



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
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Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, February 22, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard Modification)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1244 Larkin Street	Case No.: 2015-015278VAR
Cross Street(s): Pine St. / Austin St.	Building Permit: 2015.12.14.4945
Block /Lot No.: 0278 / 010	Applicant: Brent McDonald
Zoning District(s): Polk NCD / 80-A	Telephone: (415) 362-7441
Area Plan: N/A	E-Mail: ondarosa@sbcglobal.net

PROJECT DESCRIPTION

The proposal is to construct a 2-story vertical addition, which will contain 3 residential dwelling units, to the existing 2-story building which does not contain residential uses and has 100% lot coverage. The vertical addition is set back from the front of the building, but extends to the rear property line.

PER PLANNING CODE SECTION 134, the subject property is required to maintain a rear yard of 20'-7.5" at the lowest level containing a residential dwelling unit. The project includes new residential uses and a comparable amount of usable open space is provided elsewhere on the lot, will not significantly impede access of light and air or views from adjacent properties, and will not adversely affect interior block open space formed by adjacent properties; therefore, the project is eligible for a rear yard modification.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2015-015278VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Andrew Perry** Telephone: **(415) 575-9017** E-Mail: andrew.perry@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On January 10th, 2017, the Department issued the required Section 312 notification for this project (expires February 9th, 2017).**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

AREA SUMMARY

EXISTING SUMMARY	
(E) 1st STRY PARKING 'A&B'	4,995 SQ FT
(E) 1st STRY LOBBY	177 SQ FT
EXISTING 1st FLR AREA	5,172 SQ. FT.
EXISTING 2nd FLR AREA (OFFICE)	5,160 SQ. FT.
EXISTING 3RD FLR AREA (ACCESSORY TO OFFICE)	315 SQ. FT.
TOTAL BLDG EXISTING S.F.	10,647 SQ. FT.
PROPOSED SUMMARY	
THERE IS NO CHANGE IN EXISTING & PROPOSED SQ FT OF THE 1st & 2nd FLRS	
(N) 1st STRY PARKING	3,925 SQ FT
(N) 1ST STRY RETAIL	575 SQ FT
(N) 1st STRY LOBBY/CIRCULATION/ACCESSORY	672 SQ FT
(N) 1st FLR AREA	5,172 SQ. FT.
(N) 2nd FLR AREA (OFFICE)	5,160 SQ. FT.
(N) 3rd FLR AREA (DWELLING)	3,682 SQ. FT.
(N) 4th FLR AREA (DWELLING)	2,560 SQ. FT.
TOTAL BLDG PROPOSED S.F. (LESS DECKS)	16,574 SQ. FT.
FOR INDIVIDUAL DWELLING UNIT S.F. SEE A2.2 & A2.3	

2,218 S.F. OF PRIVATE ROOF DECKS NOT INCLUDED ABV			
DECK 301G	260 S.F.	DECK 303L	238 S.F.
DECK 302H	25 S.F.	DECK 407	890 S.F.
DECK 302J	380 S.F.	DECK 501	310 S.F.
DECK 303K	115 S.F.		

NOTE: SQUARE FOOTAGES ARE PROVIDED FOR PERMITTING PURPOSES ONLY. ALL OTHER USES SHOULD VERIFY IN FIELD PRIOR TO RELYING ON THE GIVEN SQUARE FOOTAGES.

PROJECT DATA:

BLOCK/LOT 0278 / 010
 ZONING DISTRICT: NCD-POLKSTREET NEIGHBORHOOD COMMERCIAL
 LOT SIZE: 63'-6" x 82'-6"
 LOT AREA: 5,235 SF
 CONSTRUCTION TYPE: 5
 # OF UNITS: (E) 3 PROPOSED (6)
 # OF STORIES: (E) 2 PROPOSED (4)
 YEAR BUILT: 1911
 HISTORICAL STATUS: A
 CALIFORNIA STATE OFFICE OF HISTORIC PRESERVATION HAS RATED THE PROPERTY AS 5S2, MEANING "AN INDIVIDUAL PROPERTY THAT IS ELIGIBLE FOR LOCAL LISTING OR DESIGNATION"

