



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2016**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1218 46th Avenue	Case No.: 2015-016617VAR
Cross Street(s): Irving Street and Lincoln Way	Building Permit: 201512104720
Block / Lot No.: 1705/041	Applicant/Agent: Parcel Projects
Zoning District(s): [RH-2] / [40-X]	Telephone: (510) 541-6294
Area Plan: n/a	E-Mail: erik@parcelprojx.com

PROJECT DESCRIPTION

The proposal is to: (1) renovate the existing single-family home assembled from two 1906 earthquake cottages and reduce the size of a 1937 non-permitted addition at the rear of the cottages, and (2) to demolish and replace the stand-alone, non-earthquake, non-permitted, cottage in the rear yard with a two-story structure connected to the main building by a 5 foot wide hyphen (interior hallway) along southern property line. The proposed rear addition will maintain the existing cottage's 4 foot 1 inch setback along the north side property line. However, the existing 2 foot 10 inch setback along the south side property line and the 2 foot setback along the rear (east) property line would be in-filled.

PER SECTION 134 OF THE PLANNING CODE , the subject property is required to maintain a rear yard of 30 feet (25 percent of the total lot depth) located in the central portion of the lot between the two buildings. The proposed hyphen is within the central portion of the lot. Therefore, the project requires a variance from the rear yard requirement of Planning Code Section 134.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Elizabeth Gordon** Telephone: **415-575-8728** Mail: **Elizabeth.Gordon-Jonckheer@sfgov.org**
Jonckheer

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2015-016617VAR.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

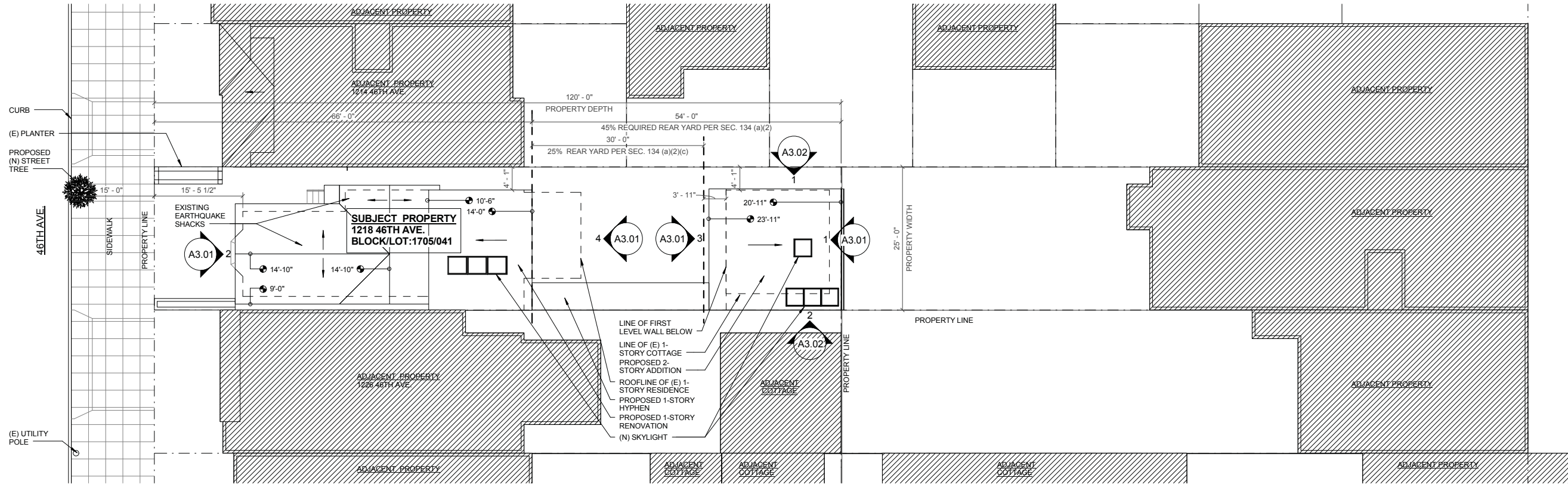
ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

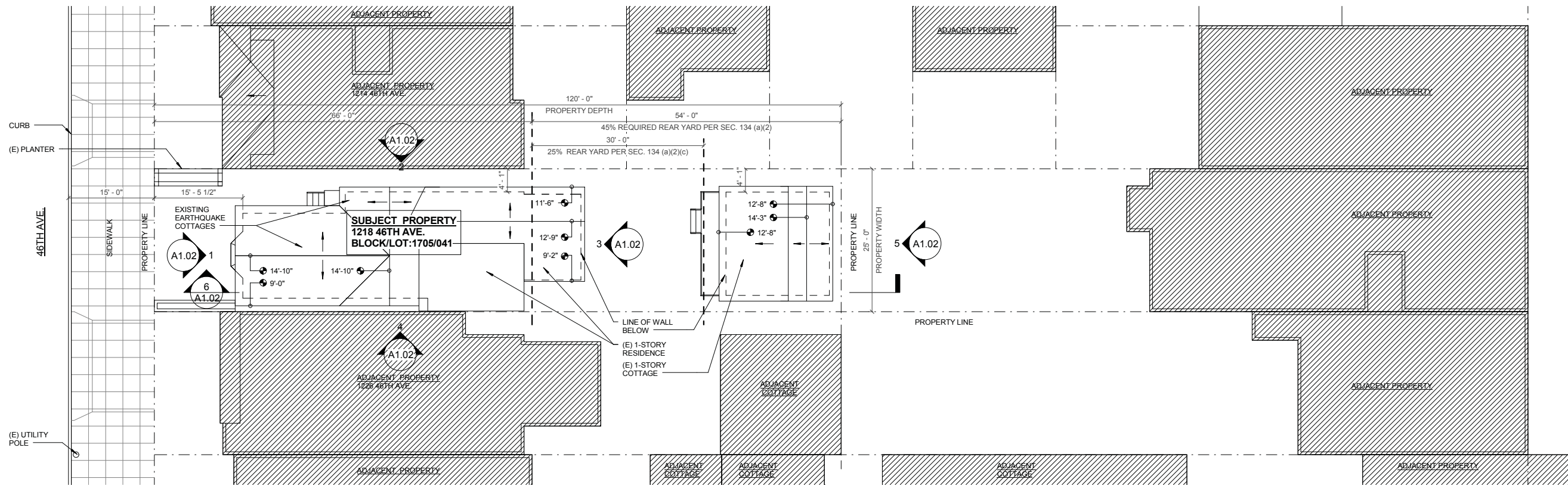
If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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Para información en Español llamar al: 558.6378



