



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 25, 2016**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 4229 20th St	Case No.: 2015-016017VAR
Cross Street(s): Collingwood/Castro	Building Permit: 2015.12.01.3895
Block / Lot No.: 2752/031	Applicant/Agent: George Schevon
Zoning District(s): RH-3	Telephone: 510-644-3407
Area Plan: N/A	E-Mail: george@studio4architecture.com

PROJECT DESCRIPTION

The proposal is to construct a side addition (east elevation), increase the roof height on the building's rear portion, install new windows/doors and expand the rear deck.

SECTION 134 OF THE PLANNING CODE requires a rear yard of 34 feet 2 inches. The project proposes to expand a portion of the existing building which encroaches into the required rear yard and legalize and expand the existing rear deck/stairs which are located within the required rear yard; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Nancy Tran** Telephone: **415-575-9174** Mail: Nancy.H.Tran@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2015-016017VAR.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On May 4, 2016, the Department issued the required Section 311 notification for this project (expires June 3, 2016).**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

GENERAL NOTES

- THE ARCHITECT OR OWNER SHALL SUBMIT DRAWINGS FOR PLAN CHECK. THE OWNER SHALL PAY FOR ALL PLAN CHECK FEES. THE CONTRACTOR SHALL APPLY FOR, PICK UP AND PAY FOR ALL PERMITS.
- ALL WORK SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING UNLESS NOTED OTHERWISE.
- ALL WORK SHALL BE COMPLETED SKILLFULLY AND IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS.
- EXCEPT WHERE CONTRACT DOCUMENTS INCLUDE MORE STRINGENT REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS INCLUDING MANUFACTURER STANDARDS AND INSTALLATION INSTRUCTIONS HAVE THE SAME FORCE AND EFFECT AS IF BOUND OR COPIED INTO THE CONTRACT DOCUMENTS. SUCH STANDARDS ARE PART OF THE CONTRACT DOCUMENTS BY REFERENCE. WHERE COMPLIANCE WITH A STANDARD IS REQUIRED, COMPLY WITH THE STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.
- THE DRAWINGS SHOW ONLY REPRESENTATIVE TYPICAL DETAILS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY CONDITION.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ANY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND OTHER ITEMS AS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL COORDINATE THE VARIOUS CONSTRUCTION ACTIVITIES TO ASSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS THAT ARE DEPENDENT UPON EACH OTHER FOR PROPER INSTALLATION, CONNECTION AND OPERATION.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR OWNER PROVIDED MATERIALS. THE OWNER SHALL DETERMINE LEAD TIME FOR ALL PRODUCTS AND DELIVER PRODUCTS WHEN NEEDED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF THE ITEMS TO THE OWNER WITHIN TWO WEEKS AFTER THE START OF CONSTRUCTION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS.
- THE CONTRACTOR SHALL INFORM THE ARCHITECT OF SCHEDULE REVISIONS.
- THE CONTRACTOR SHALL INFORM THE ARCHITECT ON THE PROGRESS OF THE WORK ON A WEEKLY BASIS OR MORE FREQUENTLY AS CONDITIONS WARRANT.
- THE CONTRACTOR SHALL SCHEDULE MEETINGS WITH THE OWNER ON A TIMELY BASIS AND TO ALLOW FOR TIME REQUIRED TO PROVIDE APPROPRIATE RESPONSE TO ANY QUESTIONS OR SITE CONDITIONS.
- THE CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AND FOR ANOTHER MEETING, AFTER REVIEWING THE PROJECT DIMENSIONAL LAYOUT, FOR THE REVIEW BY THE ARCHITECT AND OWNER.
- THE CONTRACTOR SHALL ALLOW TWO WEEKS FOR REVIEW OF SUBMITTALS, SHOP DRAWINGS, SUBSTITUTIONS, AND RFIS BY THE ARCHITECT. CONTRACTOR SHALL REVIEW ALL SUBMITTALS BEFORE ISSUING THEM TO THE ARCHITECT FOR REVIEW.
- SUBMIT SHOP DRAWINGS OF ELEVATIONS OF WINDOW WALLS AND FULL-SIZE DETAILS SHOWING THICKNESS, PROFILES, JOINTING, CONNECTIONS, AND ASSEMBLY OF VARIOUS MEMBERS, REINFORCEMENT, ANCHORAGE, AND SUPPORTS, FLASHING AND SEALANTS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS THEMSELVES OR BETWEEN:
 - THE CONTRACT DOCUMENTS AND EXISTING FIELD CONDITIONS.
 - MANUFACTURER'S INSTRUCTIONS, REGULATIONS, CODES AND THE CONTRACT DOCUMENTS.
- ALL CHANGE ORDERS SHALL BE IN WRITING AND SHALL BE SIGNED BY THE OWNER AND CONTRACTOR. CHANGE ORDERS SHALL BE SIGNED PRIOR TO BEGINNING THE WORK OR ORDERING THE MATERIALS ADDRESSED IN THE CHANGE ORDER.
- THE CONTRACTOR SHALL SUBMIT ALL DESIGN CHANGES OR SUBSTITUTIONS TO THE ARCHITECT FOR APPROVAL. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CHANGES IN THE CONTRACT DOCUMENTS, CONSTRUCTION COST OR TIME, UNLESS APPROVED IN WRITING AND IN ADVANCE BY THE ARCHITECT.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL MODIFICATIONS REQUESTED BY THE BUILDING DEPARTMENT, OR OFFICIAL HAVING JURISDICTION, AND OF ALL CHANGES REQUESTED BY THE INSPECTOR, OWNER, OR OTHERS. SUBSTITUTIONS WILL BE CONSIDERED, BUT DO NOT SUBSTITUTE DETAILS, EQUIPMENT, OR METHODS WITHOUT SPECIFIC, WRITTEN APPROVAL BY THE ARCHITECT.
- THE CONTRACTOR SHALL VERIFY WITH THE ARCHITECT CODE UPGRADE WORK NOT REQUIRED BY THE OFFICIAL HAVING JURISDICTION. IF THE CONTRACTOR BELIEVES CODE WORK IS NECESSARY, AND IT HAS NOT BEEN REQUIRED BY THE OFFICIAL HAVING JURISDICTION, THE ARCHITECT SHALL DETERMINE WHETHER WORK SHALL BE UNDERTAKEN.
- REMODELING, REPAIR OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS. BECAUSE SOME OF THE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT DESTROYING ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE CONTRACTOR SHALL VERIFY ALL QUESTIONS, CONDITIONS, AND PROCEDURES WITH THE ARCHITECT PRIOR TO COMMENCING EACH PORTION OF THE WORK.