HEIGHT & BULK DISTRICT 80-A
 CURRENT & PROPOSED
 CURRENT OCCUPANCY USE CLASSIFICATION: B, S2
 PROPOSED OCCUPANCY USE CLASSIFICATION: B, S2, R2
 CURRENT PLANNING USE CATEGORY: OFFICE
 PROPOSED PLANNING USE CATEGORY: MEDICAL SERVICE

CODE SUMMARY

- APPLICABLE CODES w/ APPLICABLE 2013 S.F. ADDS
- BUILDING CODE - 2013 CALIFORNIA BLDG CODE
 - ELECTRICAL CODE - 2013 CALIFORNIA ELECTRICAL CODE
 - MECHANICAL CODE - 2013 CALIFORNIA MECHANICAL CODE
 - PLUMBING CODE - 2013 CALIFORNIA PLUMBING CODE
 - ENERGY CODE - 2014 CA. CODE, CA. TITLE 24, PART 6. CLIMATE ZN 3, w/NO LOCAL AMENDMENTS

DRAWING INDEX

- ARCHITECTURAL (20 SHEETS)
 A 0.0 COVERSHEET, VICINITY MAP, DATA
 A 0.1 PLANNING NOTES & DETAILS
 A 0.2 ACOUSTICAL NOTES & DETAILS
 A 1.1 (E) FLOOR PLANS
 A 1.2 (E) EXTERIOR ELEVATIONS
 A 1.3 (E) STREETScape ELEV'S
 A 1.4 (E) BUILDING SECTIONS
 A 2.0 (N) 1st STORY PLAN
 A 2.1 (N) 2nd STORY PLAN
 A 2.2 (N) 3rd STORY PLAN
 A 2.3 (N) 4th STORY PLAN
 A 2.4 (N) ROOF PLAN
 A 3.0 (N) LARKIN STREETScape
 A3.0A (N) WEST ELEVATION (LARKIN ST)
 A 3.1 (N) EXTERIOR SOUTH ELEVATION
 A 3.2 (N) EXTERIOR EAST REARScape
 A 3.3 (N) EXTERIOR NORTH ELEVATION
 A 3.4 (N) BLDG SECTION
 A 3.5 (N) BLDG SECTION, NORTH STAIR
 A 3.6 (N) PARTIAL BLDG SECTIONS

JURISDICTIONAL ENTITIES

CITY AND COUNTY OF SAN FRANCISCO
 1660 MISSION STREET
 SAN FRANCISCO, CA 94103-2414
 DEPT. OF BLDG INSPECTION 415-558-6088
 PLANNING / ZONING 415-558-6378

CONTACT NAMES

ARCHITECT:
 BRENT McDONALD
 ONDA ROSA ARCHITECTS
 129 JASPER PLACE
 SF CA 94133
 TEL: (415) 362-7441
 E-MAIL: ONDAROSA@SBCGLOBAL.NET

STRUCTURAL ENGINEER:
 DON DAVID
 DOUBLE-D ENGINEERING
 72 OTIS STREET
 SF CA 94103
 TEL: (415) 551-5150
 E-MAIL: DON@DOUBLEENGINEERING.COM

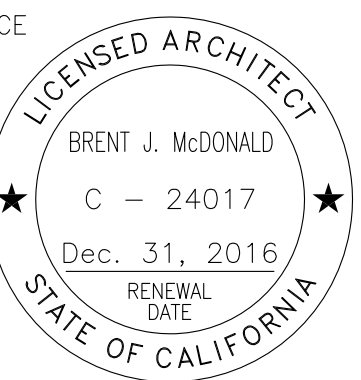
GEOTECHNICAL ENGINEER
 ALLEN GRUEN
 360 GRAND AVENUE #262
 OAKLAND, CA 94610
 PHONE: (510) 839-0765
 E-MAIL: EARTHMECH1@AOL.COM

OWNER:
 YOGESH MEHTA &
 USHA RAJAGOPAL
 490 POST STREET, #430
 SAN FRANCISCO, CA 94102
 PHONE: 415-637-8837
 E-MAIL: MEHTAYOGY@GMAIL.COM