2 PROPOSED SITE/PLOT PLAN
 1" = 10'-0"



1 EXISTING SITE/PLOT PLAN
 1" = 10'-0"

NOTE: ALL BUILDING HEIGHTS
 MEASURED FROM FRONT OF PROPERTY

NO.	DATE	REVISION
1	9/23/15	Pre-Application Meeting
2	12/8/15	Site Permit

PROJECT LOCATION
 1218 46TH AVE
 SAN FRANCISCO, CA 94122
 BLOCK 1705 LOT 041

ISSUE DATE
 DECEMBER 10, 2015

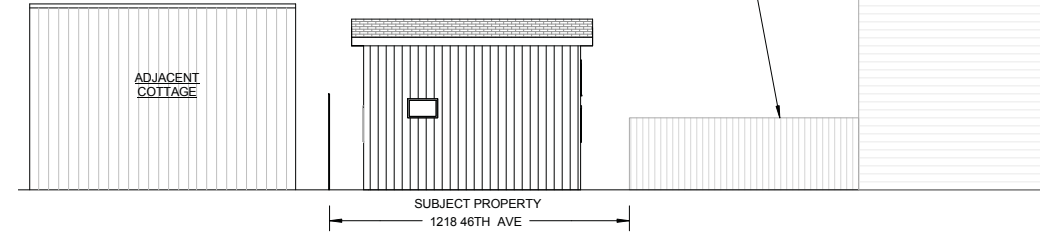
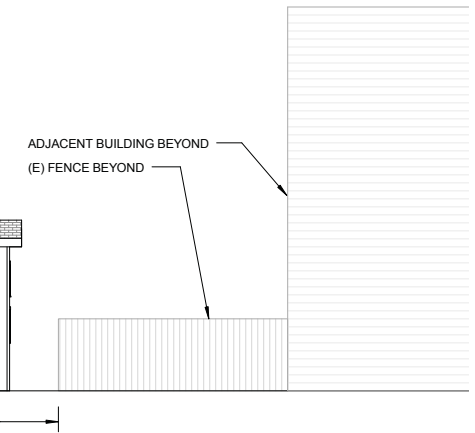
SHEET NUMBER
A1.01
 SITE PERMIT

NO.	DATE	REVISION
1	9/23/15	Pre-Application Meeting
2	12/8/15	Site Permit

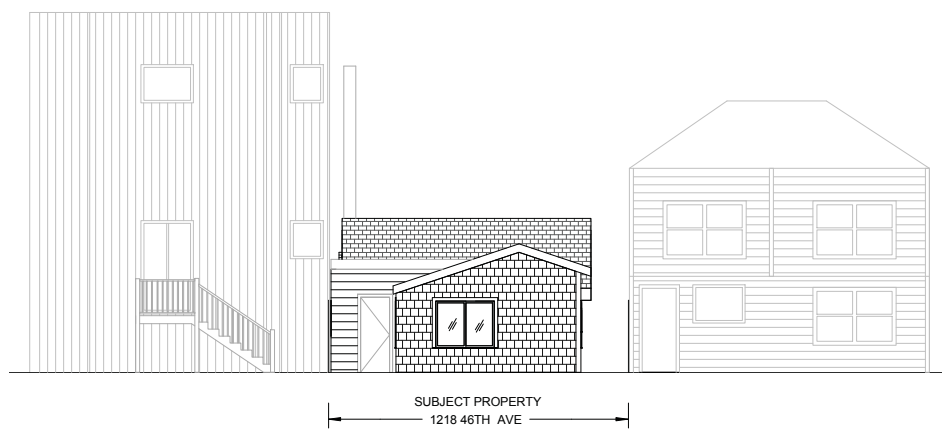
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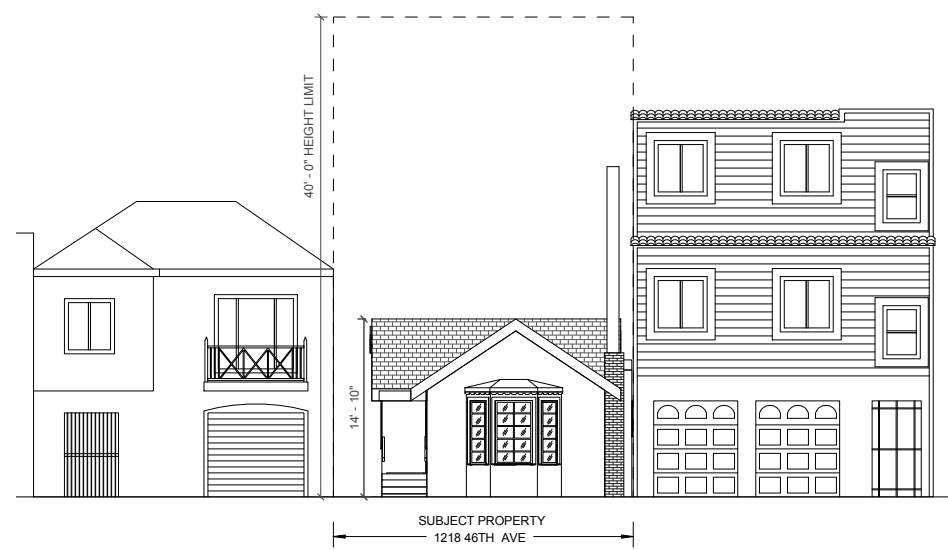
SHEET NUMBER
A1.02
SITE PERMIT



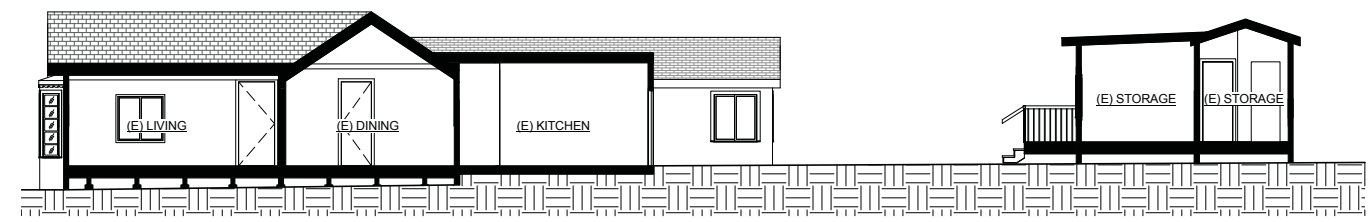
5 EXISTING EAST (REAR) ELEVATION - COTTAGE
1/8" = 1'-0"



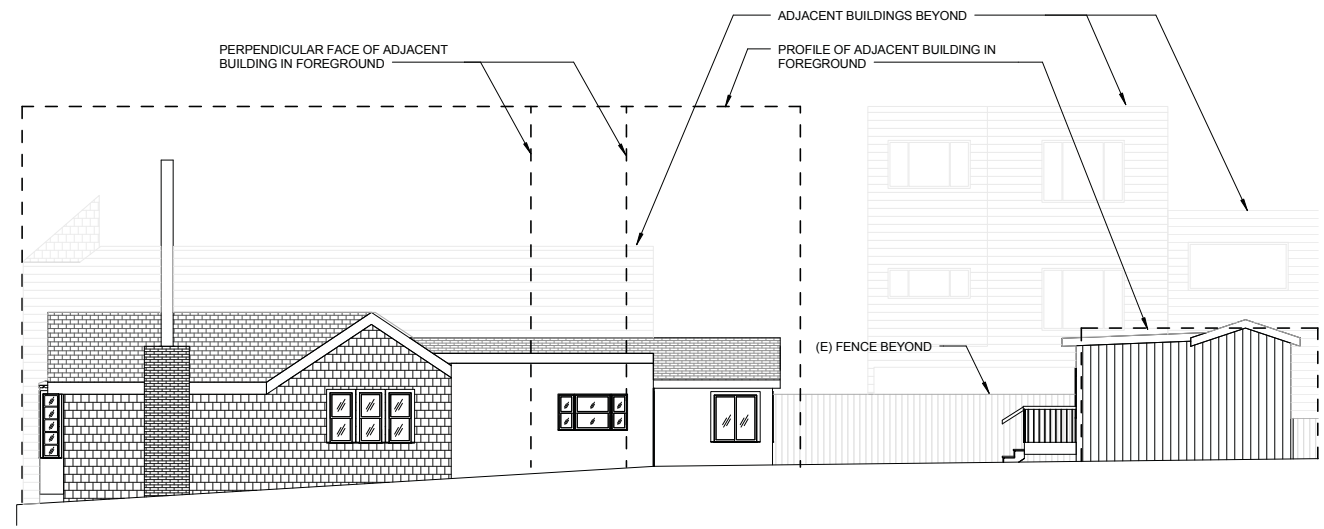
3 EXISTING EAST (REAR) ELEVATION - MAIN HOUSE
1/8" = 1'-0"



