MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377 NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, July 27, 2016

Time: 9:30 AM

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance(Rear Yard) Hearing Body: Zoning Administrator

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	1218 46th Avenue	Case No.:	2015-016617VAR
Cross Street(s):	Irving Street and Lincoln Way	Building Permit:	201512104720
Block / Lot No.:	1705/041	Applicant/Agent:	Parcel Projects
Zoning District(s):	[RH-2] / [40-X]	Telephone:	(510) 541-6294
Area Plan:	n/a	E-Mail:	erik@parcelprojx.com

PROJECT DESCRIPTION

The proposal is to: (1) renovate the existing single-family home assembled from two 1906 earthquake cottages and reduce the size of a 1937 non-permitted addition at the rear of the cottages, and (2) to demolish and replace the stand-alone, non-earthquake, non-permitted, cottage in the rear yard with a two-story structure connected to the main building by a 5 foot wide hyphen (interior hallway) along southern property line. The proposed rear addition will maintain the existing cottage's 4 foot 1 inch setback along the north side property line. However, the existing 2 foot 10 inch setback along the south side property line and the 2 foot setback along the rear (east) property line would be in-filled.

PER SECTION 134 OF THE PLANNING CODE, the subject property is required to maintain a rear yard of 30 feet (25 percent of the total lot depth) located in the central portion of the lot between the two buildings. The proposed hyphen is within the central portion of the lot. Therefore, the project requires a variance from the rear yard requirement of Planning Code Section 134.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Elizabeth Gordon Telephone: 415-575-8728 Mail: Elizabeth.Gordon-

Jonckheer Jonckheer@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://sf-planning.org/ftp/files/notice/2015-016617VAR.pdf

中文詢問請電:558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals** at **(415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at http://upn.sfplanning.org for more information.

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Para información en Español llamar al: 558.6378

GENERAL NOTES

1. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY PORTION OF THE WORK WHICH IS PERFORMED WITHOUT A PERMIT ISSUED BY A REGULATORY AUTHORITY OF THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.

1. THE CONTRACTOR ASSUMED ASSUME AGENCIES, ISSUED ON REFERENCES, THIS SHEET.

2. AND REGULATIONS OF ALL GOVERNING AGENCIES, ISSUE CODE REFERENCES, THIS SHEET.

3. THE CONTRACTOR AS SUBCONTRACTORS SHALL PURCHASE A MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY AS PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW, THE CERTIFICATES SHALL NAME THE OWNER AS ADDITIONALLY INSURED.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS CONNECTION WITH THE WORK INCLUDING BUT NOT LIMITED TO THE PROTECTION OF PEDESTRIANS & ADJACENT PROPERTIES.

5. THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AT CONTRACT DOUBLING. TO THE PROTECTION OF THE PROTECTIO

FURNISHING TO THE DESIGNER UPON REQUEST THE SIGNED RELEASES FROM SUCH INDIVIDUALS OR COMPANIES.

7. DARMINGS BE SPECIFICATIONS AFER INTENDED FOR ASSISTANCE & GUIDANCE BUT EXACT DIMENSIONS & ELEVATIONS SHALL

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS & DIMENSIONS FOR A COURACY SE FOR CONFIRMING THAT THE PROJECT IS BUILDIABLE AS SHOWN BEFORE PROCEEDING WITH THE CONSTRUCTION.

1F THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR SHALL SHAPE AND ADDRESSED AS THE CONTRACTOR SHALL SHAPE AND ADDRESSED AND ADDRESSED AS THE CONTRACTOR SHALL SHAPE AND ADDRESSED AND ADDRESSED

WITH THE WORK. B. COMMENCEMENT OF WORK BY ANY TRADE SHALL CONSTITUTE AGREEMENT THAT CONDITIONS ARE ACCEPTABLE FOR SUCH

OF THE CONTRACT.

11. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION. FAILURE TO GETAIN AUTHORIZATION FROM THE OWNERS REPRESENTATIVE WILL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.

12. SHOP A FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN. & WORKERS SKILLED & EXPERIENCED IN THE FABRICATION & INSTALLATION OF THE WORK INVOLVED. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST.

PABRICATION A INSTALLARION OF THE INDUSTRY STANDARD FOR THE TRADES INVOLVED U.O.N. IN DRAWINGS OR SPECIFICATIONS.

13. ALL FURNISHED MATERIALS SHALL BE NEW, UNUSED & OF THE HIGHEST QUALITY IN EVERY RESPECT FOR THE WORK IN QUESTION.

14. CONTRACTOR SHALL INSTALL PRODUCTS & APPLY FINISHES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS & PROCEEDINGS IN UNIFERS DESCRIPTIONS OF THE WORK IN QUESTION.

QUESTION.

10 CONTRACTOR SHALL INSTALL PRODUCTS A APPLY FINISHES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS & 14 CONTRACTOR SHALL INSTALL PRODUCTS A APPLY FINISHES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS & 14 CONTRACT SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS OR, WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES FOR SUCH PORTION OF THE WORK.

16. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE THE DESIGNERS FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION.

REPLACEMENT OF DEFECTIVE WORK SHALL NOT BE LIMITED TO THE PROJECT WARRANTY PERIOD. SUCH WORK SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONSTRUCTION CONTRACT. NO PAYMENT EITHER PARTIAL OR PINAL SHALL BE CONSTRUCTED A COCCEPT OF DEFECTIVE WORK OR MIPPORE MILE PROPRIETE AND APPLIED OF THE CONTRACT OF THE CONSTRUCTION.

10 COMMON USAGE OF THE CONTRACT OF TH

IN THE CHAWINGHIS ASPECIFICATIONS ARE COMPLEMENTARY, EVERY EFFORT HAS BEEN MADE TO COORDINATE THE DRAWINGS AS PECIFICATIONS OF THE DESIGNER AT HE CONSULTING SMORERS, IT IS INTENDED THAT THE CONTRACTOR REVOKE AS A PECIFICATIONS OF THE DESIGNER AT HE CONSULTING SMORERS, IT IS INTENDED THAT THE CONTRACTOR REVOKE AS A PROVIDE AS A PROPERTY OF MISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES INFLICED THAT THE SEPECIFICALLY NOTED ANY THEM, INSTRUCTION, ETC., SHOWN IN ONE LOCATION SHALL BE REQUIRED AS IF SHOWN ON ALL APPLICABLE LOCATIONS. IN CASE OF DISCREPANCY, CONSULT WITH DESIGNER BEFORE PROCEEDING.

19. WHEN PORTIONS OF THE PROJECT ARE PERFORMED BY THE CONTRACTOR ON A "DESIGNABULD" BASIS, THE CONTRACTOR SHALL BE SULLY RESPONSIBLE FOR THE DESIGN OF SUCH SYSTEMS. SEYSTEMS A FOR THE SECURING OF ALL ASSOCIATED PERMITS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORDINATION OF THE DESIGN BUILD SUBDONTRACTORS, WIND SHALL BE THE REMINERS OF RECORD FOR SUCH SYSTEMS. DESIGN BUILD WAS NOW TRACTORS, WIND SHALL BE THE REMINERS OF RECORD FOR SUCH SYSTEMS. DESIGN BUILD GAVINGS SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW A APPROVAL LON.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN BUILD SWINGS SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW A PROVINCE AND SHALL BE THE CONTRACTOR SHALL BE CON

3 IOAE ROBBIST ON 3 ITE. 22. WHEN WORK IS PERFORMED WITHIN OCCUPIED BUILDINGS, THE CONTRACTOR SHALL EMPLOY ALL AVAILABLE TECHNIQUES FOR NOISE ABATEMENT, INCLUDING BUT NOT LIMITED TO MUFFLERED AIR COMPRESSORS & NOISE SUPPRESSED PNEUMATIC & ELECTRIC TOOLS.
23. WHEN THE OWNER OCCUPIES THE PREMISES DURING CONSTRUCTION, THE CONTRACTOR & HIS FORCES SHALL

ELECTRIC TOOLS.

2.3 WHEN THE OWNER OCCUPIES THE PREMISES DURING CONSTRUCTION, THE CONTRACTOR & HIS FORCES SHALL ENDEADOR TO DISTURB THE OWNER AS LITTLE AS POSSIBLE DURING CONSTRUCTION, AREAS WHERE CONSTRUCTION ACTIVITY IS TANING PLACE SHALL BE SEALED OFF FROM MOINSTRURGED PORTIONS. A CLEAN, SAFE ENTRY PATH SHALL BE MAINTAINED AT 24. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING FINISHES IN THE ELEVATOR LOBBY, PUBLIC CORRIDORS & PSPACES, EXTERORS GLAZING & SITE FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGES CAUSED THEREIN BY HE OR HIS SUBCONTRACTORS.

