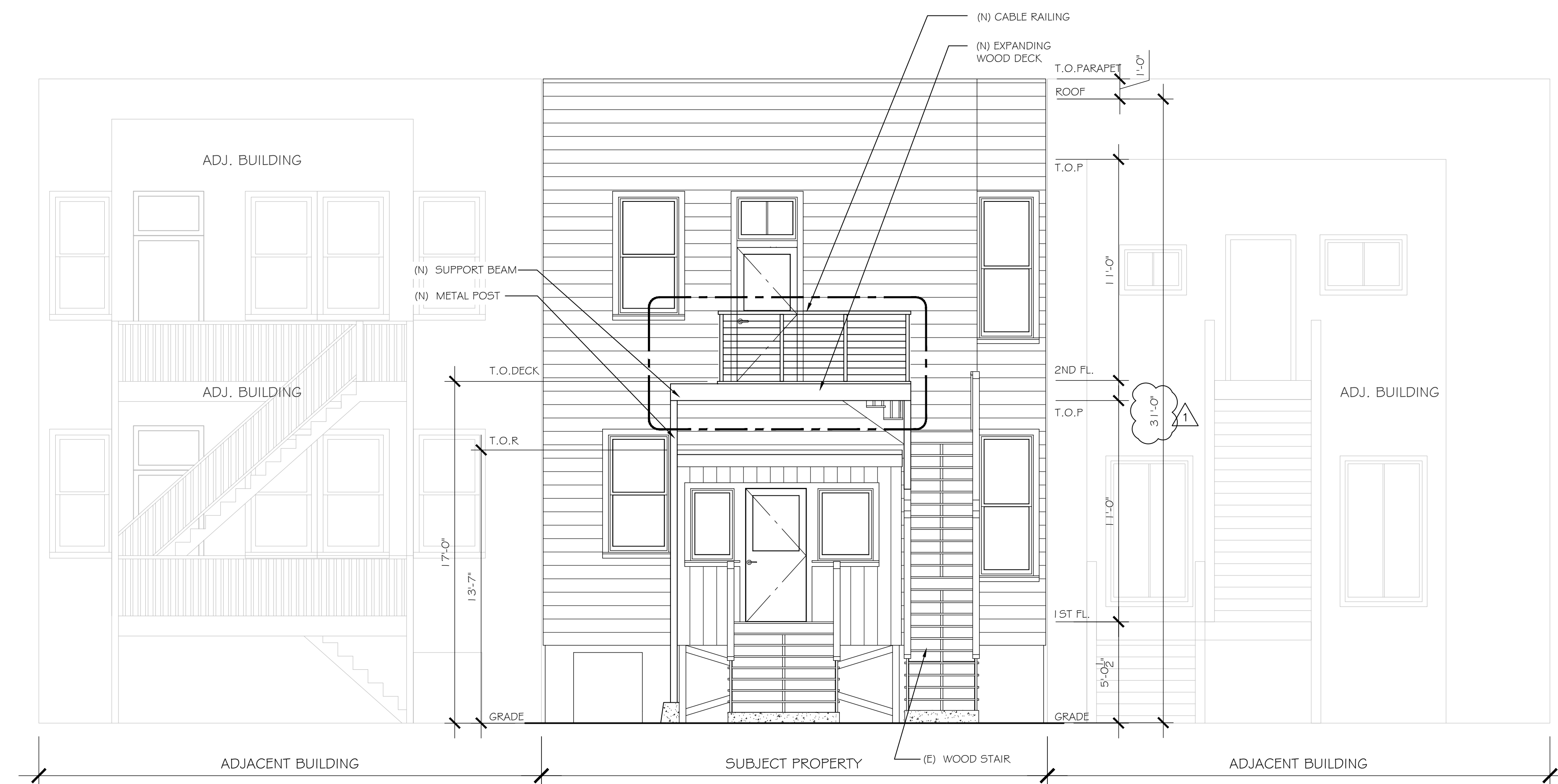
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EXISTING & PROPOSED
 REAR ELEVATIONS



1 EXISTING REAR ELEVATION

Scale: 1/4" = 1'-0"