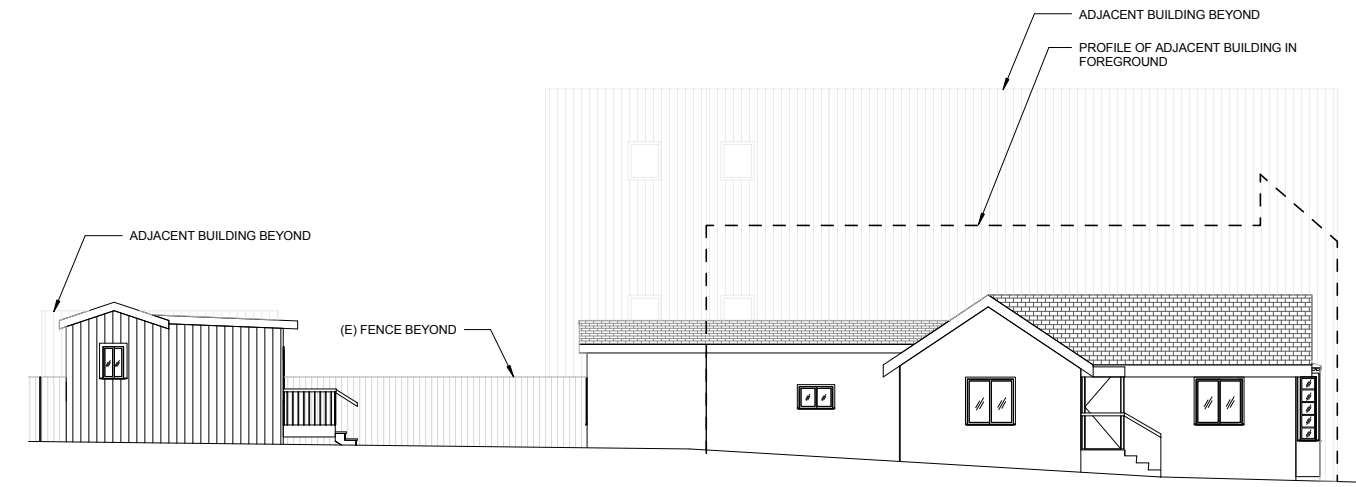
1 EXISTING WEST (FRONT) ELEVATION
1/8" = 1'-0"



6 EXISTING EAST-WEST SECTION
1/8" = 1'-0"



4 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



2 EXISTING NORTH ELEVATION
1/8" = 1'-0"



7 BUILDINGS ON THE FACING SIDE OF THE STREET
N.T.S.



6 REAR FACADE OF THE SUBJECT BUILDING
N.T.S.



5 VIEW OF EXISTING COTTAGE
N.T.S.



4 BUILDINGS ON THE SAME SIDE OF THE STREET
N.T.S.

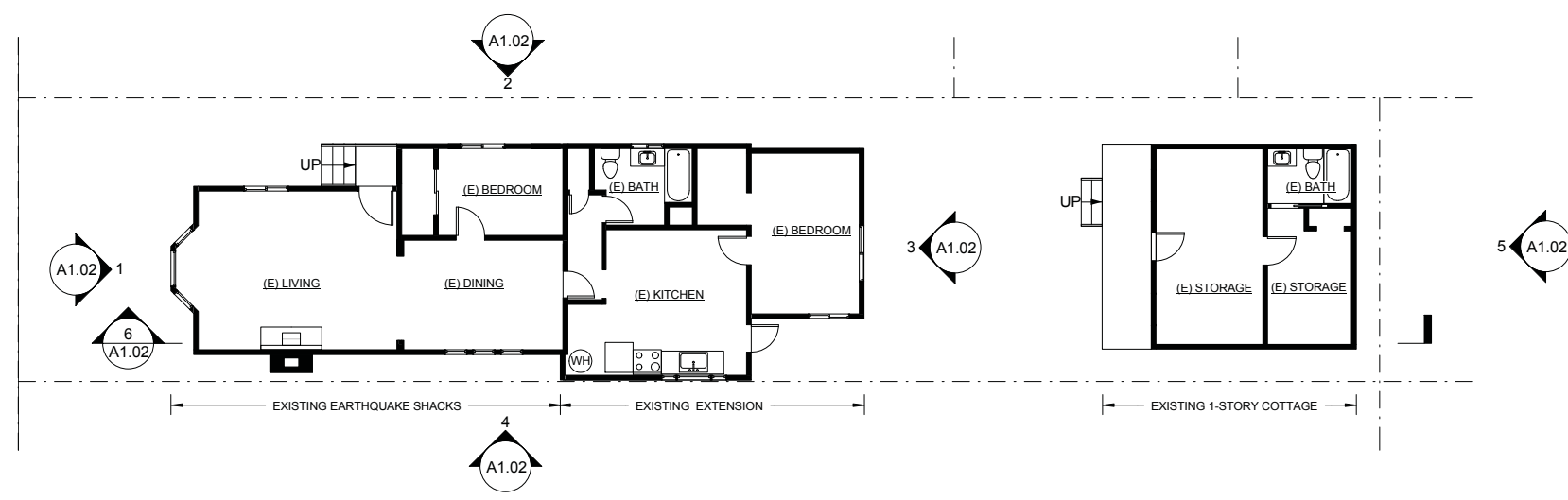


3 FRONT FACADE OF THE SUBJECT BUILDING
N.T.S.



2 REAR VIEW OF THE ADJACENT BUILDINGS
N.T.S.

NO.	DATE	REVISION
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1 EXISTING FLOOR PLAN - LEVEL 1
1/8" = 1'-0"



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SAN FRANCISCO, CA 94122
BLOCK 1705 LOT 041

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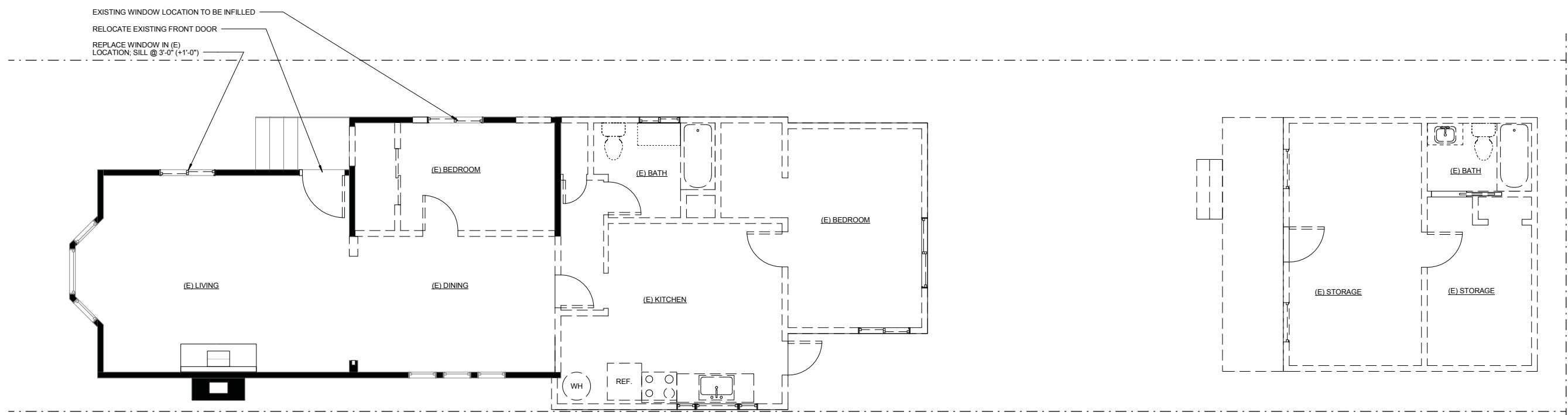
SHEET NUMBER
A1.03
SITE PERMIT