2.5 THE CONTRACTOR SHALL PREPARE & SUBMIT A CONSTRUCTION SCHEDULE FOR THE WORK GIVING APPROXIMATE ON SITE DELIVERY DATES FOR CONSTRUCTION MATERIALS. THE SCHEDULE SHALL BE SUBMITED AS PART OF THE BID. THIS SCHEDULE WITH NECESSARY MODIFICATIONS AS MUTUALLY AGREEABLE TO OWNER & CONTRACTOR SHALL BECOME PART OF THE CONTRACT FOR CONSTRUCTION SUBSTITUTIONS BASED UPON DELIVERY DATES OF SPECIFIED PRODUCTS WILL NOT BE ACCEPTED A THE CONTRACT OF THE MICH. THE CONTRACT FOR CONSTRUCTION HAS COMMENCED.

2.6 THE WORK SHALL INCLUDE THE PROVISION OF MUETER INSTALLATION OF THE WORK AS NIDICATED HEREIN ON THE CONSTRUCTION DOCUMENTS. ALL WORK LISTED, SHOWN ON FOR MELTER INSTALLATION OF CONSTRUCTION DOCUMENTS. ALL WORK LISTED, SHOWN OR MIPHIED ON ANY CONSTRUCTION DOCUMENTS. ALL WORK LISTED, SHOWN OR MIPHIED ON THE WORK AS NIDICATED HEREIN ON THE CONSTRUCTION DOCUMENTS. ALL WORK LISTED, SHOWN OR MIPHIED ON THE SERVER. CONTRACTOR SHALL BE SUPPLIED & INSTALLED BY THE GENERAL CONTRACTOR SHALL BE SUPPLIED & MORN OR THE HIS WORK WITH THAT OF OTHER CONTRACTORS ON EVENORS FOR SOME SENERAL CONTRACTOR SHALL BE SUPPLIED & MORN ORD ON STRUCTION OCCUMENTS THAT THAT OF CONTRACTORS ON SEVENORS TO ASSINE THAT ALL SCHEDULES ARE MET A THAT ALL ALL WORK IS DONE IN CONFORMANCE WITH THE CONTRACTOR ON CONSTRUCTION ON SAMECTED.

CONSTRUCTION.
29. THE GENERAL CONTRACTOR SHALL HAVE A SUPERINTENDENT AT THE JOB SITE WHENEVER ANY WORK IS BEING

29. THE GENERAL CONTRACTOR SHALL HAVE A SUPERINTENDENT AT THE JOB SITE WHENEVER ANY WORK IS BEING PERFORNED, IN ORDER TO PROVIDE CONSTANT SUPERVISION.

30. THE CONTRACTOR SHALL PREPARE, REVIEW, APPROVE, & SUBMIT TO THE DESIGNER ALL SHOP DRAWINGS. THE CONTRACTOR SHALL PREPARE, REVIEW, APPROVE, & SUBMIT TO THE DESIGNER ALL SHOP DRAWINGS. THE CONTRACTOR SHALL PREPARE OF THE PRODUCT DATA & SAMPLES & VERIEY THAT ALL MATERIALS, RIFLE DEAL PRODUCT DATA & SAMPLES & VERIEY THAT ALL MATERIALS, RIFLE DESIGNER WILL NOT REVIEW, APPROVE, OR TAKE THE APPROPRIATE ACTION ON SHOP DRAWINGS, PRODUCT DATA & SAMPLES BURSTEN THE ONTRACTOR HAVE SUBMITTALS ON A TIMELY MANNER SO AS NOT TO DELAY THE PROJECT. ALLOW THE DESIGNER ONE WEEK OF REVIEW, APPROVE.

3.1 THE CONTRACTOR HAVE THE RESIGNER OF RESPONSIBILITY FOR AN DEVIATION FROM THE REQUIREMENTS OF THE SHOP DRAWINGS. PRODUCT DATA OF SAMPLES, A OTHER REQUIREMENT OF THE SHOP DRAWINGS MOCKED.

CONTRACT DOCUMENTS BY THE DESIGNERS OR OWNERS REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA OR SAMPLES, UNLESS THE CONTRACTOR HAS SPECIFICALLY MONTHED THE DESIGNER OF SUCH DEVATION IN WRITING AT THE TIME OF UNLESS THE CONTRACTOR HAS SPECIFICALLY MONTH OF THE SHOP OF THE S TO THE DESIGNER FOR APPROVAL.

33. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROVISION OF ALL TEMPORARY SHORING OR OTHER SUPPORT OF THE EXISTING STRUCTURE REQ. TO EXECUTE THE WORK.

THE ENSTING STRUCTURE REO. TO EXECUTE THE WORK.

3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, TELEPHONE, ELECTRICAL, SECURITY, LIFE SAFETY, & SPRINKLER WORKS OA STO ENSUBE THAT REQUIRED CLEARANCES FOR INSTALLATION A MAINTENANCE OF ALL EQUIPMENT ARE PROVIDED. WHERE CONFLICTS OCCUR, VERIFY WITH DESCRIPT STRUCTURES, SET, SHALL BE APPROVED BY DESIGNER PRIOR TO INSTALLATION.

35. ALL INSTALLED PLUMBING, MECHANICAL & ELECTRICAL EQUIPMENT SHALL OPERATE QUIETLY, SMOOTHLY, & FREE OF VIRRATION, SEE MANUFACTURERS RECOMMENDATIONS FOR ACQUISTICALLY SOUND CONSTRUCTION METHODS.

37. THE CONTRACTOR SHALL ASSIST THE OWNER IN THE INSTALLATION AIGN COORDINATION OF ALL ITEMS NOT IN CONTRACT, INCLUDING BUT NOT LIMITED TO APPLIANCES, FIXTURES, TELEPHONE, AUDIO-VISUAL, CABLE TELEVISION, ARTHORISKS, SIGNAGE,

ETC.
38. ALL NEW CONSTRUCTION SHALL MATCH OR BETTER THE ESTABLISHED EXISTING BUILDING STANDARD UNLESS OTHERWISE

38. ALI NEW CONSTRUCTION SHALL MATCH OR BETTER THE ESTABLISHED EXISTING BUILDING STANDARD UNLESS OTHERWISE NOTED.
39. UPON COMPLETION OF THE WORK OR SHORTLY BEFORE. THE CONTRACTOR SHALL DIRECT THE DESIGNER & ENGINEERS TO PREPARE A PUNCH LIST OF CORRECTIONS & UNSATISFACTORY & FOR INCOMPLETE WORK, FINAL PAYMENT SHALL BE CONTINGENT UPON THE COMPLETON OF THESE TIEMS UNDER THE TERMS OF THE OWNER - CONTRACTOR AGREEMENT. AND THE CONTRACTOR HALL MAINTAIN A COMPLETE SET OF REPRODUCIBLES OF THE CONTRACT DRAWINGS FOR RECORD MARK UP PURPOSES THROUGHOUT THE CONTRACT TIME & SHALL MARK UP THESE DRAWINGS DURING THE COURSE OF WORK OWNERS PURPOSES. CONTRACTOR SHALL GAVE PARTICIPATE AT THE TOTAL OWNER SHALL MARK TO THE CONTRACT OF WORK WHICH TO WORK WHICH WILL BE CONCEALED & DIFFICULT TO MEASURE OR RECORD AT A LATER DATE, & TO WORK WHICH MAY REQUIRE SERVICING OR REPLACEMENT DURING THE LIFE OF THE PROJECT. SHALL FURNISH TO THE OWNER TWO COPIES OF MANUFACTURERS INSTRUCTION, OPERATION, & MAINTENANCE MANULAS FOR PRODUCTS & COUPMENT SPECIFIED IN THE CONTRACT OCCUMENTS, INCLUDING SPECIAL TO CONTRACT DOCUMENTS, INCLUDING SPECIAL TO CONTRACT OR SHALL PROVIDE WRITTEN ONE (1) YEAR WARRANTY FOR ALL WORK PERFORMED, EXCEPT WHERE NOTED OTHERWISE. WARRANTY FOR SHALL PROVIDE WRITTEN ONE (1) YEAR WARRANTY FOR ALL WORK PERFORMED, EXCEPT WHERE NOTED OTHERWISE. WARRANTY FOR SHALL PROVIDE WRITTEN ONE (1) YEAR WARRANTY FOR ALL WORK PERFORMED, EXCEPT WHERE NOTED OTHERWISE. WARRANTY FOR SHALL PROVIDE WRITTEN ONE (1) YEAR WARRANTY FOR ALL WORK PERFORMED, EXCEPT WHERE NOTED OTHERWISE. WARRANTY FOR SHALL PROVIDE SOME WRITTEN ONE CONTRACTION SERECTED BY THE WORK PERFORMED BY THE WORK PERFORMED. BY LIFT WORK PERFORMED BY THE WORK PERFORMED BY THE WORK PERFORMED BY THE WORK PER

I FIESE DUCUMENTS. 44. ALL WORK SHALL PROVIDE FOR MATERIAL EXPANSION & CONTRACTION, SHRINKAGE, BUILDING MOVEMENTS, ETC., SUFFICIENT TO PREVENT CRACKS. BUCKLING. WARPING. OR OTHER DEFORMATION DUE TO HUMIDITY & TEMPERATURE CHANGE.