2 PROPOSED REAR ELEVATION

Scale: 1/4" = 1'-0"

1	DATE	REVISION	BY
1	10/18	PLANNING	J

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SHEET TITLE:
 EXISTING & PROPOSED
 REAR ELEVATIONS

SCALE: AS SHOWN

DATE: SEPT. 8, 2015

DRAWN BY: JK

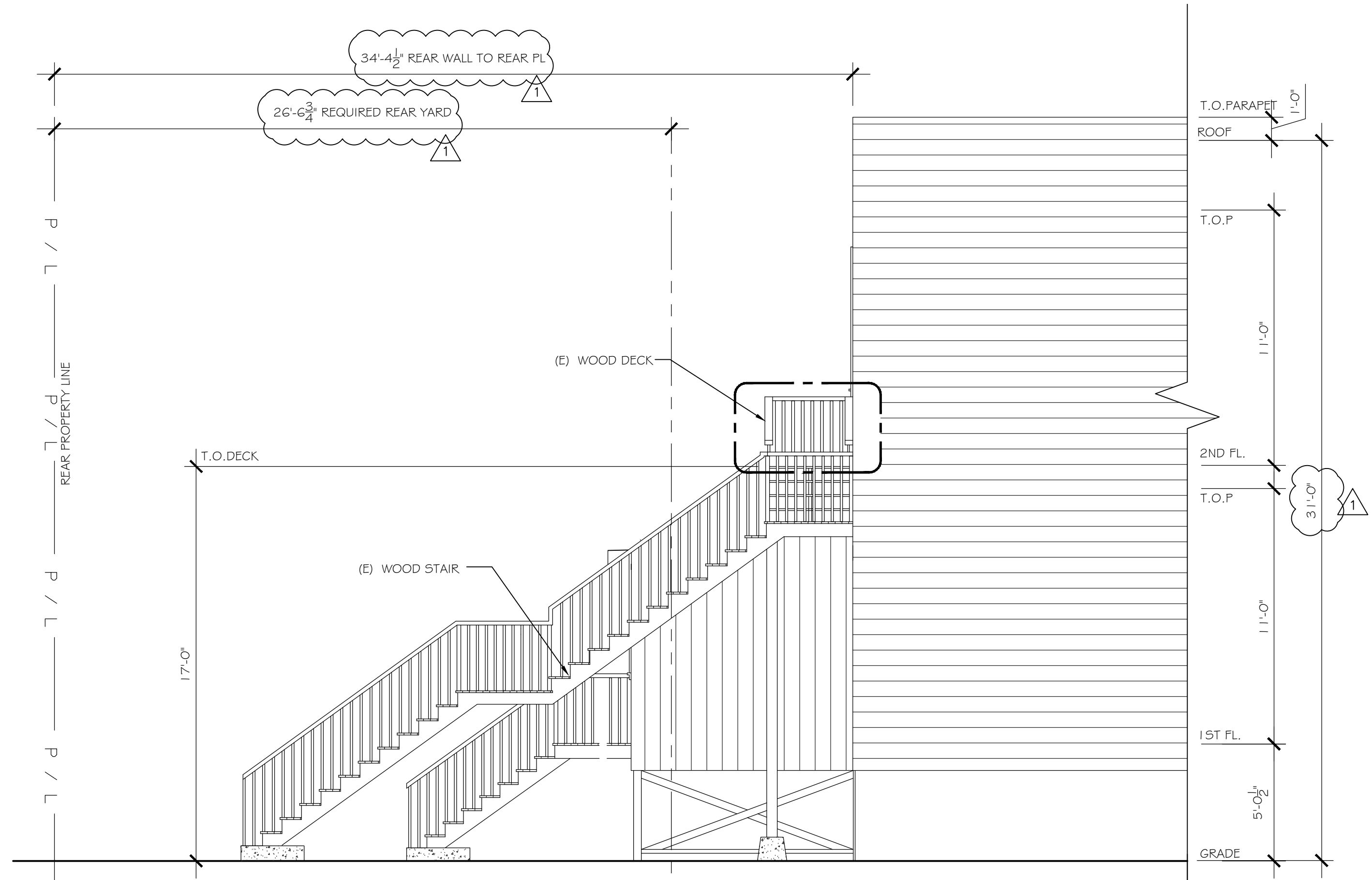
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