WALL LEGEND			
EXISTING	DEMO WALL	NEW WALL	NEW 1-HOUR WALL

1218 46th Avenue
 DEMOLITION PLAN

NO.	DATE	REVISION
1	9/23/15	Pre-Application Meeting
2	12/8/15	Site Permit



1 DEMOLITION PLAN - LEVEL 1
 1/4" = 1'-0"



PROJECT LOCATION
1218 46TH AVE
SAN FRANCISCO, CA 94122
BLOCK 1705 LOT 041

ISSUE DATE
DECEMBER 10, 2015

SHEET NUMBER
A2.01
 SITE PERMIT

ORIGINAL SHEET SIZE 22" x 34"



1218 46th Avenue
PROPOSED FLOOR PLANS

NO.	DATE	REVISION
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2	12/8/15	Site Permit

PROJECT LOCATION
1218 46TH AVE
SAN FRANCISCO, CA 94122
BLOCK 1705 LOT 041

ISSUE DATE
DECEMBER 10, 2015

SHEET NUMBER
A2.02
SITE PERMIT

ORIGINAL SHEET SIZE 22" x 34"

WALL LEGEND			
EXISTING	DEMO WALL	NEW WALL	NEW 1-HOUR WALL

- SHEET NOTES**
1. VERIFY STAIR LAYOUT & RISER/ TREAD SIZES IN THE FIELD PRIOR TO INSTALLATION.
 2. STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" ON EITHER SIDE OF THE STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31 1/2" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.
 3. THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4". THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
 4. THE MINIMUM TREAD DEPTH SHALL BE 10". THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
 5. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6'- MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.
 6. PROVIDE NON-SLIP FINISH AT ALL EXTERIOR WALKING SURFACES, PAVING & STAIRS.
 7. THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16" A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8" BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/2" RISERS SHALL BE VERTICAL OR SLOPED UNDER THE TREAD ABOVE FROM THE UNDERSIDE OF THE NOSING ABOVE AT AN ANGLE NOT MORE THAN 30 DEG. FROM THE VERTICAL. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" SPHERE.
 9. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY.

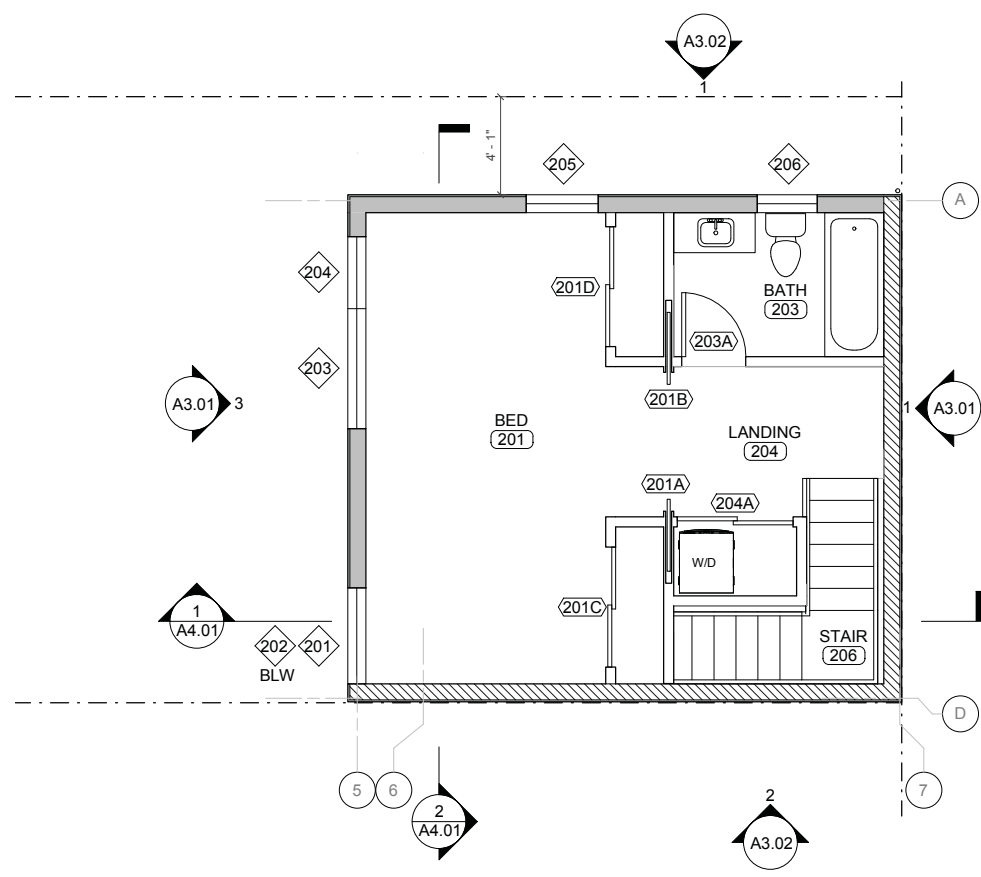
- STAIR NOTES**
1. VERIFY STAIR LAYOUT & RISER/ TREAD SIZES IN THE FIELD PRIOR TO INSTALLATION.
 2. STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" ON EITHER SIDE OF THE STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 31 1/2" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.
 3. THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4". THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
 4. THE MINIMUM TREAD DEPTH SHALL BE 10". THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
 5. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6'- MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.
 6. PROVIDE NON-SLIP FINISH AT ALL EXTERIOR WALKING SURFACES, PAVING & STAIRS.
 7. THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16" A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8" BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/2" RISERS SHALL BE VERTICAL OR SLOPED UNDER THE TREAD ABOVE FROM THE UNDERSIDE OF THE NOSING ABOVE AT AN ANGLE NOT MORE THAN 30 DEG. FROM THE VERTICAL. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" SPHERE.
 9. THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY.

- GUARDRAIL NOTES**
1. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30" MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD.
 2. REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS, SHALL BE NOT LESS THAN 42" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE. ADJACENT FIXED SEATING OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34" MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS. WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL NOT BE NOT LESS THAN 34" AND NOT MORE THAN 38" MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS.
 3. REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER. THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF A STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6" IN DI.
 4. GUARDS SHALL BE ADEQUATE IN STRENGTH AND ATTACHMENT IN ACCORDANCE WITH CBC [1607.7].