44. ALL WORK SHALL PROVIDE FOR MATERIAL EXPANSION & CONTRACTION, SHRINKAGE, BUILDING MOVEMENTS, ETC.
SUFFCIENT TO PREVENT CRACKS, BUCKLING, WARPING, OR OTHER DEFORMATION DUE TO HAMIDITY & TEMPERATURE. CHANGE & NORMAL MARKET OR DEPORTED TO HAMIDITY & TEMPERATURE. CHANGE & NORMAL MARKET OR DEPORTED THE PROVIDED THE OFFICE THE DESIGNER SHOW ONLY SPECIAL CONDITIONS TO ASSIST THE CONTRACTOR; THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.

46. THE APPERANANCE OF THE DESIGNER'S IDENTIFICATION BLOCK ON DRAWINGS PREPARED BY OTHER PRIMS SHALL NOT BE CONSTRUCED TO INDICATE RESPONSIBILITY FOR THE CONTENTS OF SUCH DRAWINGS ON THE PART OF THE DESIGNER, EXCEPT AS REQUIRED BY LAW & STANDARDS OF PROPESSIONAL PRACTICE.

47. THESE DRAWINGS & SPECIFICATIONS ARE THE PROPERTY & COPYRIGHT OF THE DESIGNER SHALL NOT BE USED ON ANY OTHER WORKS NO NOWLEDGE OF & SHALL NOT BE USED LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS ATTENDED. HAVE THE DESIGNER AS NO NOWLEDGE OF & SHALL NOT BE WELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS. IN SIES ASSESTOS OF DITHER HAZARDOUS MATERIALS ARE DISCOVERED PRIOR TO STARTING WORK, OR DURING DEMOLITION, STOP WORK IMMEDIATELY & CONTACT THE OWNER & DESIGNER FOR FURTHER INSTITUCTIONS BEFORE PROCEEDING.

49. PARCEL PROJECTS DOES NOT CARRY LIABILITY INSURANCE TO COVER WORK DOME REGARDING THE IDENTIFICATION & REMOVAL OF HAZARDOUS ANTERIALS IS SPECIFICALLY EXCLUDED FROM THE SCOPE OF WORK REPARESENTED IN THESE DOCUMENTS & SHALL BY THE IDENTIFICATION & REMOVAL OF HAZARDOUS MATERIALS. ANY WORK RELATED TO THE IDENTIFICATION & REMOVAL OF HAZARDOUS MATERIALS IS SPECIFICATION & REMOVAL OF HAZARDOUS MATERIALS.

CONSTRUCTION NOTES

1. "TYPICAL" OR "TYP" MEANS THAT THIS ITEM IS VIRTUALLY IDENTICAL ACROSS SIMILAR CONDITIONS. "TYP." SHALL BE UNDERSTOOD TO MEAN "TYPICAL WHERE OCCURS" & SHALL NOT BE CONSIDERED AS WITHOUT EXCEPTION OR CONSIDERATION OF SPECIFIC CONDITIONS. IN CASE OF DISCREPANCY, CONSULT WITH DESIGNER BEFORE PROCEEDING.
2. "SIMILAR" OR "SIM" MEANS COMPARABLE TO CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS & ORIENTATION

ON PLAN. 3. "AS REQUIRED" MEANS AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING CONDITIONS,

3."AS REQUIRED MEANS AS REQUIRED BY REGULATORY REQUIREMENTS, BY REFERENCED STANDARDS, BY EXISTING GONDITIONS, BY GENERALLY ACCEPTED CORD STRUCTION PRACTICE, OR BY THE CONTRACT DOCUMENTS.

5. THE TERM "VERIET" OR "V.I.E" SHALL BE UNDERSTOOD TO MEAN "VERIET" IN FIELD WITH DESIGNER" & REQUIRES THAT THE CONTRACTOR CONFIRM INTERTION REGARDING NOTED CONDITION & PROCEDED ONLY AFTER RECEIVING DESIGNERS DIRECTION.

6. WHERE THE WORDS "OR EQUAL" OR WORDS OF SIMILAR INTENT FOLLOW A MATERIAL SPECIFICATION, THEY SHALL BE UNDERSTOOD TO REQUIRE SIGNED APPROVAL OF ANY DESIGNERS OF TO CONTRACTOR CONTROLLORS OF THE CONTRACTOR OF THE CONTRACTORS OF THE CONT

WORKMANSHIP
1. THE CONTRACTOR IS RESPONSIBLE FOR CUTTING, FITTING & PATCHING AS REQUIRED TO MAKE THE SEVERAL PARTS FIT
TOCETHER DROPERLY.

2. DETAILS NOT SPECIFICALLY SHOWN SHALL BE OF THE SAME NATURE AS SIMILAR CONDITIONS. PARTS NOT DETAILED SHALL BE SUBJECT TO THE DESIGNER & OWNER'S APPROVAL.

FRAMING & CUNSTRUCTION

1. INSTALL 58" TYPE "X '67P. BD. AT MECHANICAL ROOM FOR ONE HOUR RATED PARTITION AT WALLS & CEILING.

2. INSTALL 2 LAYERS OF 5/8" TYPE "X 'GYP. BD. AT ALL AREAS UNDER STAIRS, WALLS & CEILINGS TO ACHIEVE ONE HOUR RATED

PARTITIONS.
3. ALL EXTERIOR WALLS 2X6 STUDS U.O.N.

PARTITIONS.
3. ALL EXTERIOR WALLS 2X6 STUDS U.O.N.
4. ALL INTERIOR WALLS 2X6 STUDS EXCEPT AT PLUMBING WALLS, BEHIND PLUMBING FIXTURES, OR U.O.N.
5. GARAGE TO HAVE MIN. 1-38" SOLID CORE SELF-CLOSING DOOR TO HOUSE.
6. SLOPE EXTERIOR PAYED SURFACE 14"FT MIN. AWAY FROM BUILDING.
7. FOR PAYED SURFACE 14"FT MIN. AWAY FROM BUILDING.
8. SLOPE EXTERIOR PAYED SURFACE 14"FT MIN. AWAY FROM BUILDING.
8. RICTAL COMMON THE SURFACE 14"FT MIN. AWAY FROM BUILDING.
9. RICTAL COMMON THE SURFACE AWAY FROM BUILDING.
9. RICTAL SOLID SURFACE 15"FT SURFACE AWAY FROM BUILDING.
9. INSTALL SOLID BLOCKING AS REQUIRED FOR FINISH HARDWARE, CABINETS, TRIM, & FIXTURES.
10. PRIME ALL SIDES OF PLYMOOD & TRIME PRIOR TO INSTALLATION.
11. PRE-PRIME KNOTS IN LUMBER WITH ZINSSER'S "BIN' PRIMER SEALER OR APPROVED COULD.
12. ALL PORTIONS OF WOOD DEPOSED TO WEATHER TO SE OF NATURAL RESISTANCE TO DECAY OR TREATED WOOD.
13. ALL CUT OR NOTCHED TREATED WOOD SHALL BE SEALED WITH "COPPER GREEN" WOOD PRESERVATIVE SEALER.
14. PROVIDE COUNTERT ASHING & WAVER PROOF ASSEMBLES THROUGHOUT BOOK & TERRACES PET THE MINGHAND AND STANDARD SEE USE CHAILS & FER MANUFACTURER SPECIFICATIONS FER THE HIGHEST INDUSTRY
9. SPONGERS SEE USE CHAILS TO SERVE OF THE MIGHEST INDUSTRY
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ABBRE

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GAUGE
GALVANIZED
GENERAL CONTRACTOR
GARBAGE DISPOSAL
GROUND FAULT INTERRUP
GLASS FIBER REINF CONC