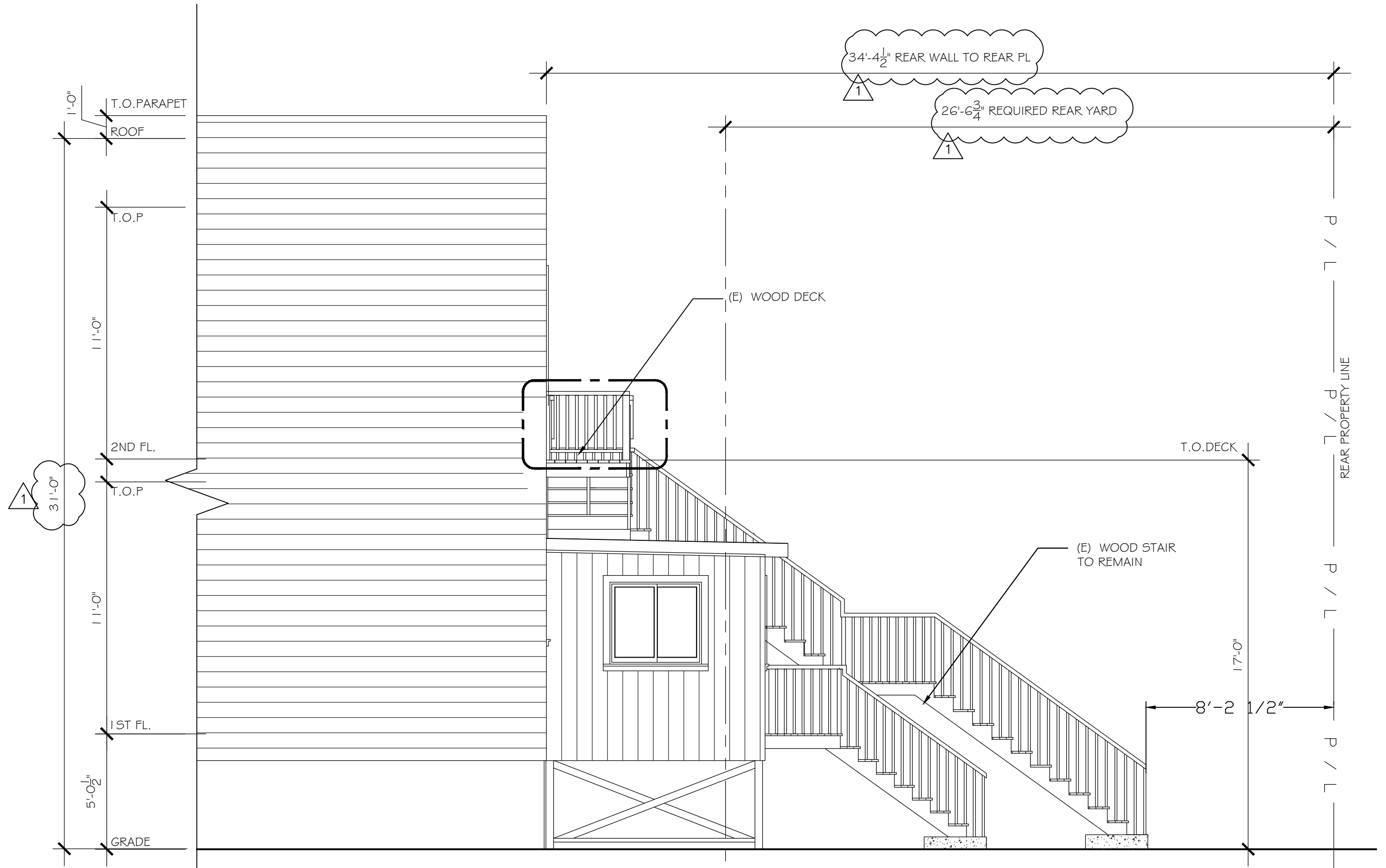
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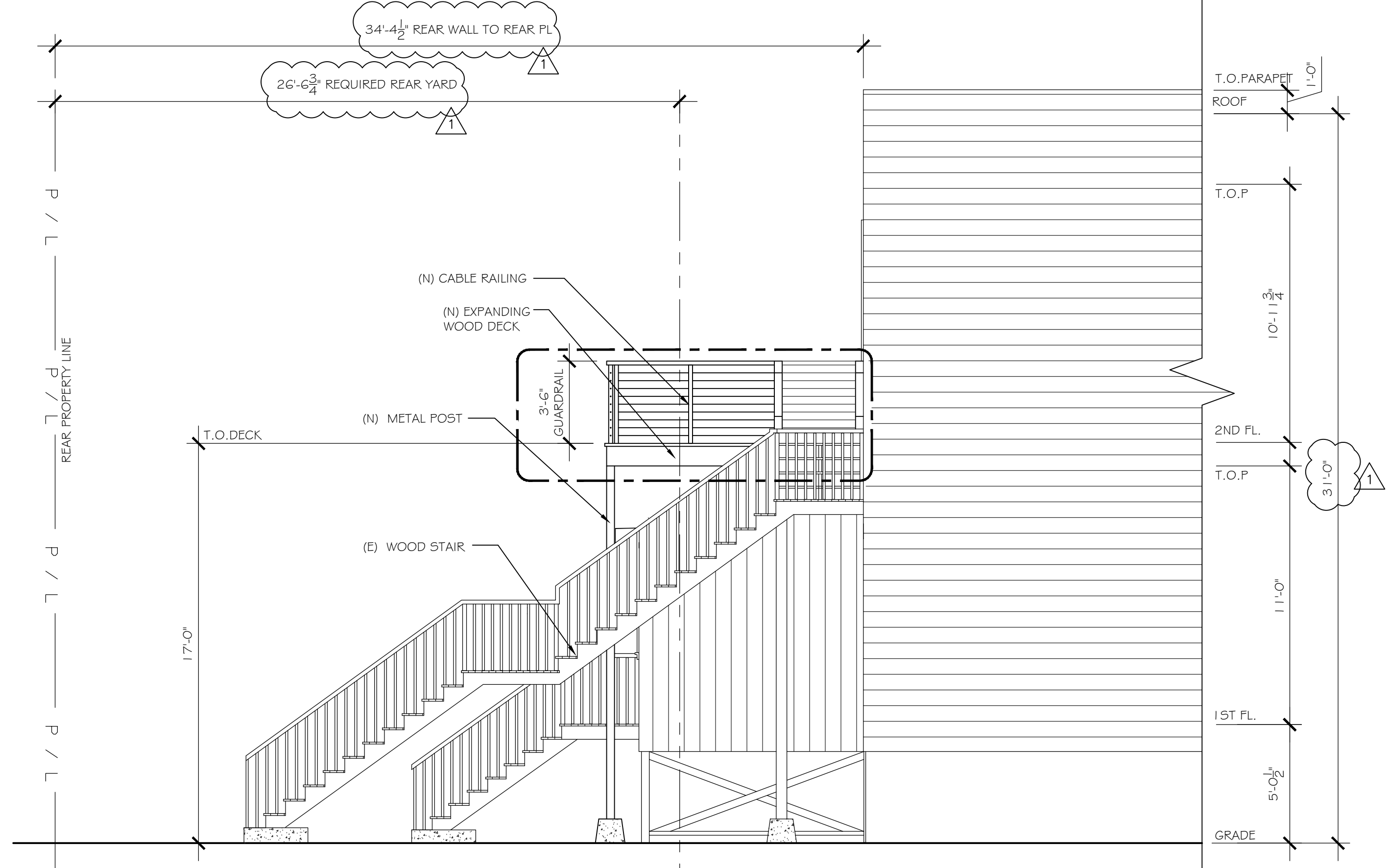
EXISTING & PROPOSED
 LEFT & RIGHT ELEVATIONS