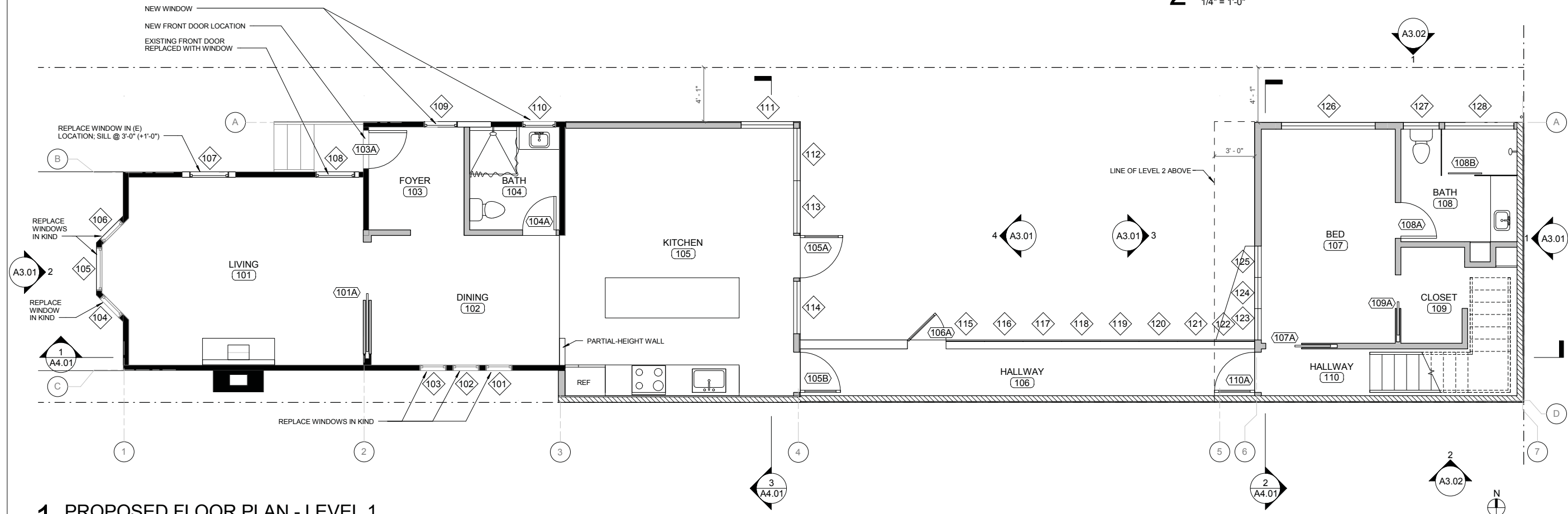
- HANDRAIL NOTES**
1. PROVIDE HANDRAIL ON AT LEAST ONE SIDE AT EACH STAIR CASE WITH AT LEAST 4 RISERS.
 2. HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAILS.
 3. HANDRAILS SHALL BE ADEQUATE IN STRENGTH AND ATTACHMENT IN ACCORDANCE WITH CBC [1607.7].
 4. HANDRAIL HEIGHT MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSINGS SHALL BE BETWEEN 34" & 38".
 5. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH

- GLAZING NOTES**
1. GLAZING LOCATIONS SUBJECT TO HUMAN IMPACT SHALL BE OF TEMPERED OR LAMINATED TYPE/SHATTER PROOF SAFETY GLASS.
 2. USE SAFETY GLASS AT DOORS, GLAZING ADJACENT TO DOORS WITHIN 24" OF THE VERTICAL EDGES OF THE DOOR.
 3. USE SAFETY GLASS IN GLAZING THAT LIES WITHIN 5 FT. FROM THE TOP & BOTTOM OF STAIRS.
 4. USE SAFETY GLASS IN GLAZING THAT LIES LESS THAN 18" ABOVE FLOOR LEVEL.
 5. USE SAFETY GLASS IN DOORS & ENCLOSURES OF TUBS & SHOWERS, & GLAZING IN WARDROBE DOORS.
 6. HINGED SHOWER DOORS SHALL BE MIN. 24" WIDE & SHALL OPEN.
 7. OPER. SKYLIGHT HINGE IS @ UPPER SIDE OF SKYLIGHT

- DIMENSIONING NOTES**
1. DO NOT SCALE DRAWINGS, DIMENSIONS SHALL GOVERN.
 2. DRAWINGS MAY NOT BE DRAWN TO EXACT SCALE. LARGE SCALE PLANS & DETAILS SHALL GOVERN OVER SMALL SCALE.
 3. IF UNABLE TO LOCATE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT THE ARCHITECT PRIOR TO CONSTRUCTION.
 4. ALL HEIGHTS ARE DIMENSIONED FROM TOP OF FINISH FLOOR U.O.N.
 5. DIMENSIONS ARE NOT ADJUSTABLE, UNLESS NOTED (+/-), WITHOUT ARCHITECTS WRITTEN APPROVAL.
 6. EXCEPT WHERE SPECIFICALLY NOTED TO THE CONTRARY, ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS CONFORM TO THE FOLLOWING CONVENTIONS (A) STRUCTURAL & CONSTRUCTION GRID LINES ARE MEASURED TO THE FACE OF FRAMING MEMBERS. (B) ALL OTHER DIMENSIONS ARE TYPICALLY TO THE FACE OF FINISH U.O.N. (C) WHERE WALLS &/OR PARTITIONS OF UNEQUAL THICKNESS ABUT, ALIGN EXPOSED FACES U.O.N.