AB	ANCHOR BOLT	HB	HOSE BIB	SASM	SELF-ADHERING SHEET
ABV AC	ABOVE AIR CONDITIONING	HC HD	HOLLOW CORE HEAD	sc	MEMBRANE SOLID CORE
ACOUS	ACOUSTICAL	HDBD	HARDBOARD	SCD	SEE CIVIL DRAWINGS
AD	AREA DRAIN	HDWD	HARDWOOD	SCHED	SCHEDULE
ADA AD.I	AMERICANS W/ DISABILITIES ACT ADJUSTABLE	HDWE HG	HARDWARE HORIZONTAL GRAIN	SD SEC	SMOKE DETECTOR SECTION
AFF	ABOVE FINISH FLOOR	HM	HOLLOW METAL	SED	SEE ELECTRICAL DRAWING
ALUM ALT	ALUMINUM ALTERNATE	HORIZ HR	HORIZONTAL HOUR	SEP	SEPARATE, SEPARATION
APPROX	APPROXIMATE(LY)	HRS	HOT ROLLED STEEL	SFD	SQUARE FOOT/FEET SEE FIRE PROTECTION DRAWINGS
ARCH	APPROXIMATE(LY) ARCHITECTURAL	HT	HEIGHT HEATING, VENTILATING,		DRAWINGS
ASPH AUTO	ASPHALT AUTOMATIC	HVAC	AIR COND	SHT	SHEET, SHEETING SHOWER
AVG	AVERAGE	HW HWH	HOT WATER HOT WATER HEATER	SIM	SIMILAR
BD	BOARD	HWH	HOT WATER HEATER	SL SLD	SLIDING/SLIDER SEE LANDSCAPE DRAWING
BIT	BITUMINOUS	ID	NSIDE DIAMETER	SMD	SEE MECHANICAL DRAWIN
BLDG	BUILDING BLOCK	IN	INCH INCLUDE, INCLUDING	SOG	SLAB ON GRADE SEE PLUMBING DRAWINGS
BLKG	BLOCKING BEAM	INFO	INFORMATION INSULATION	SP	SPACE
BM BO	BEAM BOTTOM OF	INS	INSULATION INTERIOR	SPEC SPKR	SPECIFICATION(S) SPEAKER
BOT	BOTTOM			SO	SQUARE
BP BSMT	BUILDING PAPER BASEMENT	J .IT	JOIST JOINT	SQ FT	SQUARE FOOT SQUARE INCH
BTWN	BETWEEN	JI		SQ IN SSD	SEE STRUCTURAL DRAWIN
BUR	BUILT UP ROOF	KIT	KITCHEN	S STL	STAINLESS
BYND	BEYOND	LAM	LAMINATED	ST STD	STREET STANDARD
С	CHANNEL	LAV	LAMINATED LAVATORY	STL	STEEL
CAB	CABINET CAVITY	LB LIN	POUND LINEAR	STOR STRUCT	STORAGE STRUCTURAL
CEM	CEMENT	LONG	LONGITUDINAL	SUSP	SUSPENDED
CFL CJT	COMPACT FLUORESCENT CONTROL JOINT	LT LT WT	LIGHT LIGHT WEIGHT	SW SYM	SWITCH SYMMETRICAL
CL	CENTER LINE			SYS	SYSTEM
CLNG	CEILING	MACH	MACHINE	_	******
CLO	CLOSET	MATL MAX	MATERIAL MAXIMUM	T TBS	TREAD TO BE SPECIFIED
CMU	CONCRETE MASONRY UNIT COUNTER	MECH MEMB	MECHANICAL MEMBRANE	T&B T&G	TOP AND BOTTOM TONGUE AND GROOVE
COL	COLUMN	MFR	MANUFACTURER	TEI	TELEPHONE
CONC	CONCRETE CONSTRUCTION	MIN MIR	MINIMUM MIRROR	TEMP THK	TEMPERED
CONST	CONSTRUCTION CONNECT(OR)(ION)	MISC	MISCELLANEOUS	THRU	THICK(NESS) THROUGH
CONT	CONTINUOUS	MTD MTG	MOUNTED MOUNTING	TO	TOP OF TOP OF CONCRETE
CRS	COLD ROLLED STEEL	MTI	METAL	TOC	TOP OF PLATE
CT	CERAMIC TILE			TOS	TOP OF SLAB
CTOP	COUNTERTOP CUSTOM	(N) N/A	NEW NOT APPUCABLE	TOW TV	TOP OF WALL TELEVISION
CW	COLD WATER	NC	NOT IN CONTRACT	TYP	TYPICAL
D	DRYER	NO NOM	NUMBER NOMINAL	UG UNEXC	UNDERGROUND UNEXCAVATED
DBL	DOUBLE	NSF	NET SQUARE FOOTAGE	UNFIN	UNFINISHED
DEMO	DEMOLISH, DEMOLITION DETAIL	NTS	NOT TO SCALE	UL	UNDERWRITER'S LABORAT UNLESS OTHERWISE NOTE
DIA	DIAMETER	OBS	OBSCURE	VAR	VARIES
DIM DISP	DIMENSION DISPENSER, DISPOSAL	OC OD	ON CENTER OUTSIDE DIAMETER	VB VCT	VAPOR BARRIER VINYL COMPOSITION TILE
DIST	DISTANCE	OFCI	OWNER FURN., CONTRACTOR	VENT	VENTILLATION
DN DR	DOWN DOOR	ОН	INSTALLED OPPOSITE HAND	VERT VEST	VERTICAL VESTIBULE
DWG	DRAWING	OPER	OPERABLE	VG	VERTICAL GRAIN
(E)	EXISTING	OPNG OPP	OPENING OPPOSITE	VIF	VERIFY IN FIELD VOLUME
ÈÀ	EACH	PAR	PARALLEL	W	WASHER
EJ EL	EXPANSION JOINT ELEVATION	PART PERF	PARTITION PERFORATED	W/ W/O	WITH WITHOUT
ELEC	ELECTRICAL	PERM	PERIMETER	WC	WATER CLOSET
ELEV	ELEVATOR ENCLOSURE	PERP PI	PERPENDICULAR PLATE	WDW	WOOD WINDOW
EP	ELECTRICAL PANEL	PLAM	PLASTIC LAMINATE	WP	WEATHERPROOF
EQ FQUIP	FOLIAL	PLAS PLY	PLASTER PLYWOOD	WPM	WATERPROOF MEMBRANE WEIGHT
EQUIV	EQUIPMENT EQUIVALENT	PNL	PANFI	VV I	WEIGHT
EXH	EXHAUST	PR PRFFAB	PAIR		
EXT	EXPANSION EXTERIOR	PREFAB	PRE-FABRICATE PROJECT		
		PROP	DDODEDTV		
FAB FAST	FABRICATED, FABRICATOR FASTEN(ER)	PSF PSI	POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH		
FDN	FOUNDATION	PT	PRESSURE TREATED		
FD FF	FLOOR DRAIN FINISH FLOOR	PTD	PAINT(ED) POLYVINYL CHLORIDE		
FG	FINISH FLOOR FINISH GRADE	PWR	POWER		
FIN FIXT	FINISH(ED) FIXTURE	QT	QUARRY TILE		
FL	FLOOR	QTR	QUARTER QUANTITY		
FLG FLUOR	FLASHING FLUORESCENT	QTY R	QUANTITY RISER		
FO	FACE OF	RA	RETURN AIR		
FOC	FACE OF CONCRETE FACE OF FINISH FACE OF STUD	RAD	RADIUS		
FOF FOS	FACE OF FINISH	RCP RD	REFLECTED CEILING PLAN ROOF DRAIN		
FOW	FACE OF WALL FOOT, FEET	REC REF	RECESSED REFER(ENCE)		
FT FTC	FOOTING	REFL	REFLECTED		
FURN	FURNACE	REFR	REFRIGERATOR		
FUR	FURRING	REG	REGISTER		

OUARTY TILE
OUARTER
OUANTITY
RISER
RETURN IR
RETURN IR
REFUECTED CEILING PLAN
ROOF DRAN
RECESSED
REFERIENCE)
REFELECTED
REFERIENCE
REFELECTED
REGISTER

ROOM

SYMBOL LEGEND

NODTH ADDOM

DETAIL CALLOUT

\Box	NORTHARRO
(1) (A)	GRIDLINE

L (1.0) BUILDING / WALL SECTION

> A1.01 ELEVATION

ELEVEL 1 FLOOR ELEVATION

⊕X-X* SPOT ELEVATION CHANGE IN PLANE - - - - PROPERTY LINE

OJ — — CENTERLINE ROOM NAME

<€> WINDOW TAG

(101B) DOOR NUMBER PL01 FINISH TAG





AI IGN







PROJECT DATA

PROJECT ADDRESS	1218 46TH AVENUE, SAN FRANCISCO CA,
PARCEL (BLOCK/LOT)	1705/041
NEIGHBORHOOD	OUTER SUNSET
ZONING	RH-2
OCCUPANCY	R-3
HEIGHT AND BULK DISTRICT	40-X
PARCEL AREA	2,996 SF
BUILDING AREA (EXISTING)	1,200 SF
BUILDING DESCRIPTION	SINGLE-FAMILY RESIDENCE
NUMBER OF UNITS	1
NUMBER OF STORIES (EXISTING)	1
YEAR BUILT	1907
CONSTRUCTION TYPE	VB
APPLICABLE CODES	2013 SAN FRANCISCO BUILDING CODE 2013 SAN FRANCISCO PLUMBING CODE 2013 SAN FRANCISCO MECHANICAL CODE 2013 SAN FRANCISCO ELECTRICAL CODE 2013 SAN FRANCISCO PLANNING CODE 2013 SAN FRANCISCO BUILDING CODE 2013 CALIFORNIA ENERGY CODE