- THE CONTRACTOR SHALL CONFIRM ALL EXISTING DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO BEGINNING WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS MUST BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL RESOLVE ANY DISCREPANCY PRIOR TO PROCEEDING WITH THE WORK.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. [DIMENSIONS ARE TO THE FACE OF FRAME, UNLESS OTHERWISE NOTED.]
- THE REMOVAL OR ALTERING IN ANY WAY OF EXISTING WORK SHALL BE CARRIED ON IN SUCH A MANNER AS TO PREVENT INJURY OR DAMAGE TO ANY PORTION (S) OF THE EXISTING WORK TO REMAIN.
- WHERE CONSTRUCTION AFFECTS ADJACENT PROPERTY OR AN EXISTING STRUCTURE, THE CONTRACTOR SHALL VERIFY, PRIOR TO THE START OF THE WORK, IF ANY CONDITIONS WILL AFFECT WORK PROGRESS OR CONFORMANCE TO THESE DOCUMENTS.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED AS A RESULT OF THE WORK. ANY DAMAGE SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER.
- WHERE EXISTING CONSTRUCTION IS CUT, DAMAGED, OR REMODELED, PATCH OR REPLACE WITH MATERIALS TO MATCH IN KIND, QUALITY, AND PERFORMANCE WITH ADJACENT MATERIALS.
- DO NOT NOTCH, BORE, OR CUT STRUCTURAL MEMBERS FOR PIPES, DUCTS, OR OTHER REASONS WITHOUT THE SPECIFIC, ADVANCE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR CAPPING OFF ANY UTILITY LINES DISTURBED DURING THE DEMOLITION AND CONSTRUCTION PROCESS THAT COULD BE A SAFETY HAZARD OR CAUSE DAMAGE TO THE BUILDING.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY SUPPORTS, BRACING, AND SHORING OF EXISTING STRUCTURAL MEMBERS AS REQUIRED DURING THE CONSTRUCTION PROCESS. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BARRICADES.
- UNLESS OTHERWISE INDICATED, ALL NEW WORK SHALL MATCH EXISTING MATERIALS, DETAILS, TRIM, ETC. TO THE FULLEST EXTENT POSSIBLE. PROVIDE PRODUCTS OF THE SAME KIND AND FROM A SINGLE SOURCE.
- PRIOR TO ORDERING OR FABRICATING MATERIAL, EQUIPMENT, OR PRODUCTS, THE CONTRACTOR SHALL DETERMINE THAT THE SIZE AND PRODUCTS INDICATED WILL PROPERLY ACCOMPLISH THE INTENT OF THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL INSPECT MATERIALS AND EQUIPMENT IMMEDIATELY UPON DELIVERY AND AGAIN PRIOR TO INSTALLATION. CONTRACTOR SHALL REJECT DAMAGED AND DEFECTIVE ITEMS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT, FIXTURES, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- FOLLOW THE MANUFACTURER'S INSTRUCTIONS CAREFULLY. THE MANUFACTURER'S INSTRUCTIONS AND WARRANTIES SHALL BE GIVEN TO THE OWNER AT THE END OF THE JOB.
- THE CONTRACTOR SHALL FLASH AND COUNTERFLASH TO S.M.A.C.N.A. STANDARDS, INDUSTRY STANDARDS, AND MANUFACTURER'S SPECIFICATIONS WHEREVER NECESSARY TO PROVIDE A WATERPROOF AND WEATHERPROOF CONSTRUCTION PROJECT.
- ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS SHALL BE DELIVERED BY THE CONTRACTOR AS A DESIGN/BUILD PACKAGE. THE CONTRACTOR SHALL COORDINATE THE DESIGN AND CONSTRUCTION OF THESE SYSTEMS. THE CONTRACTOR SHALL SUBMIT DESIGN-BUILD DRAWINGS AND PERFORMANCE SPECIFICATIONS TO THE ARCHITECT AS SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO SUBMITTING THE DRAWINGS TO THE BUILDING DEPARTMENT.
- PROVIDE AND INSTALL NEW FIBERGLASS BATT INSULATION (OR OTHER INSULATION AS REQUIRED) AT THE CONTRACTOR'S END AT EXISTING CONSTRUCTION WHERE OPENED UP DURING THE COURSE OF CONSTRUCTION AS FOLLOWS:
 - R-13: AT EXTERIOR WALLS OR WALLS ADJACENT TO UNCONDITIONED SPACES.
 - R-19 AT FLOOR ASSEMBLIES ABOVE CRAWL SPACES.
 - R-30 AT ROOFS AND ROOF DECKS.
- WHERE EXISTING CONSTRUCTION DOES NOT PROVIDE SUFFICIENT DEPTH, INSTALL THE THICKEST STANDARD BATT INSULATION THAT WILL FIT WITHIN THE AVAILABLE SPACE, UNLESS OTHERWISE NOTED IN THE DRAWINGS.
 - GLAZING IN SWINGING DOORS (EXCEPT JALOUSIES).
 - GLAZING IN FIXED AND SLIDING PANELS OF A SLIDING DOOR.
 - GLAZING IN STORM DOORS.
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SF.
 - GLAZING PANELS LESS THAN 18" ABOVE THE FLOOR.
 - GLAZING IN SHOWER DOORS.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT THE JOB SITE AT ALL TIMES, INCLUDING SAFETY OF PERSONS AND PROPERTY. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATION OF SAFETY.
 - GLAZING IN SWINGING DOORS (EXCEPT JALOUSIES).
 - GLAZING IN FIXED AND SLIDING PANELS OF A SLIDING DOOR.
 - GLAZING IN STORM DOORS.
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SF.
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 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- THE CONTRACTOR SHALL KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES. CLEAN MATERIALS, PROTECT CONSTRUCTION IN PROGRESS AND ADJOINING MATERIALS IN PLACE. PROVIDE TEMPORARY, PROTECTIVE COVERINGS WHERE NECESSARY TO ENSURE PROTECTION FROM DAMAGE OR DETERIORATION.
- THE CONTRACTOR SHALL PERIODICALLY CLEAN AND MAINTAIN COMPLETED CONSTRUCTION ON A REGULAR BASIS. AT THE COMPLETION OF THE PROJECT, PROVIDE A FINAL CLEANING OF ALL SURFACES. POLISH ALL GLASS, BROOM SWEEP EXTERIOR SURFACES, AND VACUUM ALL INTERIOR FLOORS. CONTRACTOR SHALL LEAVE THE PREMISES CLEAN, ORDERLY, AND READY FOR OCCUPANCY.
- THE CONTRACTOR SHALL DISPOSE OF ALL DEBRIS AND WASTE OFF SITE IN A LEGAL MANNER AND ON A REGULAR BASIS TO PREVENT EXCESS ACCUMULATION ON SITE.
- STUDIO 4 ARCHITECTURE (S4A) AND S4A'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO MOLD, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB), LEAD OR OTHER TOXIC SUBSTANCES.
- THE CONTRACTOR SHALL INSTALL ALL ELECTRICAL OUTLETS, SWITCHES AND LIGHTING FIXTURES AS REQUESTED BY OWNER AND REQUIRED BY CODE.
- STUDIO 4 ARCHITECTURE (S4A) AND S4A'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO MOLD, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING BUILDING CODES AND STANDARDS:

- 2013 CALIFORNIA BUILDING CODE (CBC)
- 2013 CALIFORNIA ELECTRICAL CODE (CEC)
- 2013 CALIFORNIA MECHANICAL CODE (CMC)
- 2013 CALIFORNIA PLUMBING CODE (CPC)
- 2013 CALIFORNIA ENERGY CODE (CEC)
- 2013 CALIFORNIA FIRE CODE (CFC)
- 2013 CALIFORNIA GREEN BUILDING STANDARDS (CGBCS)
- CITY OF SAN FRANCISCO MUNICIPAL CODE

NOTES

- CONTRACTOR TO SUBMIT SIZING CALCULATION TO THE CITY INSPECTOR FOR WATER LINE TO VERIFY THAT EXISTING WATER LINE IS ADEQUATE
- CONTRACTOR TO SUBMIT SIZING CALCULATION TO THE CITY INSPECTOR FOR SEWER LINE TO VERIFY THAT THE EXISTING SANITARY SEWER IS ADEQUATE

ABBREVIATIONS

ABBREVIATION	TERM	FIN.	FINISH	P.T.	PRESSURE TREATED
&	AND	FLR.	FLOOR	PTD.	PAINTED
@	ANGLE	FLOUR.	FLUORESCENT	PTN.	PARTITION
@	AT	F.O.	FACE OF FINISH	R.	RISER
A.B.	ANCHOR BOLTS	F.O.F.	FACE OF STUD	R.D.	ROOF DRAIN
ABV.	ABOVE	F.O.S.	FIBERGLASS REINFORCED PANEL	REF.	REFRIGERATOR
A.C.	AIR CONDITIONING	F.R.P.	FIBERGLASS REINFORCED CONCRETE	REG.	REGISTER
A.C.T.	ACOUSTICAL CEILING TILE	F.S.E.C.	FOOD SERVICE EQUIPMENT	REQ.	REQUIRED
ACOUS.	ACOUSTIC		CONTRACTOR	RM.	ROOM
ADJ.	ADJUSTABLE OR ADJACENT	FTG.	FOOTING	R.O.	ROUGH OPENING
A.F.F.	ABOVE FINISHED FLOOR	FT.	FOOT OR FEET	R.S.	ROUGH SAWN
AL.	ALUMINUM	GA.	GAUGE	RWD.	REDWOOD
ALT.	ALTERNATE	GALV.	GALVANIZED	R.W.L.	RAIN WATER LEADER
A.P.	ACCESS PANEL	G.F.R.C.	GLASS FIBER REINFORCED CONCRETE	SCH.	SCHEDULE
APPL.	APPLIANCE	G.B.	GRAB BAR	SECT.	SECTION
APPROX.	APPROXIMATELY	G.C.	GENERAL	S.F.	SQUARE FEET
ARCH.	ARCHITECT	GL.	GLASS	SH.	SHELF
BD.	BOARD	GND.	GROUND	SHR.	SHOWER
BLDG.	BUILDING	G.S.M.	GALVANIZED SHEET METAL	SHTG.	SHEATHING
BLKG.	BLOCKING	G.W.B.	GYPSON WALL BOARD	SHT.	SHEET
BM.	BEAM	GYP.	GYPSON	SIM.	SIMILAR
B.N.	BOUNDARY NAILING	H.B.	HOSE BIBB	SPEC.	SPECIFICATION
BOT.	BOTTOM	HDWD.	HARDWOOD	SQ.	SQUARE
C.G.	CORNER GUARD	HWDR.	HARDWARE	STD.	STANDARD
C.J.	CONTROL JOINT	HGT.	HEIGHT	STL.	STEEL
C.L.	CENTER LINE	HORIZ.	HORIZONTAL	S.S.	STAINLESS STEEL
CLG.	CEILING	HR.	HOUR, HOURS	S.S.D.	SEE STRUCTURAL DRAWINGS
CLO.	CLOSET	INSUL.	INSULATION	S.W.	SHEAR WALL
CLR.	CLEAR	INT.	INTERIOR	STOR.	STORAGE
C.M.U.	CONCRETE MASONRY UNIT	JAN.	JANITOR	STR.	STRUCTURE
		JT.	JOINT	SUSP.	SUSPENDED
		K.E.C.	KITCHEN EQUIPMENT	CONTRACTOR	CONTRACTOR
		KIT.	KITCHEN		
CNTR.	COUNTER	LAV.	LAVATORY	T	TREAD
COL.	COLUMN	MAX.	MAXIMUM	T.B.	TO BE DETERMINED
CONC.	CONCRETE	MECH.	MECHANICAL	T.B.D.	TEMPERED
CONST.	CONSTRUCTION	MFR.	MANUFACTURER	TEMP.	TEMPERED
CONT.	CONTINUOUS	MIN.	MINIMUM	T.O.C.	TOP OF CURB
CPT.	CARPET	MISC.	MISCELLANEOUS	T&G	TONGUE AND GROOVE
CTR.	CENTER	MTD.	MOUNTED	T.H.K.	THICK
CTSK.	COUNTERSINK	MTL.	METAL	T.N.	TOE NAIL
DBL.	DOUBLE	MTRL.	MATERIAL	T.O.B.	TOP OF BEAM
DK.F.	DRINKING FOUNTAIN	(N)	NEW	T.O.CONC.	TOP OF CONCRETE
DIA.	DIAMETER	N.I.C.	NOT IN CONTRACT	T.O.P.V.	TOP OF PAVEMENT
DIM.	DIMENSION	NO.	NUMBER	T.O.P.	TOP OF PLATE
DISP.	DISPENSER	NOM.	NOMINAL	T.O.W.	TOP OF WALL
DIST.	DISTANCE	N.T.S.	NOT TO SCALE	TYP.	TYPICAL
DN.	DOWN	O/	OVER	U.N.O.	UNLESS NOTED OTHERWISE
D.F.	DOUGLAS FIR	O.C.	ON CENTER	VERT.	VERTICAL
DR.	DOOR	O.H.	OVERHEAD	V.I.F.	VERIFY IN FIELD
DS	DOWNSPOUT	O.D.R.	OWNER SUPPLIED, CONTRACTOR INSTALLED	WT.	WEIGHT
DTL.	DETAIL	O.S.C.I.	OWNER SUPPLIED, CONTRACTOR INSTALLED	W/	WITH
DWG.	DRAWING	P.B.O.	PROVIDED BY OWNER	W.C.	WATER CLOSET
(E)	EXISTING	PEN	PERMETER EDGE	WD.	WOOD
EA.	EACH	PERP.	PERPENDICULAR	WDW.	WINDOW
ELEC.	ELECTRICAL	PL.	PLATE	W.H.	WATER HEATER
ELEV.	ELEVATION	PLAS.	PLASTER	W/I	WITHIN
EMRGY.	EMERGENCY	PLYWD.	PLYWOOD	W/O	WITHOUT
ENG.	ENGINEERED	P.L.	PROPERTY LINE	W.P.	WATER PROOF
E.P.	ELECTRICAL PANELBOARD	P.LAM.	PLASTIC LAMINATE	W.R.	WATER RESISTANT
EQ.	EQUAL	P.S.F.	POUNDS PER SQUARE FOOT	WSCT.	WAINSCOT
EQUIP.	EQUIPMENT	P.S.I.	POUNDS PER SQUARE INCH		
EXC.	EXCEPT				
EXT.	EXTERIOR				
F.B.O.	FURNISHED BY OTHERS				
F.D.	FLOOR DRAIN				
FDN.	FOUNDATION				
F.F.	FINISH FLOOR				

4229 20TH ST.

REMODEL AND ALTERATION

4229 20TH ST.

SAN FRANCISCO, CA 94114

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SAN RAFAEL, CA 94903
TEL: (415) 457-0990
EMAIL: jobs@energycalco.com

PROJECT DATA

TYPICAL BUILDING ANALYSIS:	PROPERTY ADDRESS:	PROJECT DESCRIPTION:
EXISTING: GARAGE LEVEL: 285 SF (UNCONDITIONED) LOWER LEVEL: 733 SF (483 SF CONDITIONED SPACE) MAIN LEVEL: 1,115 SF (CONDITIONED) UPPER LEVEL: 1,115 SF (CONDITIONED) TOTAL: 3,248 SF	4225-4229 20TH STREET SAN FRANCISCO, CA 94114 PARCEL INFORMATION: APN PARCEL NO: 2752/031 ZONING: RH-3 OCCUPANCY TYPE: U - COVERED MULTI-FAMILY U - PRIVATE GARAGE	THIS PROJECT INVOLVES THE RENOVATION TO ONE UNIT IN AN EXISTING 3 STORY, 4-UNIT MULTIFAMILY RESIDENTIAL STRUCTURE TO INCLUDE THE FOLLOWING SCOPE OF WORK: 4229 20TH STREET (TOP FLOOR UNIT): EXISTING 3 BEDROOM, 1 BATHROOM UNIT 1. THE REMOVAL OF EXISTING SHED ROOF IN LIEU OF NEW GABLE ROOF STRUCTURE AS EXTENSION OF EXISTING GABLE ROOF. 2. REPLACEMENT OF EXISTING SINGLE PANE WINDOWS WITH NEW RETROFIT WINDOWS. 3. REMOVAL OF EXISTING WINDOWS AT SELECTED LOCATIONS. 4. NEW EXTERIOR WINDOWS AT SELECTED LOCATIONS.
PROPOSED: GARAGE LEVEL: 285 SF (UNCONDITIONED) LOWER LEVEL: 733 SF (483 SF CONDITIONED SPACE) MAIN LEVEL: 1,115 SF (CONDITIONED) UPPER LEVEL: 1,115 SF (CONDITIONED) TOTAL: 3,248 SF (NO CHANGE)	TYPE OF CONSTRUCTION: TYPE VB NON-RATED SPRINKLERED?: NO NO. OF UNITS: 4 NO. OF STORIES: 3 STORIES AT STREET 1.5 STORIES AT REAR YARD	
EXISTING UNIT ANALYSIS: 4225 20TH STREET: 483 SF 4227A 20TH STREET: 508 SF 4227B 20TH STREET: 428 SF 4229 20TH STREET: 1,115 SF	BUILDING HEIGHT: 40'-0" +/- (TO TOP OF PARAPET) HEIGHT DISTRICT: 40-X EXISTING LOT SIZE: 2,760 SQ. FT. (.063 ACRE) YEAR BUILT: 1900	
PROPOSED UNIT ANALYSIS: 4225 20TH STREET: 483 SF (NO CHANGE) 4227A 20TH STREET: 508 SF (NO CHANGE) 4227B 20TH STREET: 428 SF (NO CHANGE) 4229 20TH STREET: 1,115 SF (NO CHANGE)	SETBACKS: FRONT: 15'-0" SIDE: 5'-0" REAR: 49'-6"	
DISABLED ACCESS REQUIREMENTS: PER CBC 1102A.2, DISABLED ACCESS REQUIREMENTS DO NOT APPLY TO THE ALTERATION, REPAIR, REHABILITATION OR MAINTENANCE OF MULTIFAMILY DWELLINGS CONSTRUCTED FOR FIRST OCCUPANCY PRIOR TO MARCH 13, 1991.		