2 PROPOSED FLOOR PLAN - LEVEL 2
1/4" = 1'-0"

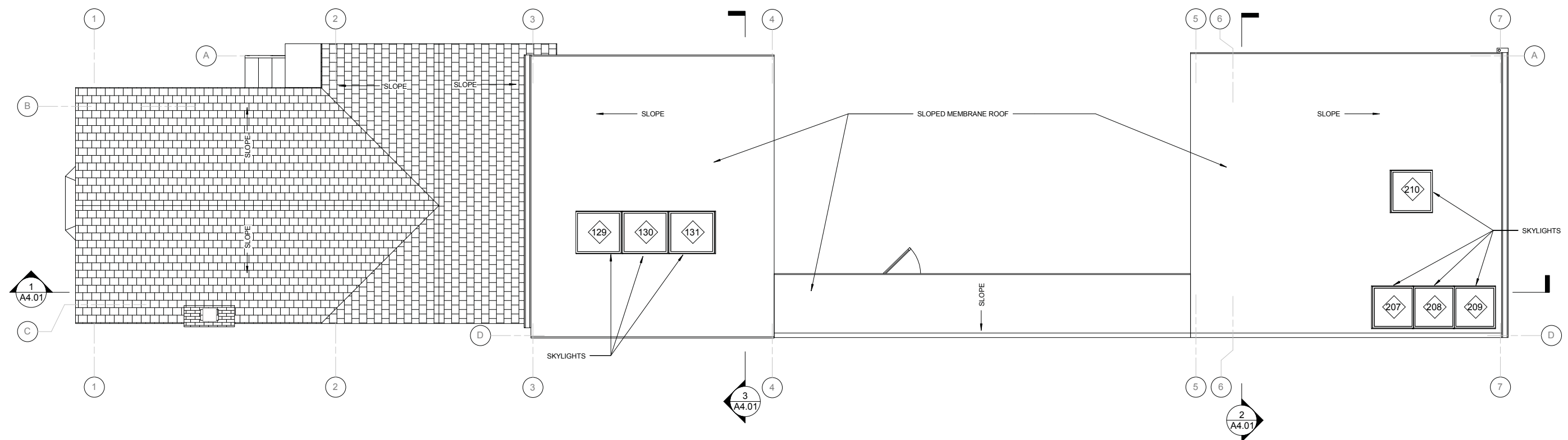


1 PROPOSED FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

1218 46th Avenue

PROPOSED ROOF PLAN

NO.	DATE	REVISION
1	9/23/15	Pre-Application Meeting
2	12/8/15	Site Permit

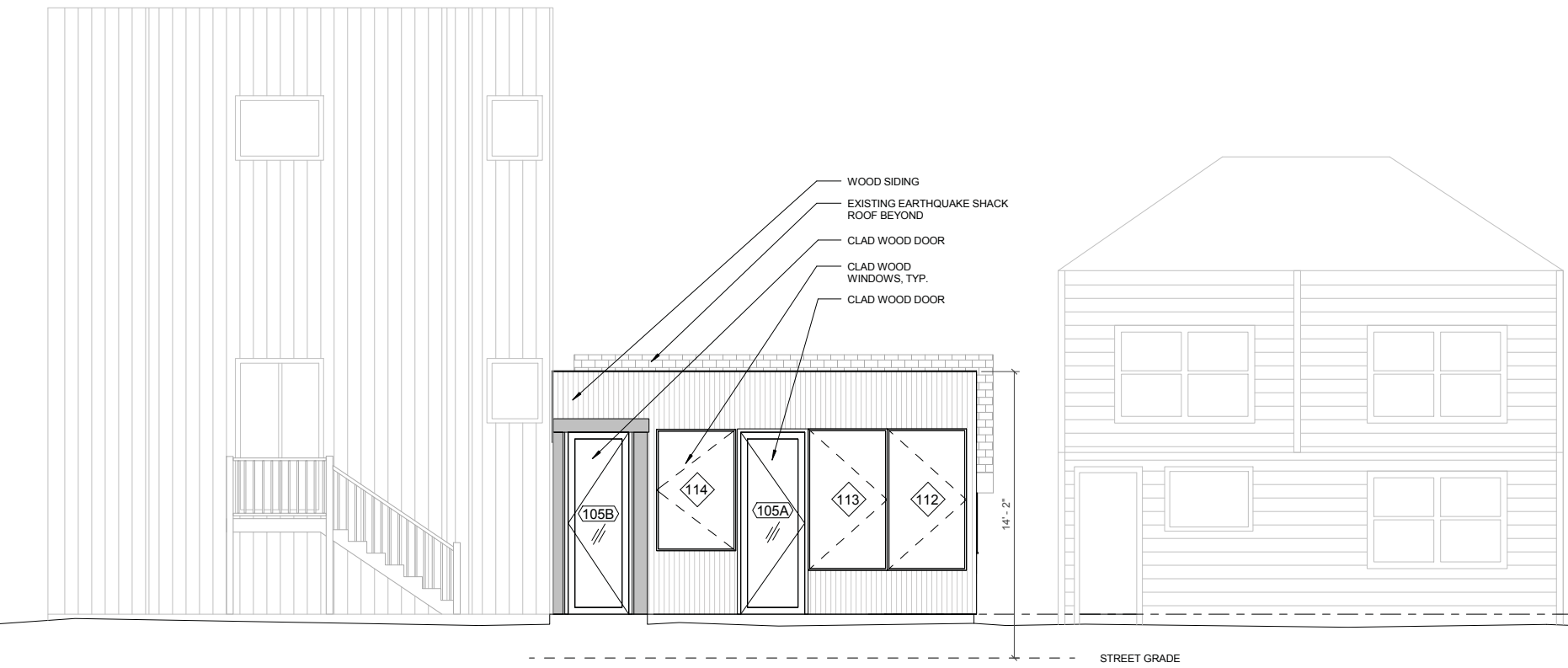


1 PROPOSED ROOF PLAN
1/4" = 1'-0"

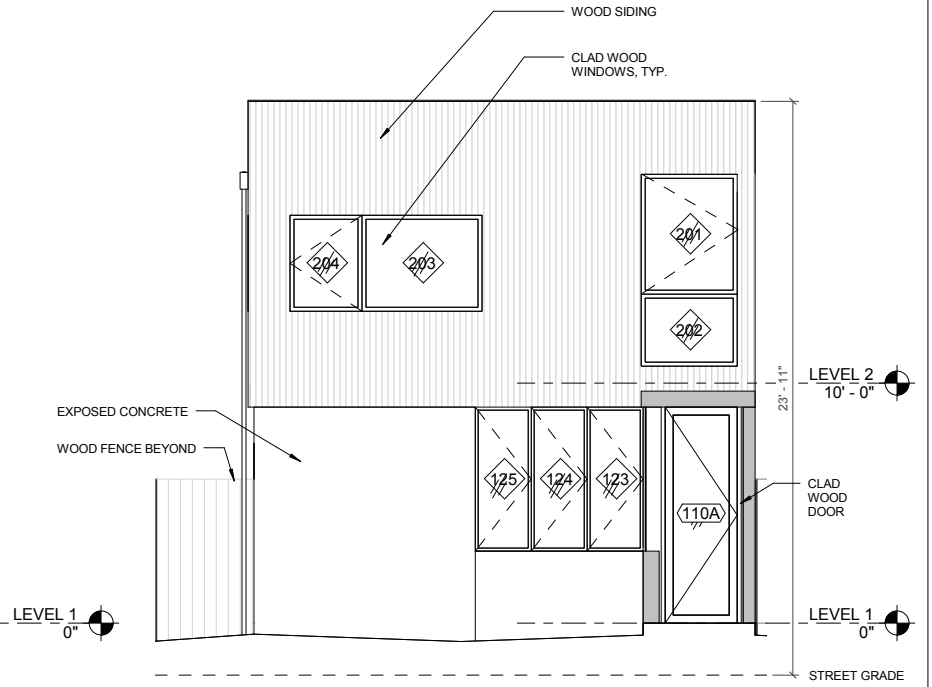
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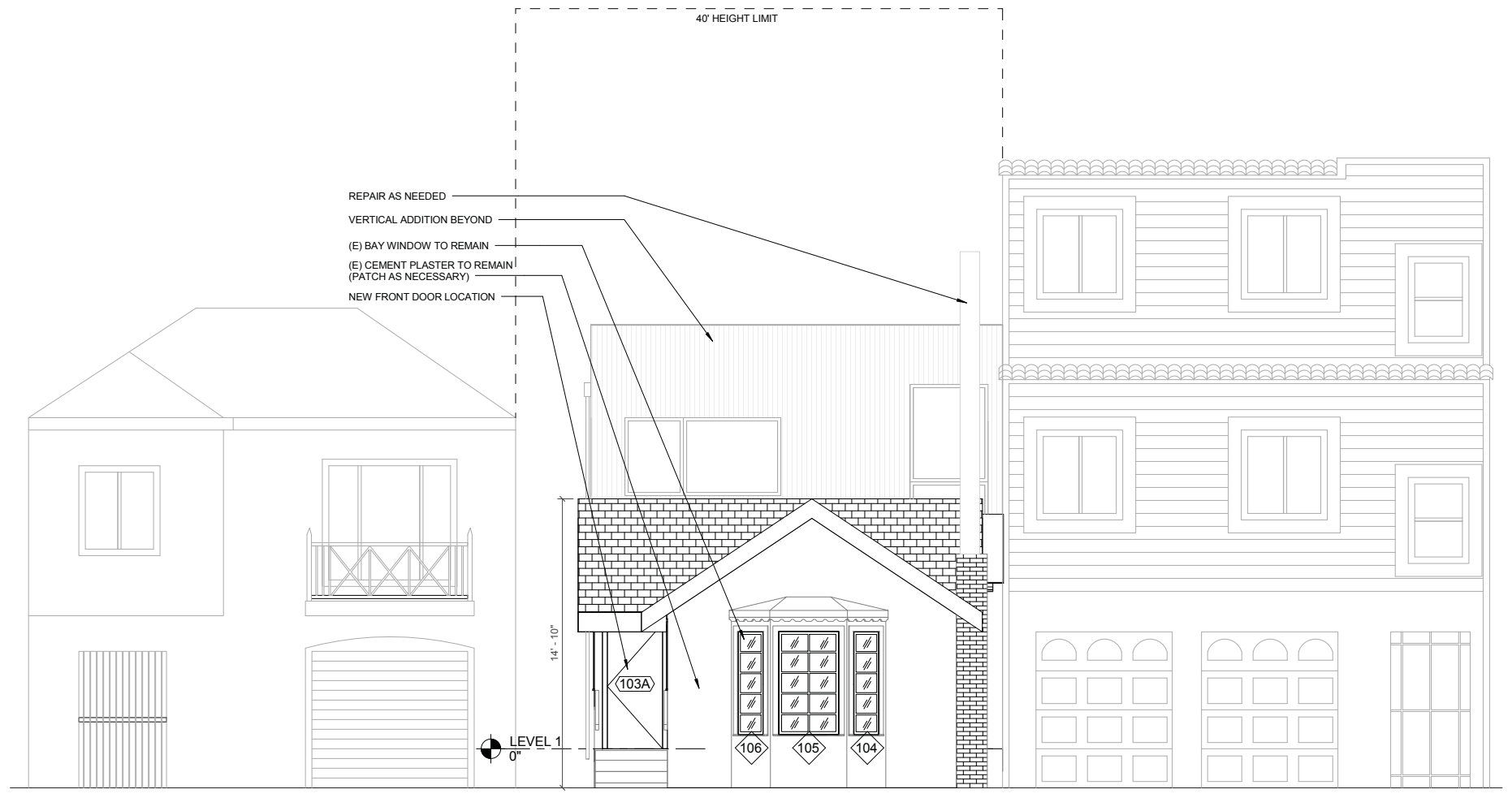
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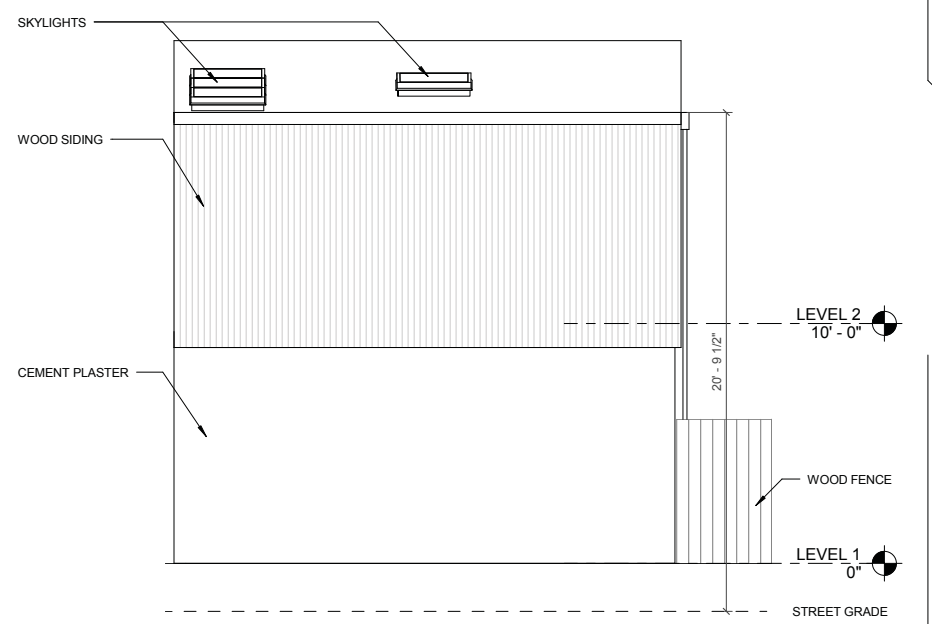
4 COURTYARD WEST ELEVATION
1/4" = 1'-0"