FLOOR AREA

GROSS FLOOR AREA PER SECTION 1002 CBC 2013

LEVEL	EXISTING	NEW	TOTAL
LEVEL 1 (STREET)	1372 SF	101 SF	1473 SF*
REFUGEE COTTAGES	557 SF		
EXTENSION	488 SF		
REAR COTTAGE	327 SF		
LEVEL 2	-	455 SF	455 SF
TOTAL	1372 SF	556 SF	1928 SF
TOTAL LEVEL 1 SQUARE FOOTAGE INCLUDES EXISTING REFUGEE COTTAGES,			

RENOVATED EXTENSION, HYPHEN, AND BEDROOM ADDITION.

PROJECT DESCRIPTION

THE SUBJECT PROPERTY IS A SINGLE-FAMILY RESIDENCE ASSEMBLED FROM TWO 1906 EARTHQUAKE REFUGEE COTTAGES. THE EXISTING RESIDENCE INCLUDES AN EXTENSION TO THE EARTHQUAKE COTTAGES AND A STAND-ALONE REAR-YARD COTTAGE.

THE PROPOSED DESIGN IS A: -PRESERVATION OF THE EXISTING EARTHQUAKE COTTAGES, RESTORING THE EXISTING FINISHES BY PATCHING AND REPAIRING THE EXISTING

RENOVATION OF THE EARTHQUAKE COTTAGE EXTENSION, WHICH -RENOVALION OF LINE EARTHQUAKE COTTAGE EXTENSION, WHICH WOULD REDUCE THE EXISTING FOOTPRINT OF RESIDENCE BY 8"-7" TO THE 45% REAR YARD LINE, PER PLANNING CODE SECTION 134(A)(2). -TWO-STORY VERTICAL ADDITION IN THE EXISTING FOOTPRINT OF THE REAR-YARD COTTAGE, PLUS APPROXIMATELY 2"-10" TO THE SOUTH PROPERTY LINE AND 2"-0" TO THE EAST PROPERTY LINE. THE ADDITION WOULD BE CONNECTED TO THE EARTHQUAKE COTTAGE EXTENSION BY A CANES ASSOCIATION.

VICINITY MAP



PARCEL MAP



PROJECT DIRECTORY

JENNIFER DASILVA AND DANIEL MCLAUGHLIN 129 27TH STREET SAN FRANCISCO, CA 94110

DESIGN PROFESSIONAL PARCEL PROJECTS TODD BENNETT AND ERIK BLOOM SAN FRANCISCO, CA 94114 (510) 541-6294 / (415) 860-651 ERIK@PARCELPROJX.COM

HISTORICAL RESOURCE CONSULTANT:
VERPLANCK HISTORIC PRESERVATION CONSULTING
CHRISTOPHER VERPLANCK
57 POST STREET, SUITE 810
SAN FRANCISCO, CO 494104
(415) 391-7498
CHRIS@VERPLANCKCONSULTING.COM

A0.1	TITLE SHEET
A1.01	EXISTING AND PROPOSED SITE PLAN/PLOT PLAN
A1.02	EXISTING ELEVATIONS AND SECTION
A1.03	EXISTING FLOOR PLAN AND PHOTOS
A2.01	DEMOLITION PLAN
A2.02	PROPOSED FLOOR PLANS
A2.03	PROPOSED ROOF PLAN
A3.01	PROPOSED ELEVATIONS
A3.02	PROPOSED ELEVATIONS
A4.01	PROPOSED BUILDING SECTIONS
A10.01	DOOR & WINDOW SCHEDULES

SHEET INDEX

0.1	TITLE SHEET
1.01	EXISTING AND PROPOSED SITE PLAN/PLOT PLAN
1.02	EXISTING ELEVATIONS AND SECTION
1.03	EXISTING FLOOR PLAN AND PHOTOS
2.01	DEMOLITION PLAN
2.02	PROPOSED FLOOR PLANS
2.03	PROPOSED ROOF PLAN
3.01	PROPOSED ELEVATIONS
3.02	PROPOSED ELEVATIONS
4.01	PROPOSED BUILDING SECTIONS
10.01	DOOR & WINDOW SCHEDULES

SAN FRANCISCO, CA 94122 **BLOCK 1705 LOT 041**

218 46th Avenue SHEET TITLE

 NO.
 DATE
 REVISION

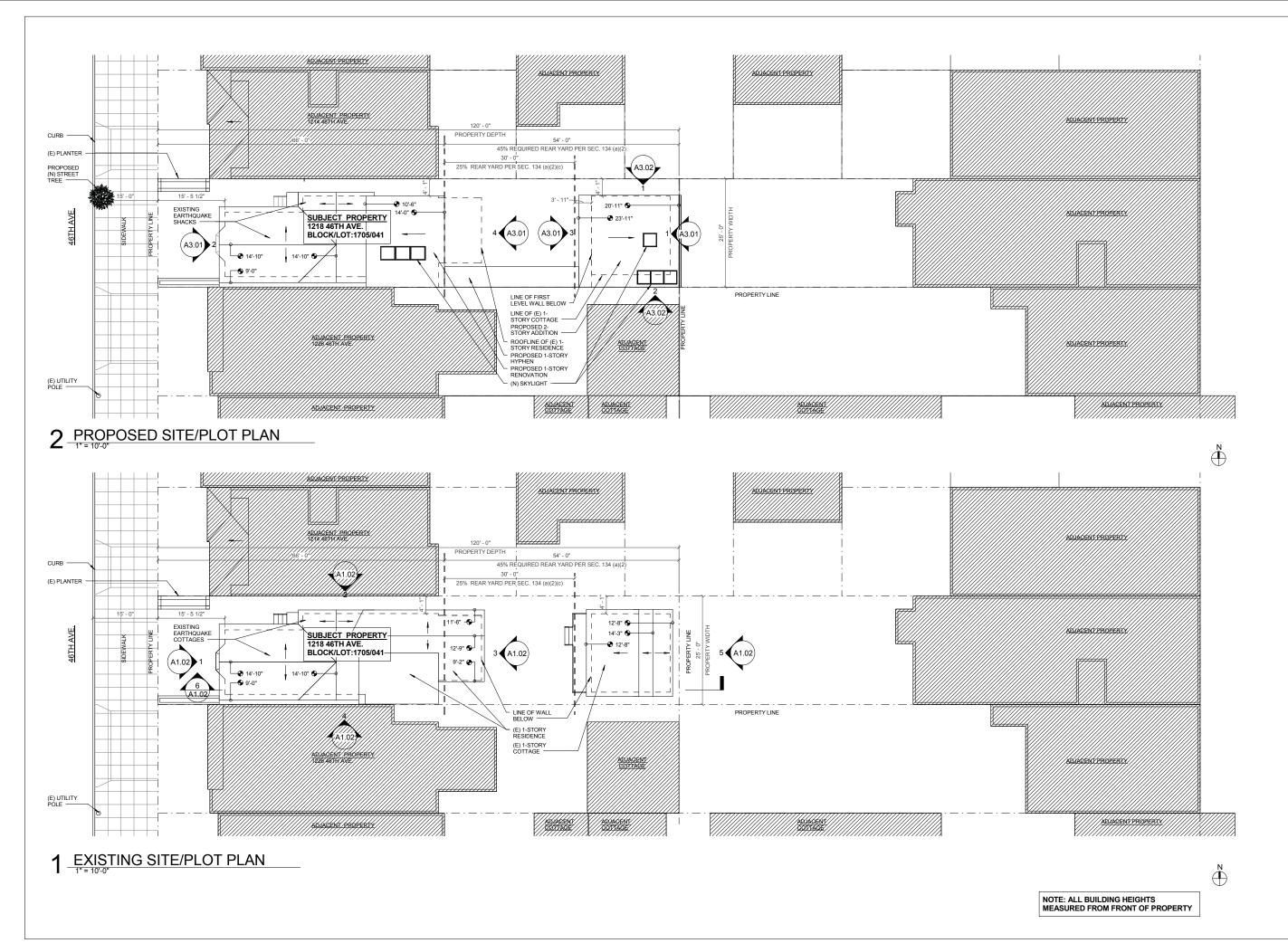
 1
 9/23/15
 Pre-Application Meeting

2 12/8/15 Site Permit

1218 46TH AVE

DECEMBER 10, 2015

SITE PERMIT



www.parcelproix.com

EXISTING AND PROPOSED SITE PLAN/PLOT PLAN

1218 46th Avenue

 NO.
 DATE
 REVISION

 1
 9/23/15
 Pre-Application Meeting

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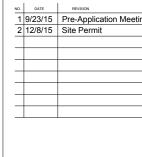
1218 46TH AVE SAN FRANCISCO, CA 94122 BLOCK 1705 LOT 041