SYMBOLS

---	(E) CONSTRUCTION TO BE REMOVED	1	KEYNOTE INDICATOR
█	(N) CONSTRUCTION	1	WINDOW INDICATOR
█	(N) 1-HR FIRE RATED CONSTRUCTION	1	DOOR INDICATOR
---	(E) CONSTRUCTION TO REMAIN	1	REVISION INDICATOR
---	LINE ABOVE	1	ELEVATION/BENCH MARK
---	LINE BELOW	1	ELEVATION/BENCH MARK
---	CENTERLINE	1	BREAK LINE
1	DETAIL NUMBER	W1	WALL TYPE
1	DIRECTION OF ELEVATION/SECTION	001	ROOM TAG
1	SHEET NUMBER	100.0'	ELEVATION TAG
1	DETAIL NUMBER	1	REVISION INDICATOR
1	SHEET NUMBER		
1	DIRECTION OF INTERIOR ELEVATION		

VICINITY MAP



DRAWING INDEX

ARCHITECTURAL	A4.1	PROPOSED SECTIONS
A0.0 COVER	A5.1	WINDOW AND DOOR SCHEDULE
A1.0 SITE PLAN AND GREEN BUILDING REQUIREMENTS	A8.1	CONTEXT IMAGES
A1.1 EXISTING PLANS W/ SELECTIVE DEMOLITION	A8.2	SURROUNDING BUILDINGS
A1.2 EXISTING PLANS W/ SELECTIVE DEMOLITION		
A1.3 EXISTING ROOF PLAN W/ SELECTIVE DEMOLITION		
A1.4 EXISTING ELEVATIONS		
A1.5 EXISTING ELEVATIONS		
A1.6 EXISTING ELEVATIONS		
A1.7 EXISTING ELEVATIONS		
A2.1 UPPER LEVEL FLOOR PLAN AND ROOF PLAN		
A3.1 PROPOSED ELEVATIONS		
A3.2 PROPOSED ELEVATIONS		
A3.3 PROPOSED ELEVATIONS		
A3.4 PROPOSED ELEVATIONS		

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STAMP

LICENSED ARCHITECT
GEORGE M. SCHEVON
Lic.# C-28400
Ren. 8/31/17
STATE OF CALIFORNIA

STATUS

ROJAS RESIDENCE

4229 20 ST.
SAN FRANCISCO, CA 94114

COVER

Date	2016-03-10
Project Number	GS15139
Drawn By	TMW
Checked By	GMS

REVISION	DATE	BY

SHEET NUMBER

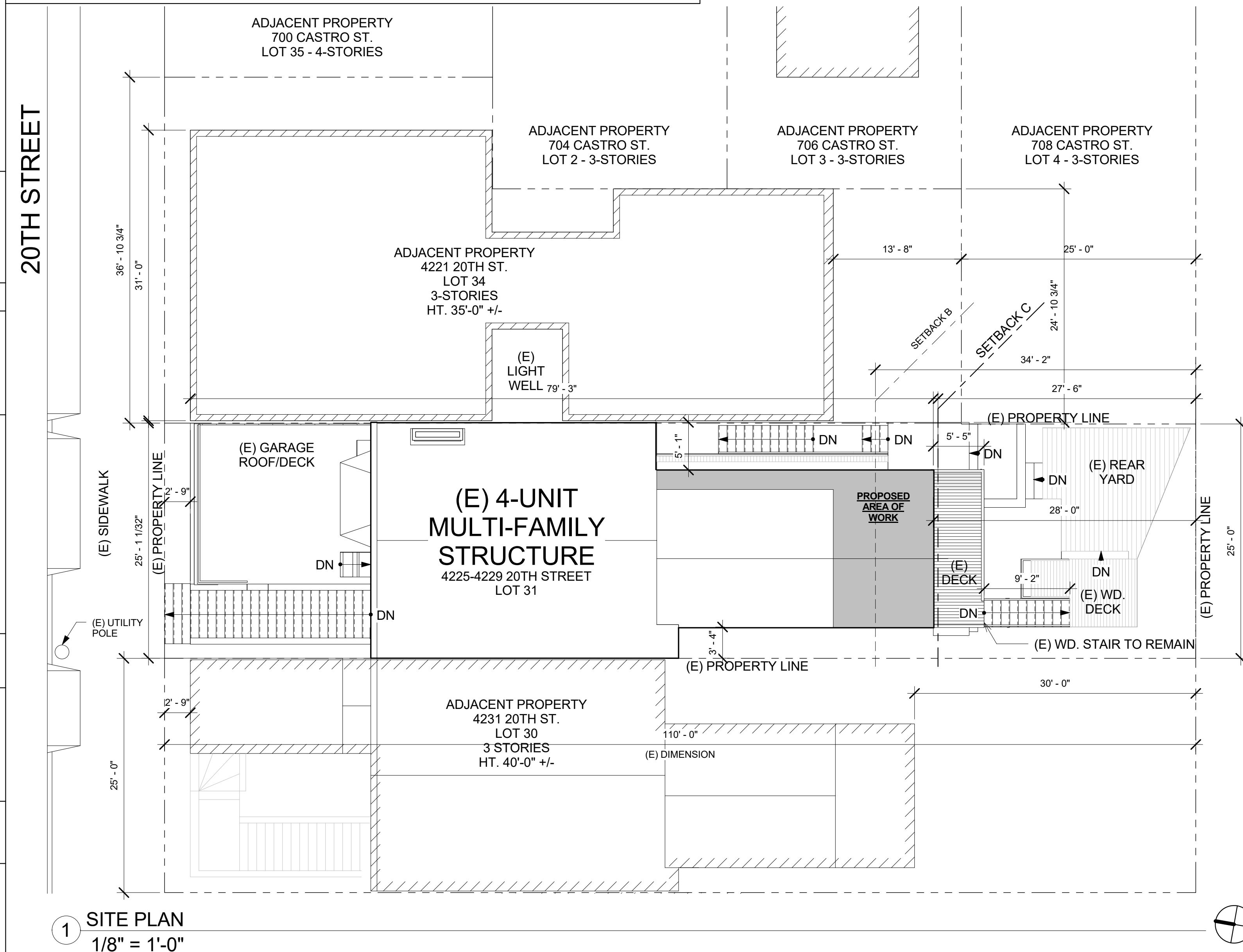
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Scale 1/4" = 1'-0"

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2013 CALIFORNIA GREEN BUILDING STANDARDS CODE REQUIREMENTS

CODE SECTION	REQUIREMENT	CODE SECTION	REQUIREMENT
SITE DEVELOPMENT		ENVIRONMENTAL QUALITY (CON'D)	
4.106.2	DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, EROSION AND TO RETAIN SOIL RUNOFF ON THE SITE USING ONE OR MORE OF THE FOLLOWING MEASURES: 1. RETENTION BASINS 2. FILTERED BARRIER SYSTEM, WATTLE OR OTHER METHOD OF PROTECTING THE LOCAL RAIN SEWER SYSTEM 3. COMPLIANCE WITH LAWFULLY ENACTED STORM WATER MANAGEMENT ORDINANCE.	4505.2	CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER SHALL COMPLY WITH THE FOLLOWING: A CAPILLARY BREAK SHALL BE INSTALLED CONSISTING OF A 4-INCH THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE. A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING SHALL BE USED.
WATER EFFICIENCY AND CONSERVATION		4505.3	BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19-PERCENT MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.
4.303.1	PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING: WATER CLOSETS: 1.28 GAL. / FLUSH CERTIFIED TO PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION URINALS: 0.5 GAL. / FLUSH SHOWERHEADS: MAX. FLOW RATE OF 2.0 GAL. / MIN. AT 80 PSI FAUCETS: MAX. FLOW RATE OF 1.5 GAL. / MIN. AT 60 PSI (LAVATORY) (MIN. FLOW RATE OF 0.8 GAL. / MIN. AT 20 PSI) FAUCETS: MAX. FLOW RATE OF 1.8 GAL. / MIN. AT 60 PSI (KITCHEN) (MAY TEMPORARILY INCREASE THE FLOW TO 2.2 GAL. / MIN.)	4506.1	EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING: • FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. • UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A MANUAL OR AUTOMATIC HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT TO A MAXIMUM OF 80 PERCENT.
4.304.1	AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE BASED.	4507.2	HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHOD: 1. THE HEAT LOSS AND HEAT GAIN, DUCT SYSTEMS, HEATING AND COOLING EQUIPMENT SHALL BE ESTABLISHED ACCORDING TO ANSIACCA 2 MANUAL J-2004 (RESIDENTIAL LOAD CALCULATION), MANUAL D-2009 (RESIDENTIAL DUCT SYSTEMS), MANUAL S-2004 (RESIDENTIAL EQUIPMENT SELECTION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. 2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSIACCA 1 MANUAL D-2009 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. 3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSIACCA3 MANUAL S-2004 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEMS FUNCTION ARE ACCEPTABLE.
MATERIAL CONSERVATION AND RESOURCE EFFICIENCY		4.504.5	HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARBS AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD (17 CCR 93120 ET. SEQ.), BY OR BEFORE THE DATES SPECIFIED IN THOSE SECTIONS, AS SHOWN IN TABLE 4.504.5.
4.406.1	ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD.		
4.408.1	RECYCLE AND/OR SALVAGE FOR RESUE A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE.		
4.408.2	DEVELOP A CONSTRUCTION WASTE MANAGEMENT PLAN TO INCLUDE: 1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE. 2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE OR BULK MIXED. 3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN. 4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED. 5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.		
4.408.3	UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLIES WITH REQUIREMENTS LISTED IN CBC SEC. 4.408.1. THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY.		
ENVIRONMENTAL QUALITY			
4.504.1	AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.		
4.504.2.1	ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY. 1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY SCAQMD RULE 1168 VOC LIMITS AS SHOWN IN TABLE 4504.1 OR 4504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED BELOW. 2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.		
4.504.2.2	ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY.		
4.504.2.3	AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(a) (3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522 (c) (2) AND (d) (2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.		
4.504.3	ALL CARPET SYSTEMS INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM. CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.		
4.504.4	WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM.		