3 COURTYARD EAST ELEVATION
1/4" = 1'-0"



2 WEST (FRONT) ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

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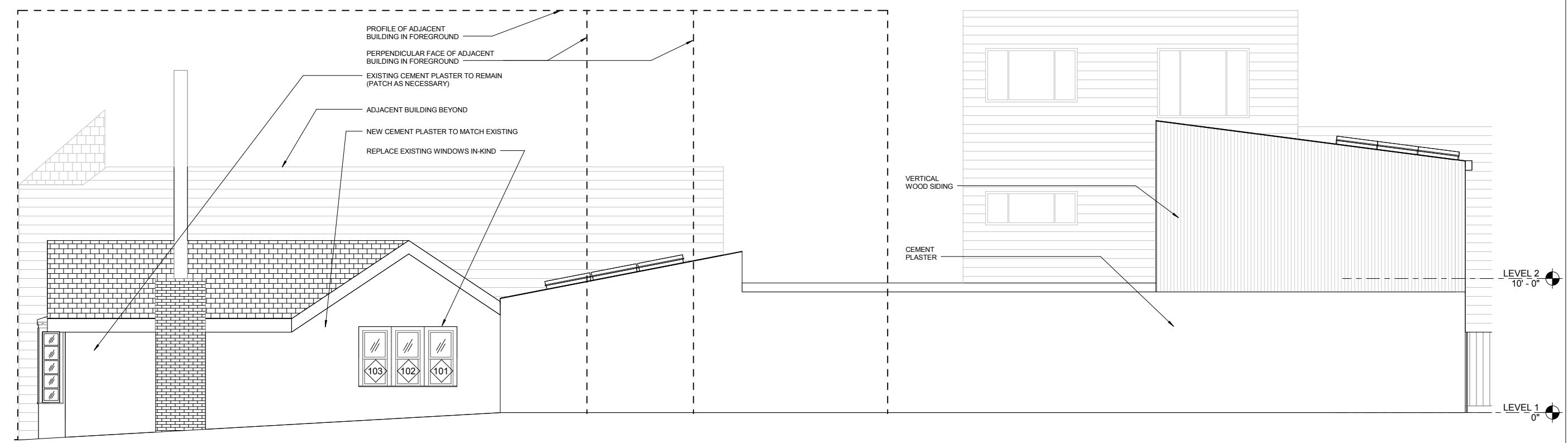
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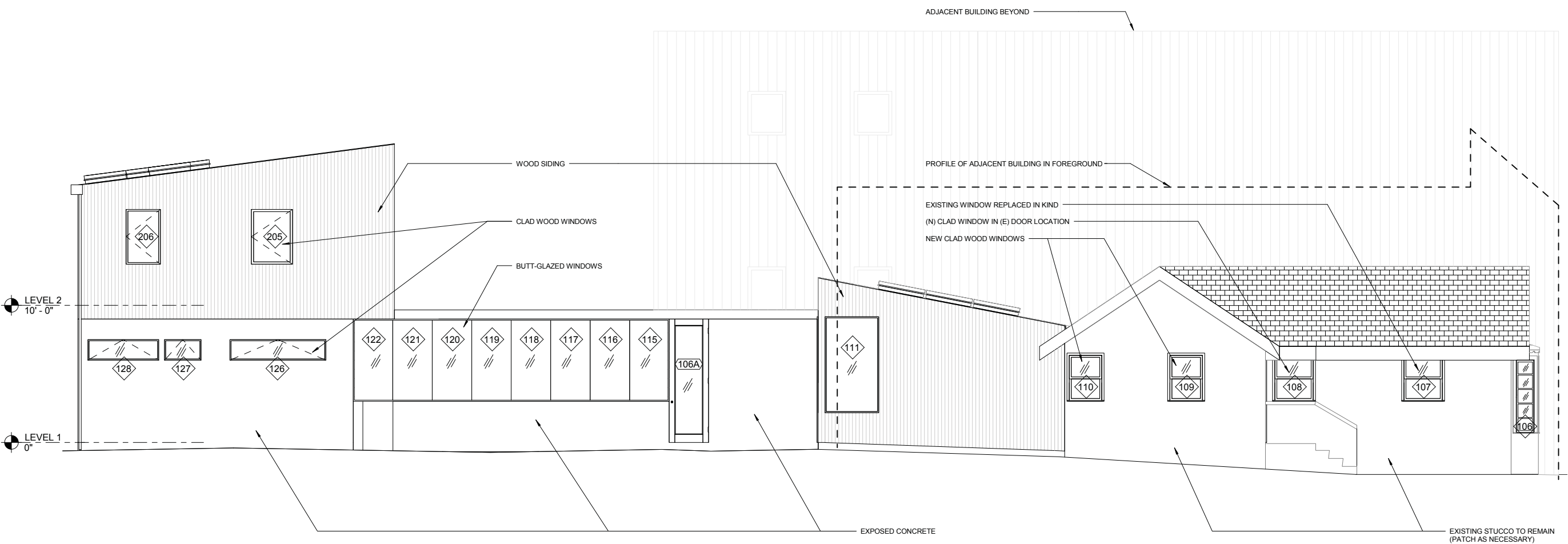
SHEET NUMBER
A3.01
SITE PERMIT