DECEMBER 10, 2015

A1.01



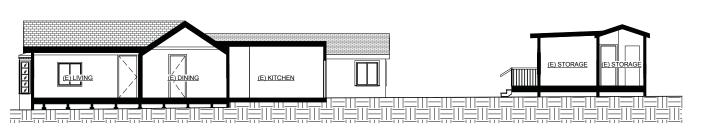




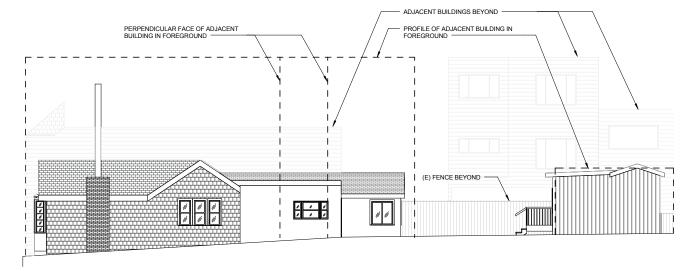
1218 46TH AVE SAN FRANCISCO, CA 94122 BLOCK 1705 LOT 041

DECEMBER 10, 2015

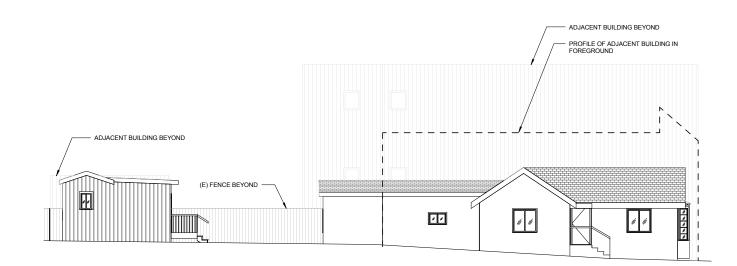
ORIGINAL SHEET SIZE 22" x 34"



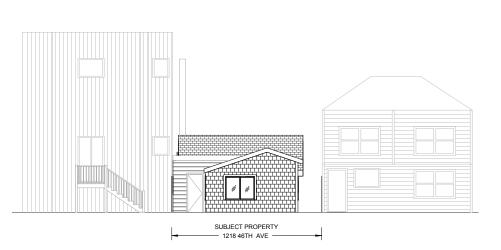
EXISTING EAST-WEST SECTION 1/8" = 1'-0"



4 EXISTING SOUTH ELEVATION



2 EXISTING NORTH ELEVATION



ADJACENT BUILDING BEYOND (E) FENCE BEYOND

 $3_{\frac{-180}{180}=1^{\circ}.0^{\circ}}$ EXISTING EAST (REAR) ELEVATION - MAIN HOUSE

 $5_{\frac{-1/8"}{-1/8"}=\frac{1'-0"}{-1}}$ EXISTING EAST (REAR) ELEVATION - COTTAGE



EXISTING WEST (FRONT) ELEVATION

 $7_{\frac{\text{NTS.}}{\text{NTS.}}}$



4 BUILDINGS ON THE SAME SIDE OF THE STREET



6 REAR FACADE OF THE SUBJECT BUILDING



3 FRONT FACADE OF THE SUBJECT BUILDING



2 REAR VIEW OF THE ADJACENT BUILDINGS



5 VIEW OF EXISTING COTTAGE

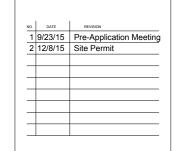
	A1.02			_
A1.02 1	(E) BEDROOM (E) LIVING (E) DINING (E) KITCHEN	3 A1.02	(E) STORAGE (E) STORAGE	5 (A1.02)
-	EXISTING EARTHQUAKE SHACKS EXISTING EXTENSION A1.02	-	EXISTING 1-STORY COTTAGE —	

1 EXISTING FLOOR PLAN - LEVEL 1



WALL LEGEND				
	===	_	<i></i>	
EXISTING	DEMO WALL	NEW WALL	NEW 1-HOUR W	



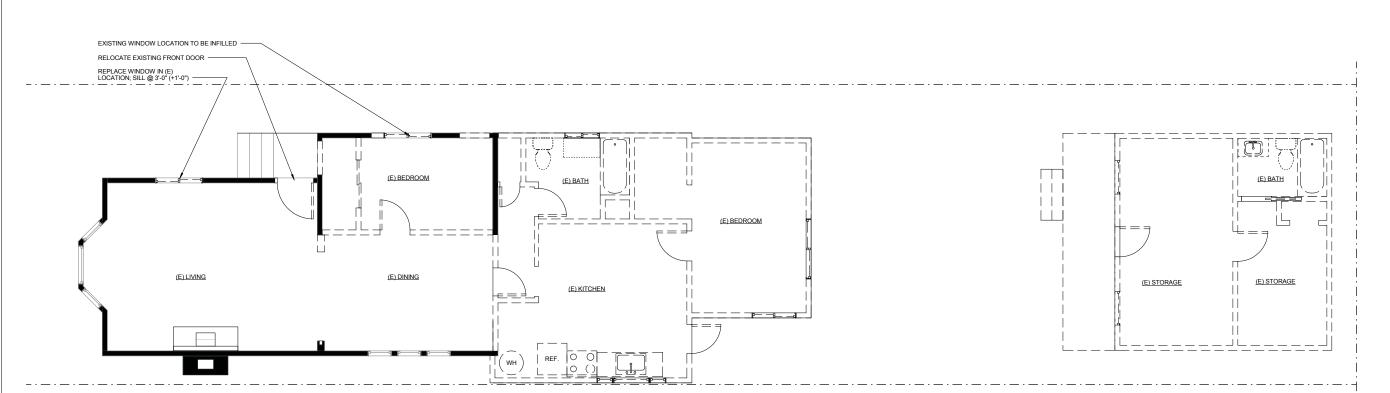


1218 46th Avenue DEMOLITION PLAN

PROJECT LOCATION
1218 46TH AVE
SAN FRANCISCO, CA 94122
BLOCK 1705 LOT 041

DECEMBER 10, 2015

A2.01



1. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. INSECT SCREENING SHALL NOT BE

2. REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES. INCLUDING STAIRS 2. REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS, SHALL BE NOT LESS THAN 42° HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE, ADJACENT FIXED SEATING OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34° MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF OTHE TREADS. WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS SHALL STAIR SHALL SHALL

WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL NOT BE NOT LESS THAN 34" AND NOT MORE THAN 36" MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS.

3. REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER. THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF A STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6" IN DI.

4. GUARDS SHALL BE ADEQUATE IN STRENGTH AND ATTACHMENT IN ACCORDANCE WITH CBC [1607.7].

HANDRAIL NOTES

HANDRAIL NOTES

1. PROVIDE HANDRAIL ON AT LEAST ONE SIDE AT EACH STAIR CASE WITH AT LEAST 4 RISERS.
2. HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE WORST RISER OF THE FLIGHT HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 11/2' BETWEEN THE WALL AND THE HANDRAILS.
3. HANDRAILS SHALL BE ADEQUATE IN STRENGTH AND ATTACHMENT IN ACCORDANCE WITH OBE (1907.7).
4. HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSINGS SHALL BE BETWEEN 34" & 38".
5. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 11/4"AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND

NOT GREATER THAN 6 1/4" WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH

STAIR NOTES

VERIFY STAIR LAYOUT & RISER/ TREAD SIZES IN THE FIELD PRIOR TO NSTALLATION.

2. STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" ON EITHER SIDE OF THE STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE EITHER SIDE OF THE STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31 1/2" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.

3. THE MAXIMUM RISER HEIGHT SHALL BE 73/4". THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER REIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALL SET STAY MORE THAN 3/8".

TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

4. THE MINIMUM TREAD DEPTH SHALL BE 10". THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

5. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6". MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.