1 SITE PLAN
1/8" = 1'-0"

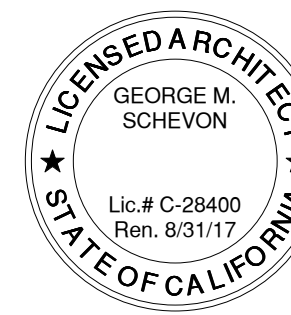
SHEET NOTES

1. REQUIRED REAR YARD SETBACK CALCULATION	
REQUIRED REAR YARD SETBACK (RYS) PER RH-3 (SETBACK A)	45% OF LOT DEPTH 110'-0" x .45 = 49'-6"
REQUIRED RYS:	49'-6"
PERMITTED RYS PER SAN FRANCISCO RESIDENTIAL DESIGN GUIDELINES (SETBACK B):	AVERAGE RYS OF 2 ADJ. FACADES: LOT 30 & LOT 34 = 34'-2"
PERMITTED RYS PER SFRDG:	21'-10"
MINIMUM REQUIRED RYS PER SAN FRANCISCO MUNICIPAL CODE (SFMIC) FOR RESIDENTIAL LOTS (SETBACK C):	25% OF LOT DEPTH 110'-0" x .25 = 27'-6" < 34'-2" < 49'-6"
MINIMUM REQUIRED RYS:	27'-6"
EXISTING RYS:	28'-0"
PROPOSED RYS:	28'-0" (NO CHANGE)
1. REQUIRED FRONT YARD SETBACK CALCULATION	
REQUIRED FRONT YARD SETBACK (RYS) PER RH-3	MAX. 15'-0" OR 15% OF AVERAGE LOT DEPTH 110'-0" x .15 = 16'-6"



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STATUS

ROJAS RESIDENCE

4229 20 ST.
SAN FRANCISCO, CA 94114

SITE PLAN AND GREEN BUILDING REQUIREMENTS

Date 2016-03-10

Project Number GS15139

Drawn By TMW

Checked By GMS

REVISION DATE BY

REVISION DATE BY

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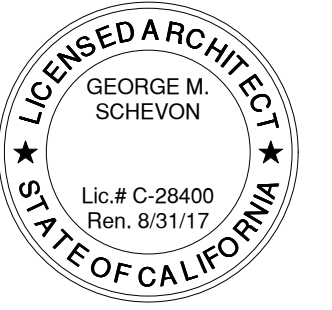
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EXISTING
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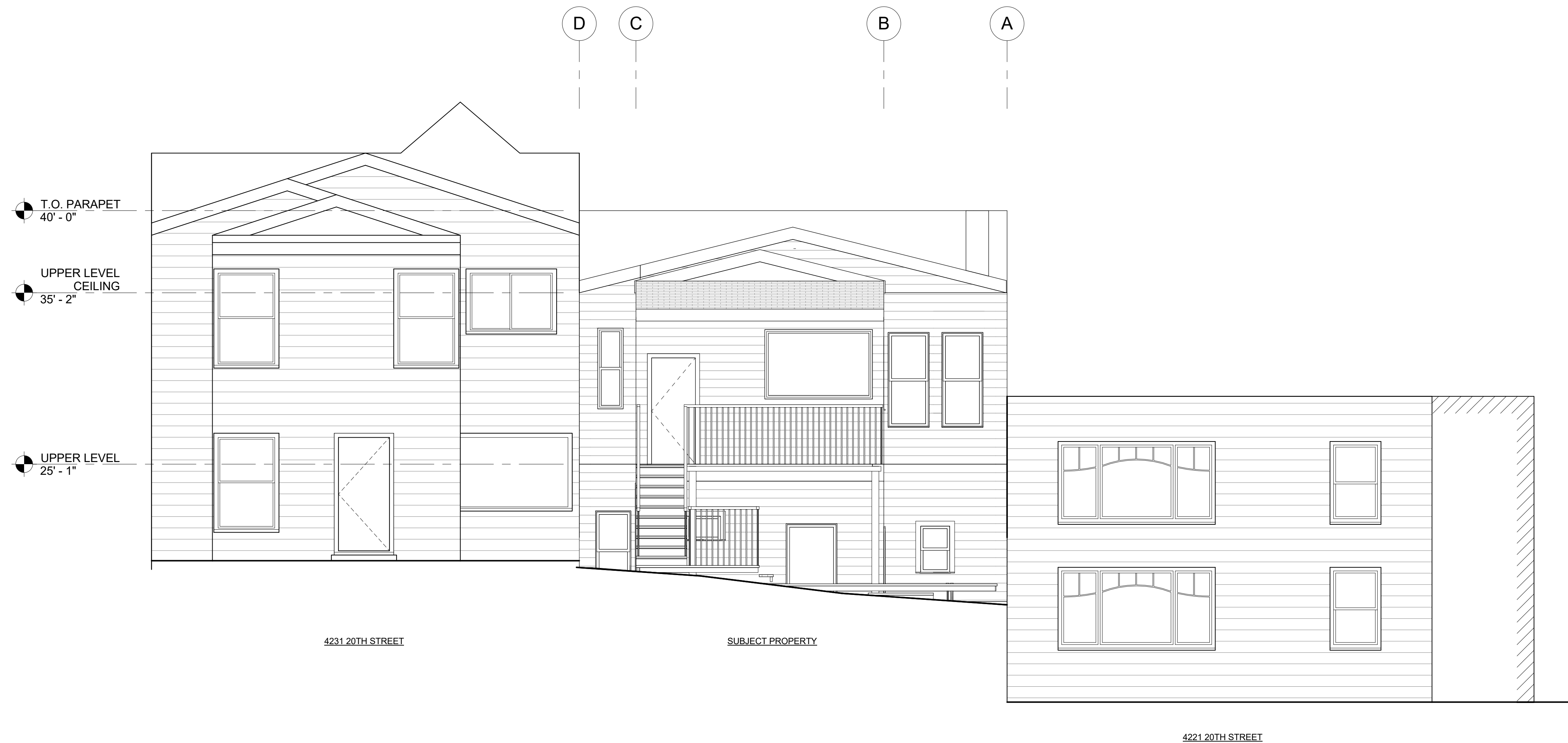
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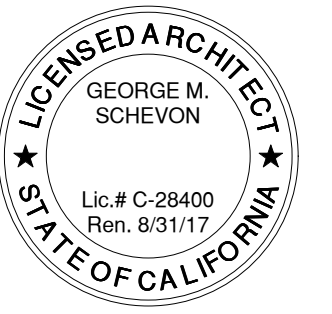
1 (E) NORTH (STREET) EXTERIOR ELEVATION
1/4" = 1'-0"