1218 46th Avenue

PROPOSED ELEVATIONS



2 SOUTH ELEVATION
1/4" = 1'-0"



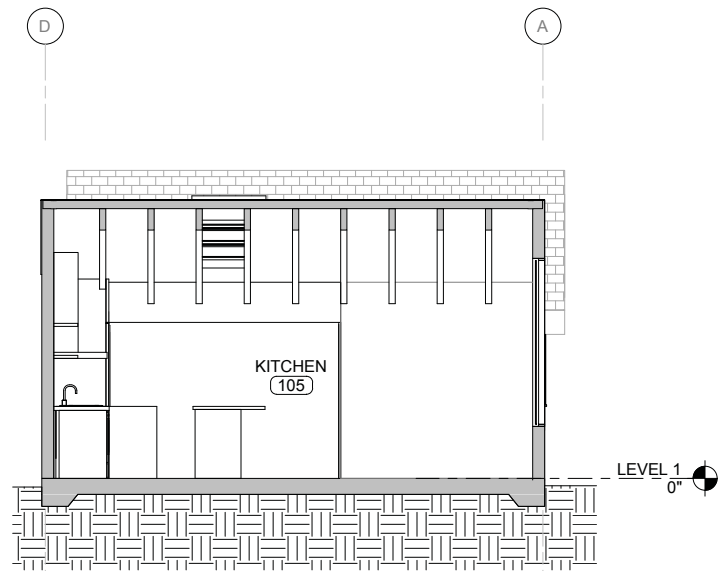
1 NORTH ELEVATION
1/4" = 1'-0"

NO.	DATE	REVISION
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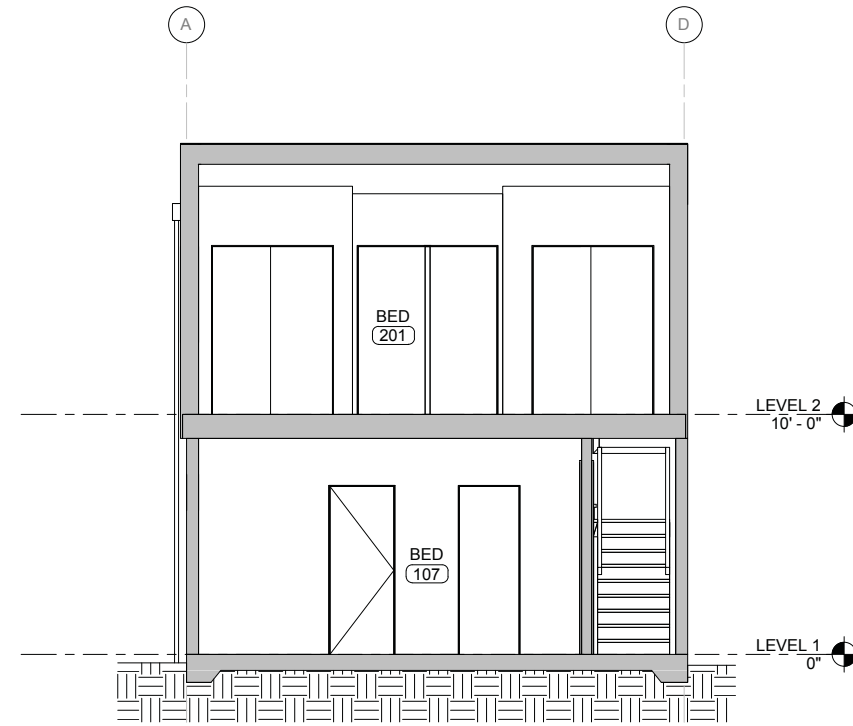
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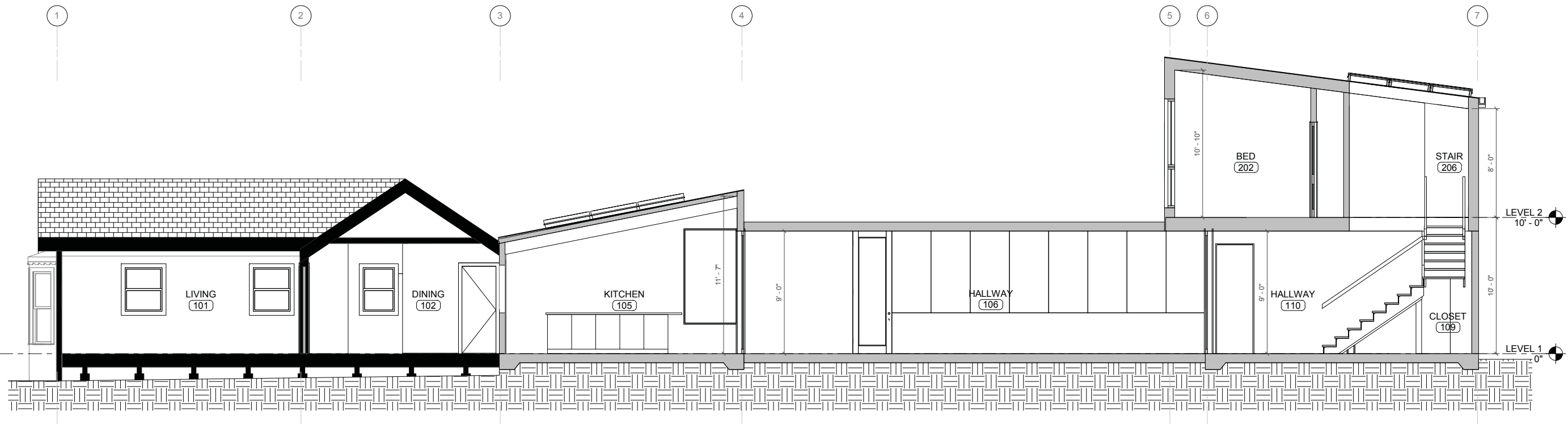
SHEET NUMBER
A3.02
 SITE PERMIT



3 PROPOSED NORTH-SOUTH SECTION AT KITCHEN
 1/4" = 1'-0"



2 PROPOSED NORTH-SOUTH SECTION AT BEDROOMS
 1/4" = 1'-0"



1 PROPOSED EAST-WEST SECTION
 1/4" = 1'-0"

NO.	DATE	REVISION
1	9/23/15	Pre-Application Meeting
2	12/8/15	Site Permit

PROJECT LOCATION
 1218 46TH AVE
 SAN FRANCISCO, CA 94122
 BLOCK 1705 LOT 041

ISSUE DATE
 DECEMBER 10, 2015

SHEET NUMBER
A4.01
 SITE PERMIT