6. PROVIDE NON-SLIP FINISH AT ALL EXTERIOR WALKING SURFACES, PAVING & STAIRS.

7. THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN

STAIRS.
7. THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16" A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROVIDED ON STARWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8" BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/2" RISERS SHALL BE VERTICAL OR SLOPED UNDER THE TREAD ABOVE FROM THE UNDERSIDE OF THE NOSING ABOVE AT AN ANGLE NOT MORE THAN 30 DES. FROM THE VERTICAL. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF AS "SPHERE. 9. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STARRWAY.

GLAZING NOTES

1. GLAZING LOCATIONS SUBJECT TO HUMAN IMPACT SHALL BE OF TEMPERED OR LAMINATED TYPE/SHATTER PROOF SAFETY GLASS.
2. USE SAFETY GLASS AT DOORS, GLAZING ADJACENT TO DOORS WITHIN 24" OF THE VERTICAL EDGES OF THE DOOR.
3. USE SAFETY GLASS IN GLAZING THAT LIES WITHIN 5 FT. FROM THE TOP & BOTTOM OF STARS.
4. USE SAFETY GLASS IN GLAZING THAT LIES LESS THAN 18" ABOVE FLOOR LEVEL 5. USE SAFETY GLASS IN DOORS & ENCLOSURES OF TUBS & SHOWERS, & GLAZING IN WARDROSE DOORS.
6. HINGED SHOWER DOORS SHALL BE MIN. 24" WIDE & SHALL OPEN.
7. OPER. SKYLIGHT HINGE IS @ UPPER SIDE OF SKYLIGHT

DIMENSIONING NOTES

1. DO NOT SCALE DRAWINGS, DIMENSIONS SHALL GOVERN.

2. DRAWINGS MAY NOT BE DRAWN TO EXACT SCALE. LARGE SCALE PLANS & DETAILS SHALL GOVERN OVER SMALL SCALE.

3. IF UNABLE TO LOCATE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT THE ARCHITECT PRIOR TO CONSTRUCTION.

4. ALL HEIGHTS ARE DIMENSIONED FROM TOP OF FINISH FLOOR U.O.N.

5. DIMENSIONS ARE NOT ADJUSTABLE, UNLESS NOTED (+/-), WITHOUT ARCHITECT'S WRITTEN APPROVAL.

6. EXCEPT WHERE SPECIFICALLY NOTED TO THE CONTRARY, ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS CONFORM TO THE FOLLOWING CONVENTIONS (A) STRUCTURAL & CONSTRUCTION GRID LINES ARE MEASURED TO THE FACE OF FRAMING MEMBERS. (B) ALL OTHER DIMENSIONS ARE TYPICALLY TO THE FACE OF FINISH U.O.N. (C) WHERE WALLS &/OR PARTITIONS OF UNEQUAL THICKNESS ABUT, ALIGN EXPOSED FACES U.O.N. THICKNESS ABUT, ALIGN EXPOSED FACES U.O.N

SHEET NOTES

1. VERIFY STAIR LAYOUT & RISER/ TREAD SIZES IN THE FIELD PRIOR TO INSTALLATION.

2. STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" ON EITHER SIDE OF THE STAIRWAY AND THE MINIMOVICLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31 1/2" WHERE A HANDRAIL IS INSTALLED

STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31 1/2" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.

3. THE MAXIMUM RISER HEIGHT SHALL BE 734". THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

4. THE MINIMUM TREAD DEPTH SHALL BE 10". THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD SLEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANYS.

5. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6". MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.

6. PROVIDE NON-SLIP FINISH AT ALL EXTERIOR WALKING SURFACES, PAVING & STAIRS.

7. THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16" A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION BY MORE THAN 3/8" BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF THE MOSING AT THE LEVEL OF THE OSING SHALL BE NO GREATER THAN 9/16" A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION BY MORE THAN 3/8" BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF LOORS AND LANDINGS BEVELING OF NOSINGS SMALL NOT EXCEED THE SMALLEST NOSING SONIG AT THE LEVEL OF LOORS AND LANDINGS BEVELING OF NOSINGS SMALL ALL TO EXCEED THE SMALLEST MOSING SONIG AT THE LEVEL OF LOORS AND LANDINGS BEVELING OF NOSINGS SMALL ALL TO EXCEED THE SMALLEST MOSING SONIG AT THE LEVEL OF LOORS AND LANDINGS BEVELING OF NOSINGS SMALL ALL OT EXCEED THE SMALLEST NOSINGS SMALL ALL OT EXCEED THE SMALLEST MOSINGS SMALL ALL OT EXCEED THE SMALLEST MOSINGS SMALL ALL OT EXCEED THE SMAL

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WALL LEGEND EXISTING DEMO WALL **NEW WALL** NEW 1-HOUR WALL

(201B)

(201D)

(201C)

BED 201

204

203

A3.01

(A3.02)

206

RATH (203)

LANDING

(204)

(204A)



(A3.01)





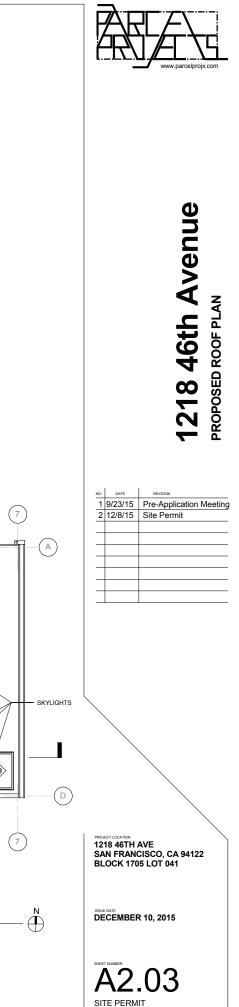
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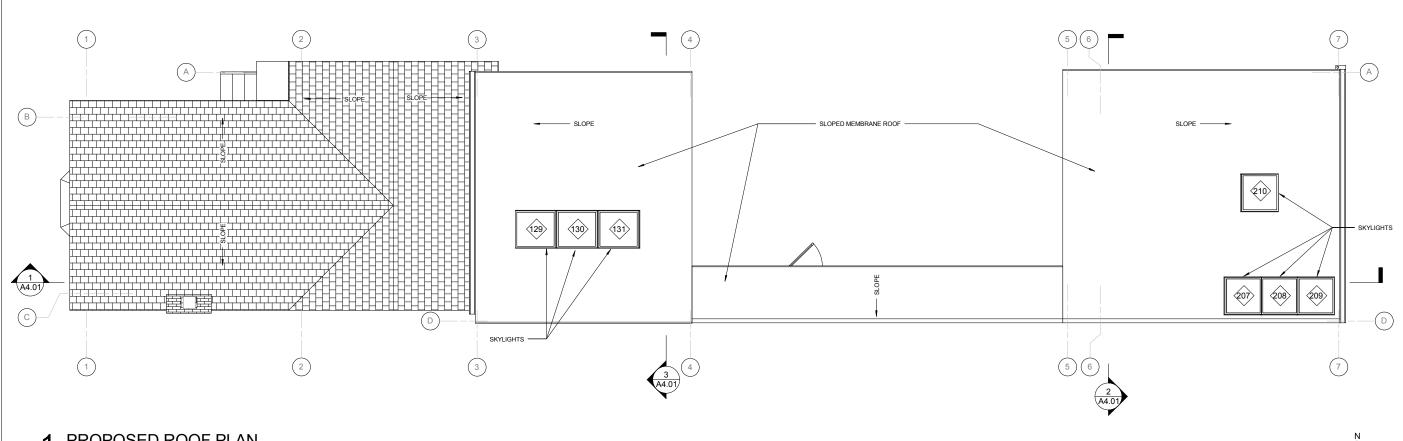
STAIR 202 201 206 2 PROPOSED FLOOR PLAN - LEVEL 2

NEW WINDOW EXISTING FRONT DOOR REPLACED WITH WINDOW 109 127 128 (110) 126 (111) (A)REPLACE WINDOW IN (E) LOCATION; SILL @ 3'-0" (+1'-0") **(**112) (108) (108B) LINE OF LEVEL 2 ABOVE -**FOYER** BATH 103 104 (113) (104A REPLACE (108A) WINDOWS A3.01 A3.01 IN KIND A3.01 (105A) 107 105 A3.01 124 (101A) CLOSET (109A) (14) (102) (109) WINDOW IN KIND -(104) 121 PARTIAL-HEIGHT WALL A4.01 HALL WAY (105B) 102 (110A) (110) REF 106 REPLACE WINDOWS IN KIND A3.02 PROPOSED FLOOR PLAN - LEVEL 1