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1 (E) SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"

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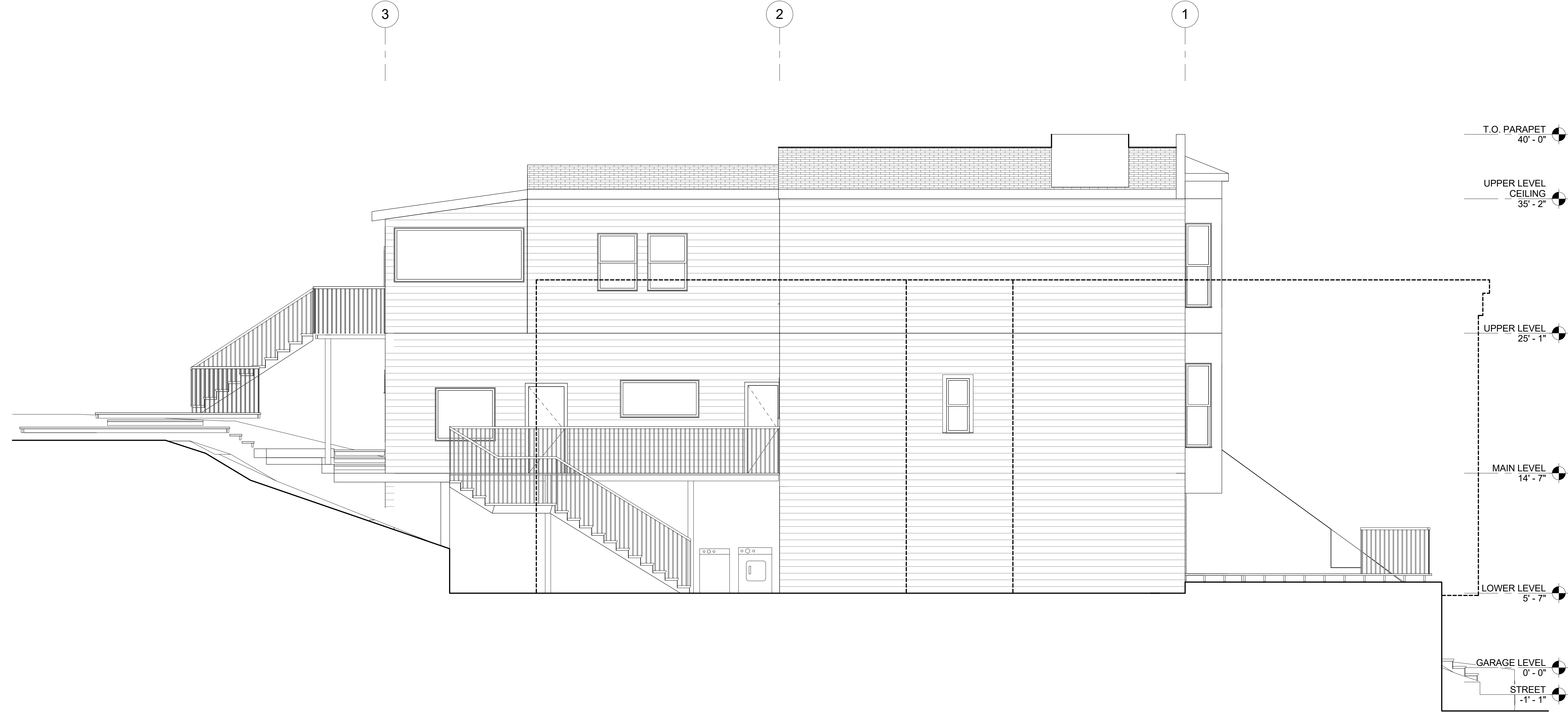
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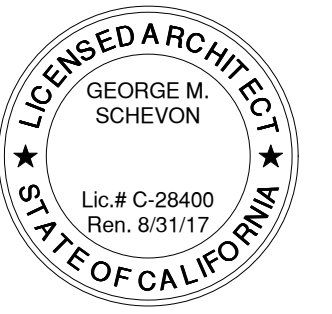
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1 (E) EAST EXTERIOR ELEVATION
1/4" = 1'-0"