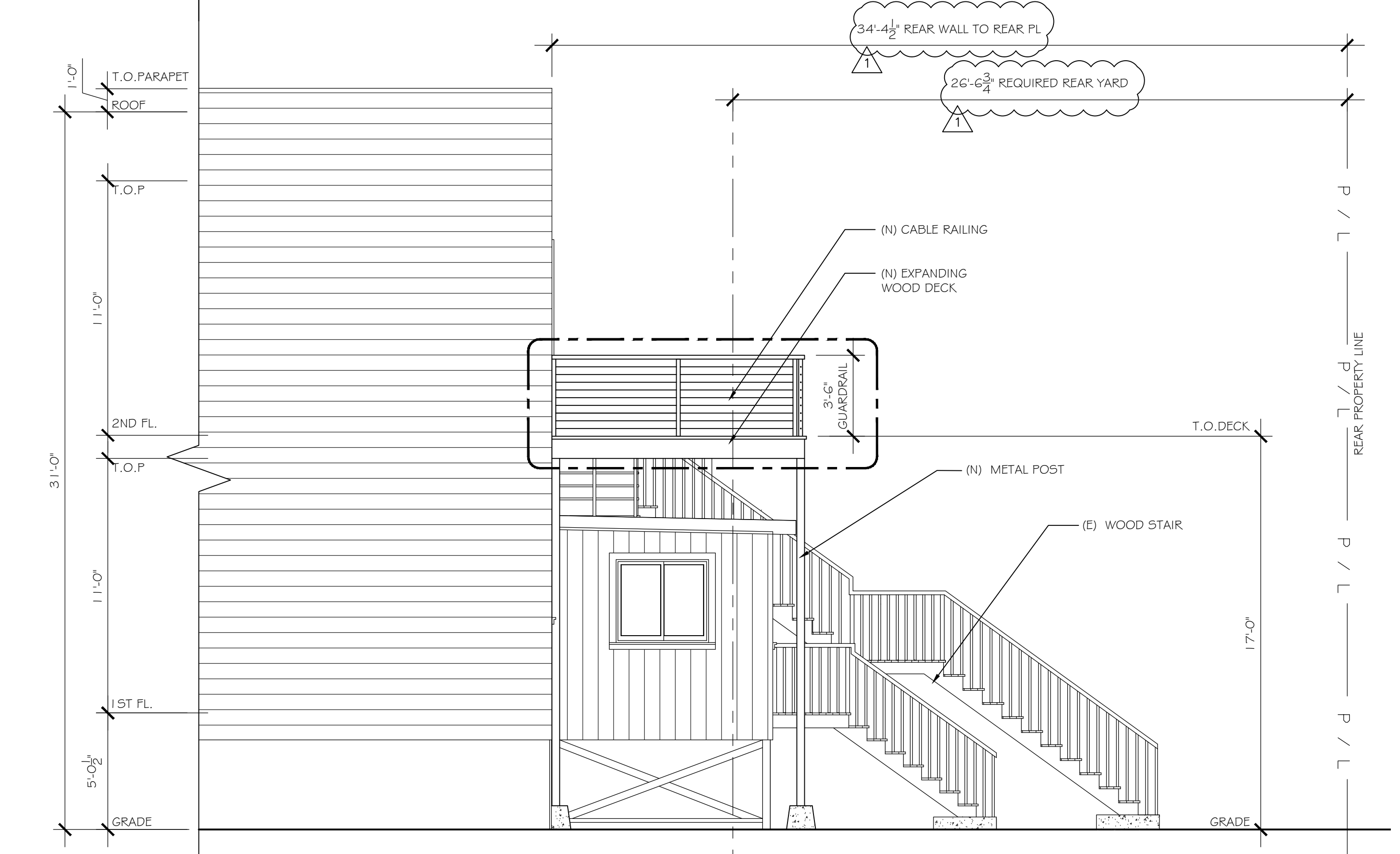
3 EXISTING PARTIAL LEFT ELEVATION
 Scale: 1/4" = 1'-0"



1 EXISTING PARTIAL RIGHT ELEVATION
 Scale: 1/4" = 1'-0"



4 PROPOSED PARTIAL LEFT ELEVATION
 Scale: 1/4" = 1'-0"



2 PROPOSED PARTIAL RIGHT ELEVATION
 Scale: 1/4" = 1'-0"

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10/18	PLANNING	J

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