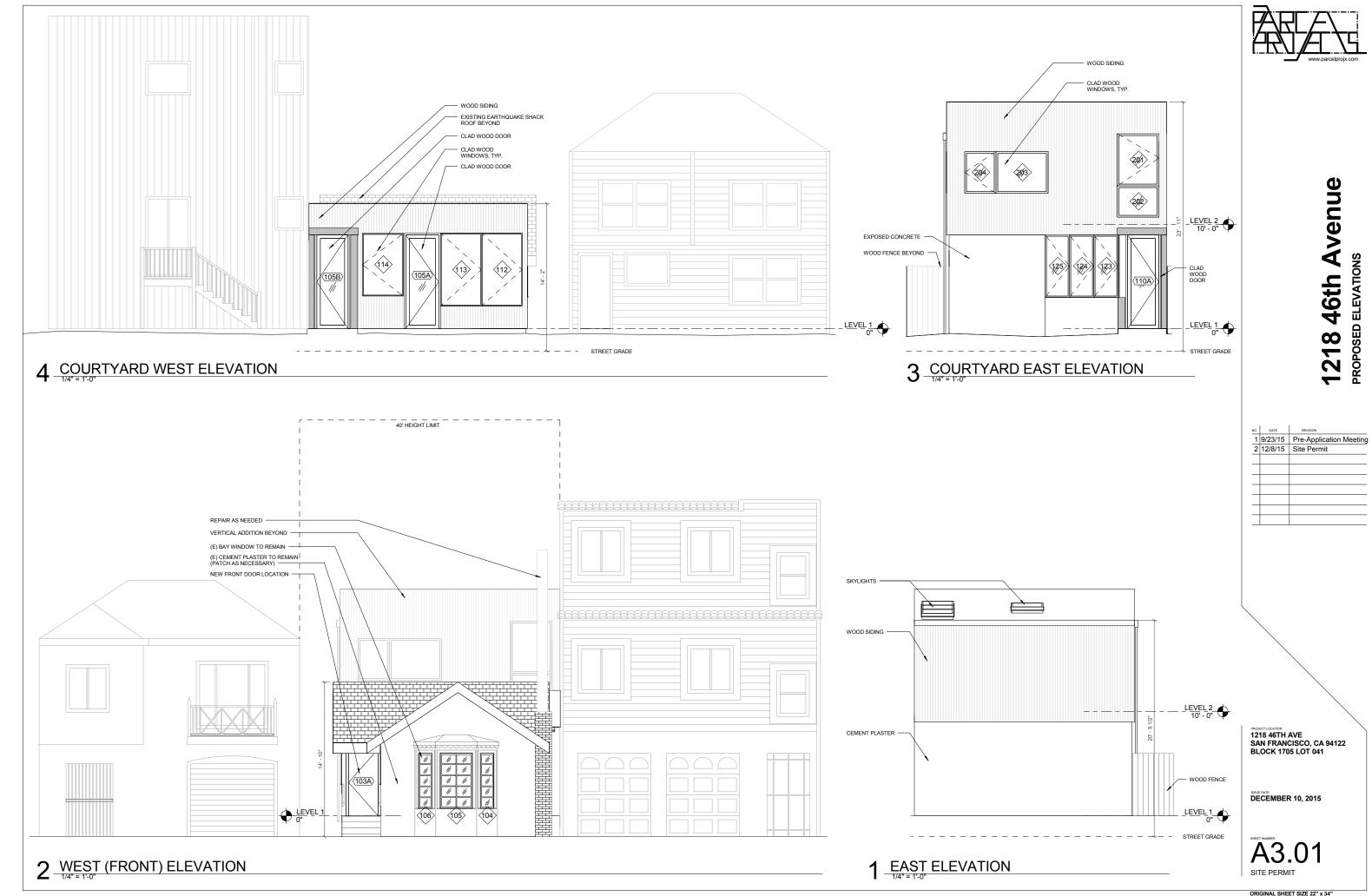
1218 46TH AVE SAN FRANCISCO, CA 94122 **BLOCK 1705 LOT 041**

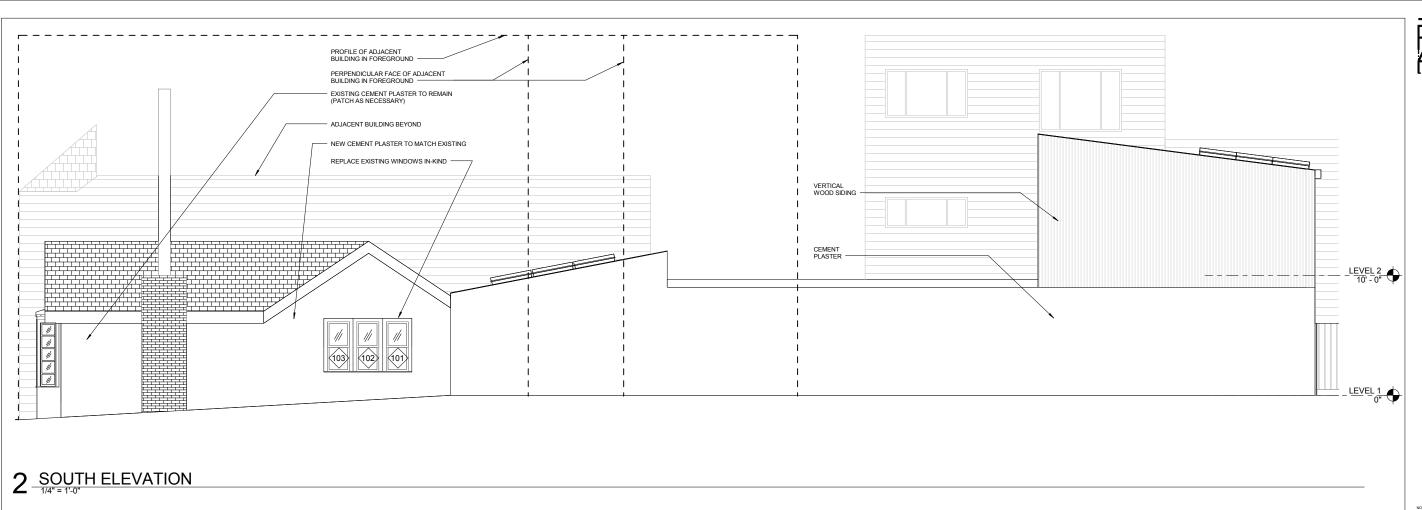
DECEMBER 10, 2015





1 PROPOSED ROOF PLAN



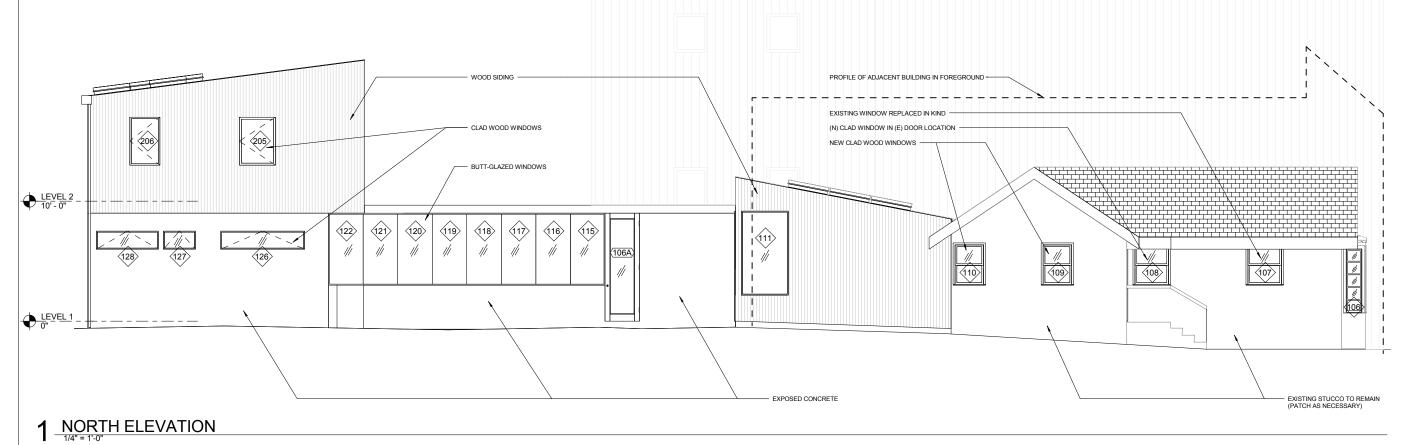


ADJACENT BUILDING BEYOND



1218 46th Avenue PROPOSED ELEVATIONS

NO.	DATE	REVISION
1	9/23/15	Pre-Application Meeting
2	12/8/15	Site Permit



1218 46TH AVE SAN FRANCISCO, CA 94122 BLOCK 1705 LOT 041

DECEMBER 10, 2015

A3.02



PROPOSED BUILDING SECTIONS