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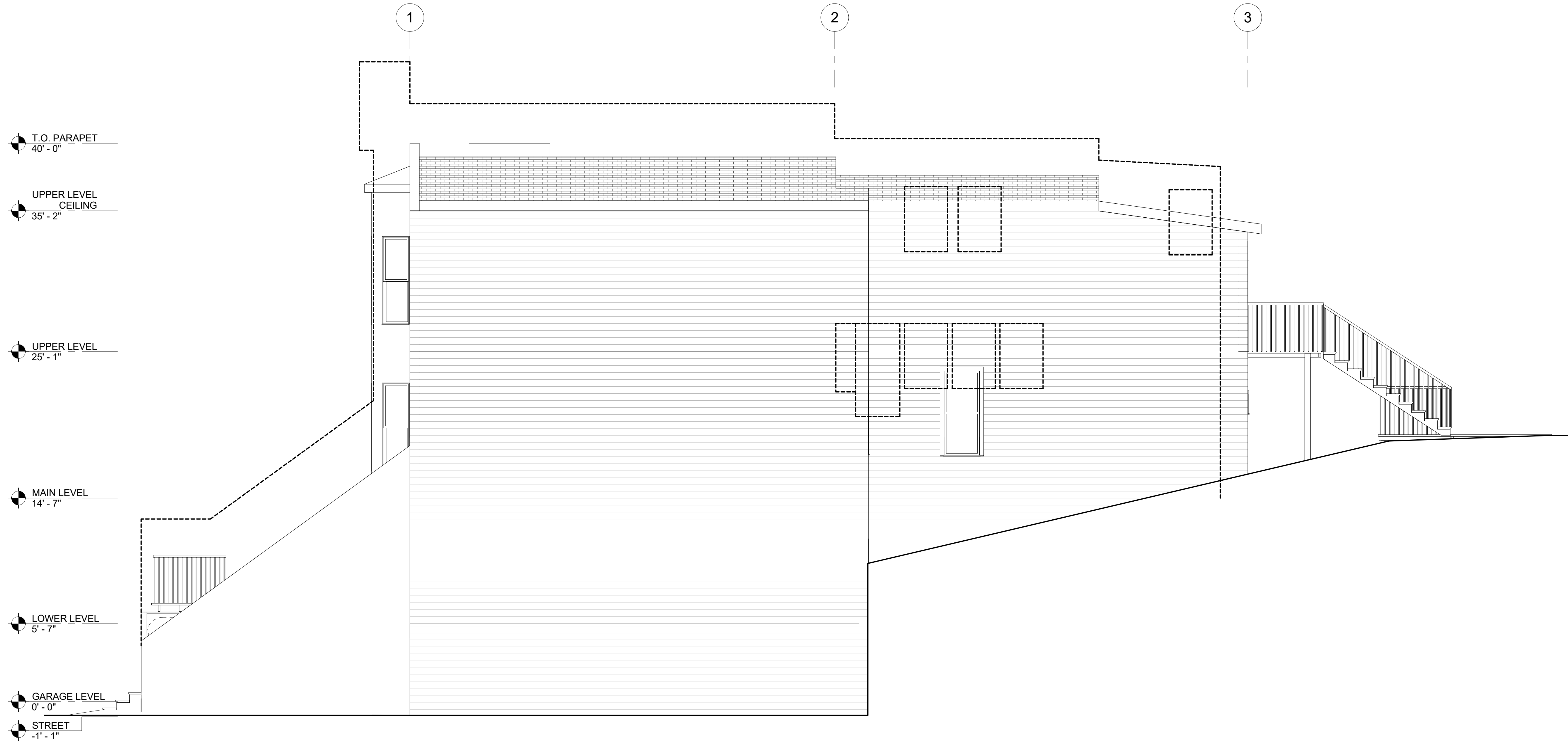
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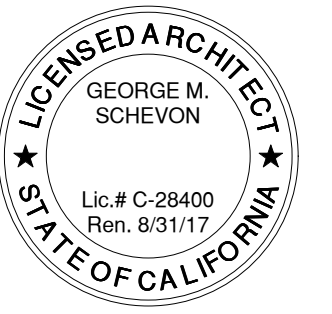
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1 (E) WEST EXTERIOR ELEVATION
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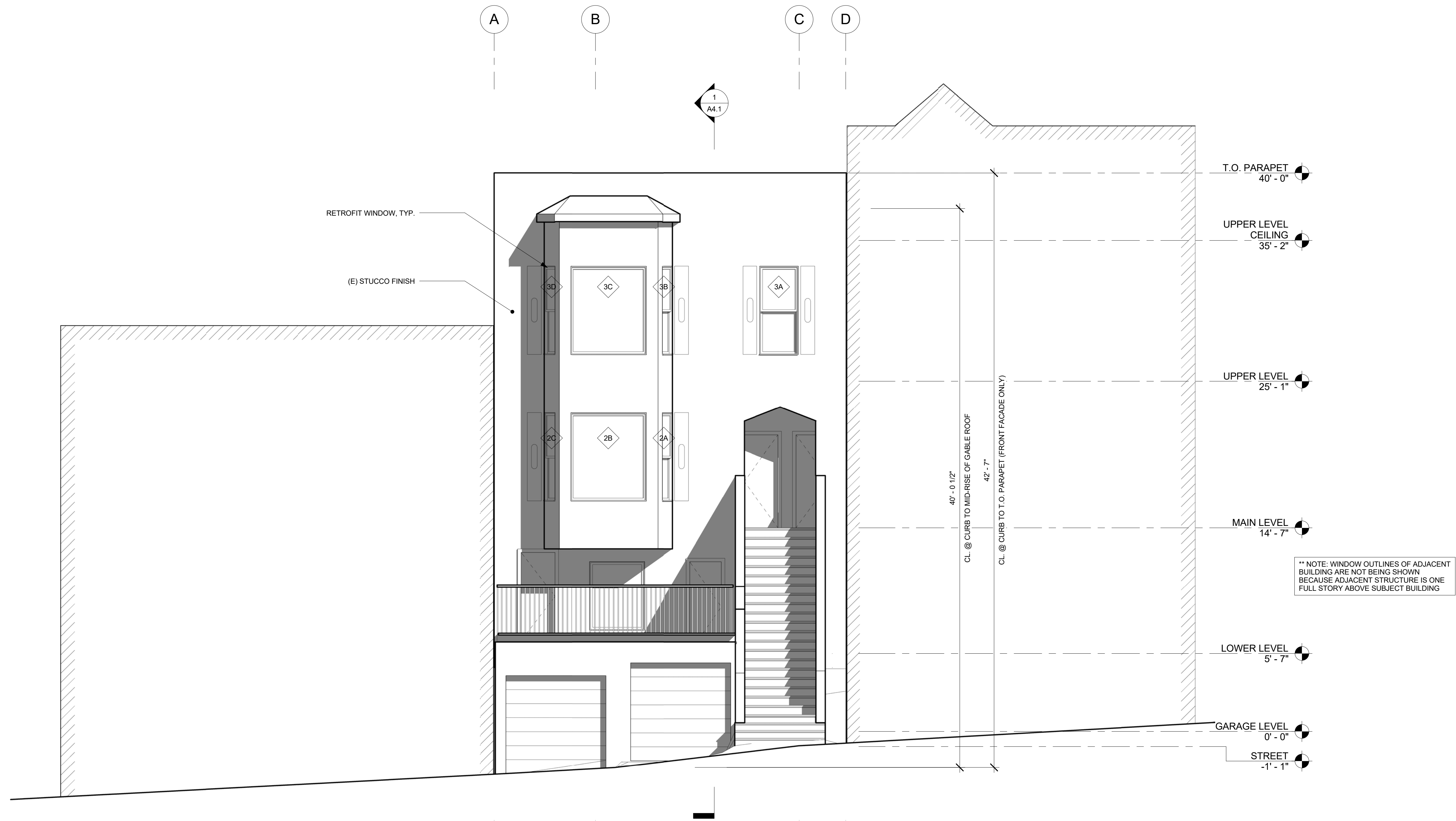
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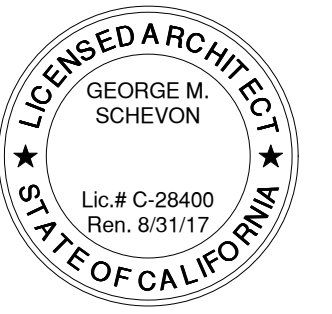
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1 NORTH (STREET) EXTERIOR ELEVATION
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STATUS

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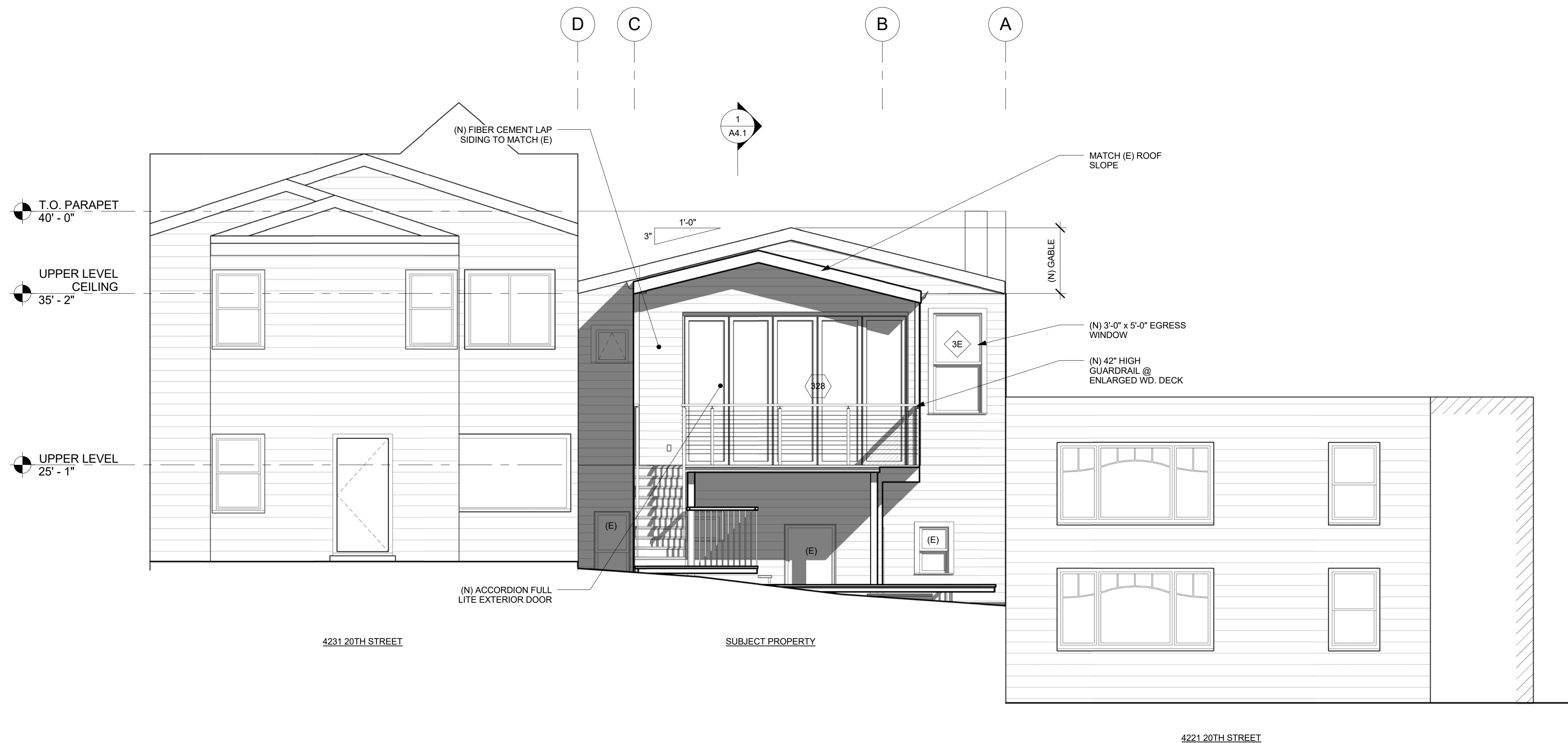
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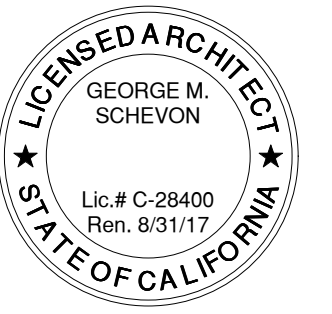
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1 SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"

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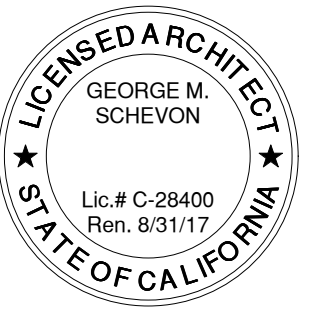
REVISION	DATE	BY

SHEET NUMBER

A3.2

Scale 1/4" = 1'-0"

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PROPOSED ELEVATIONS

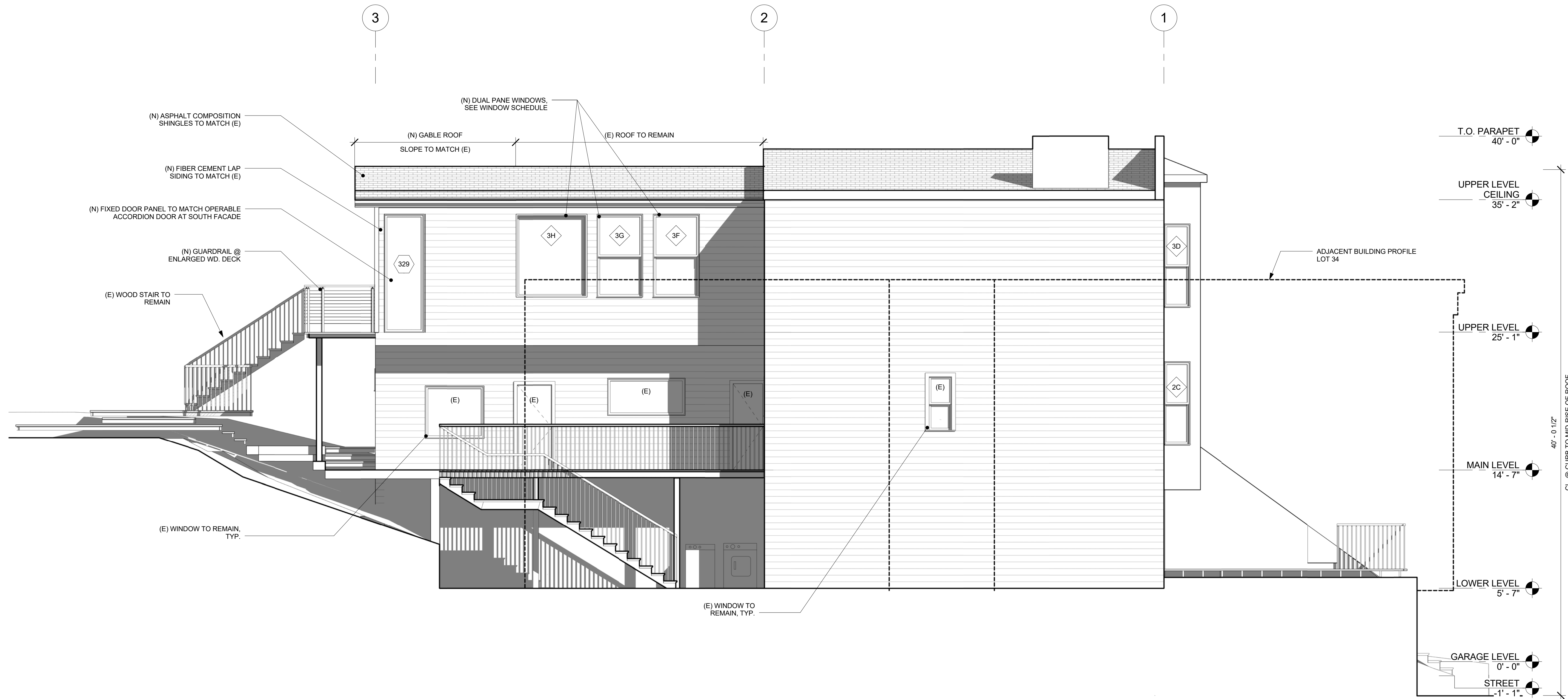
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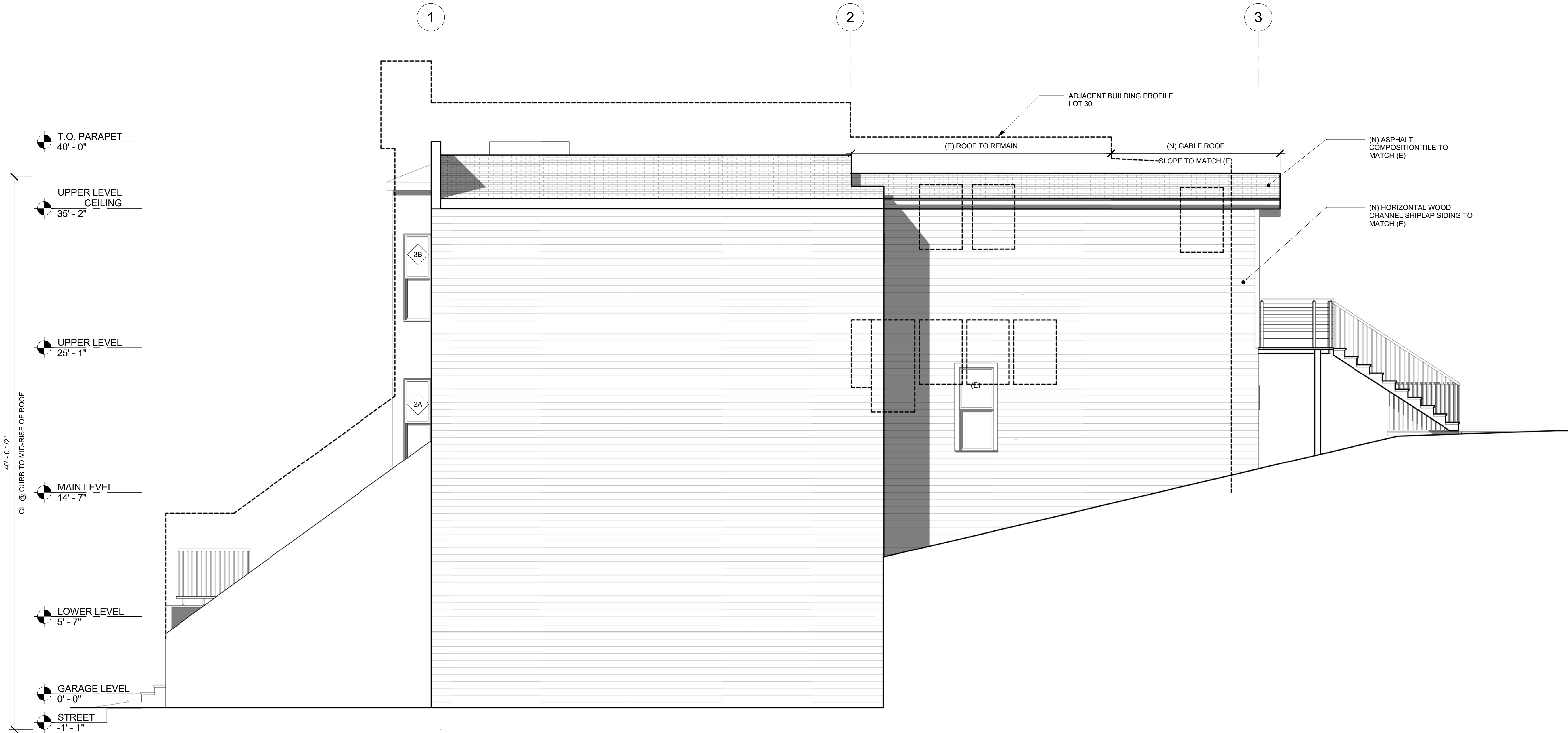
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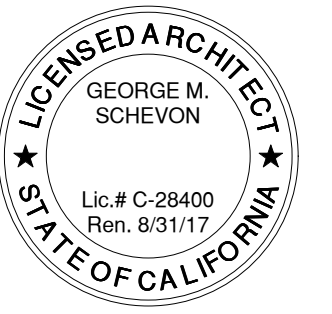
1 EAST EXTERIOR ELEVATION
1/4" = 1'-0"

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A3.4

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