ONDA ROSA

Architecture
 Urban Design
 Space Planning
 Interior Design

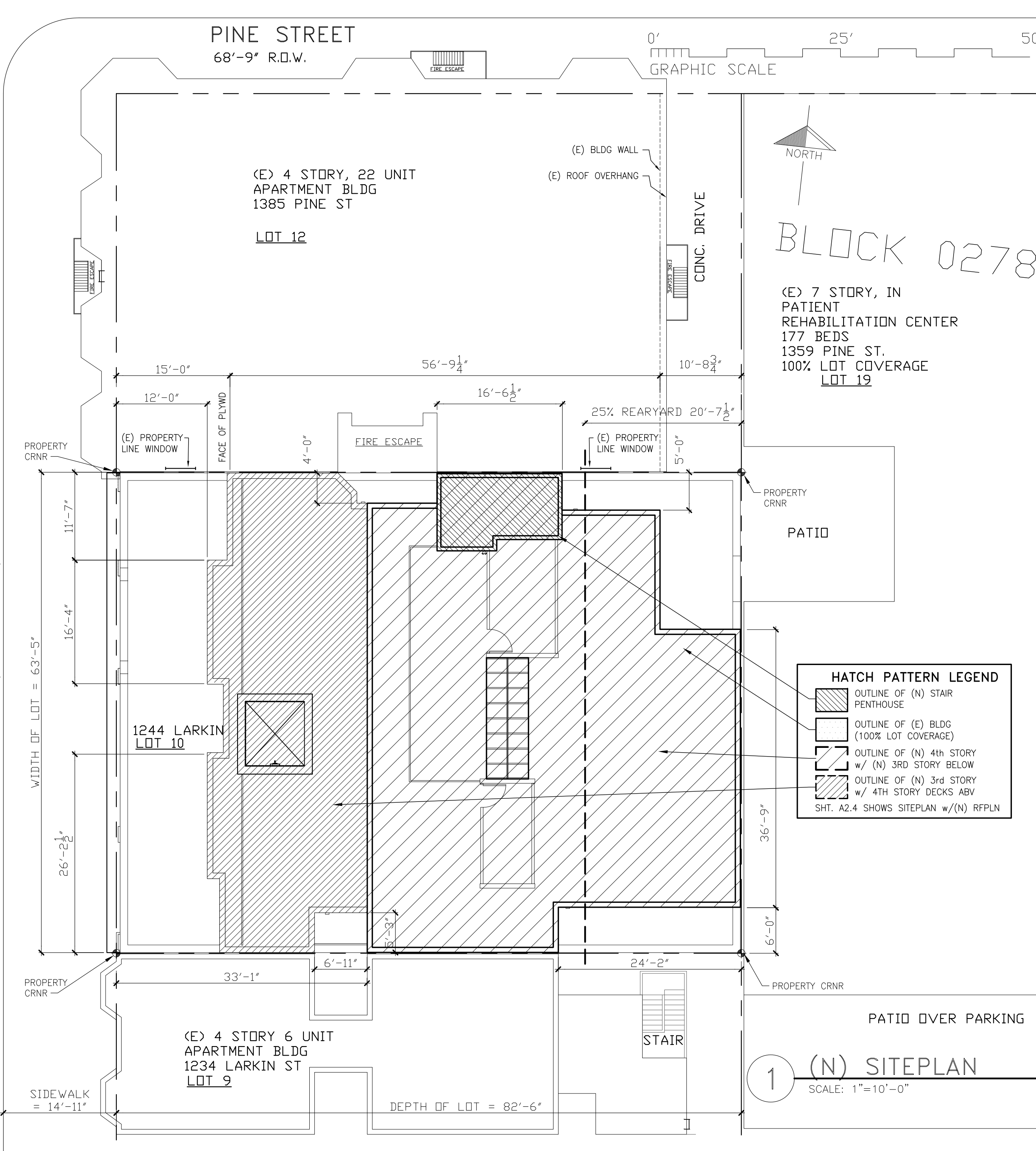
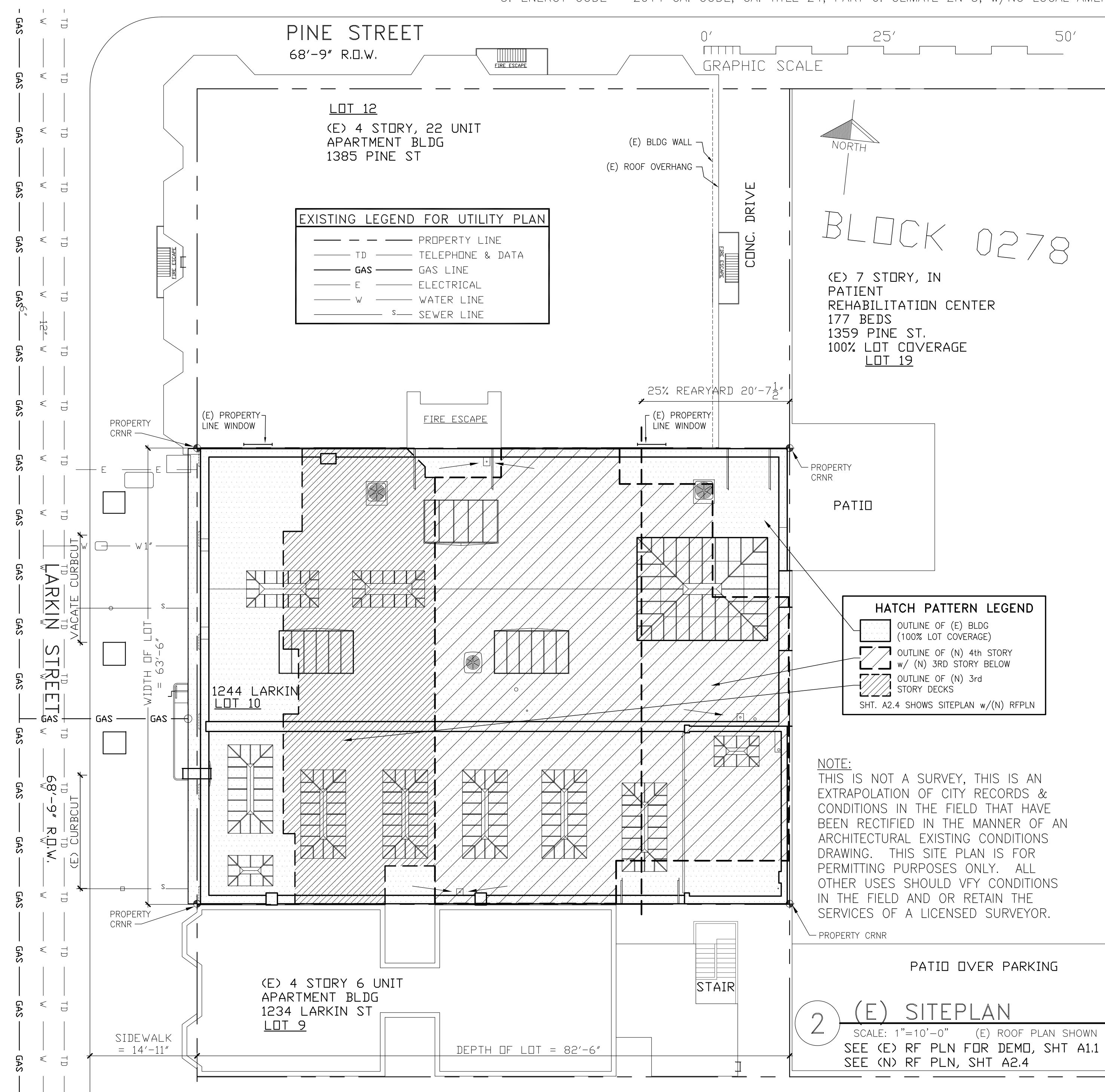
129 JASPER PLACE
 S.F., CA 94133
 415.362.7441



CANTRELL BUILDING

1244 - LARKIN ST.
 SAN FRANCISCO
 94109

BLOCK 0278 / LOT 010



VARIANCE APP SET 01/12/16

PG&E REVISION 07/22/16

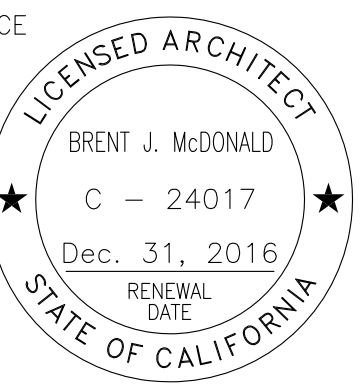
PLANNING RESUBMITTAL 11/17/16

No	Date	Revision/Issue
Project Number	2015.07	Scale 1" = 10'-0"

Drawn by
 BJM

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

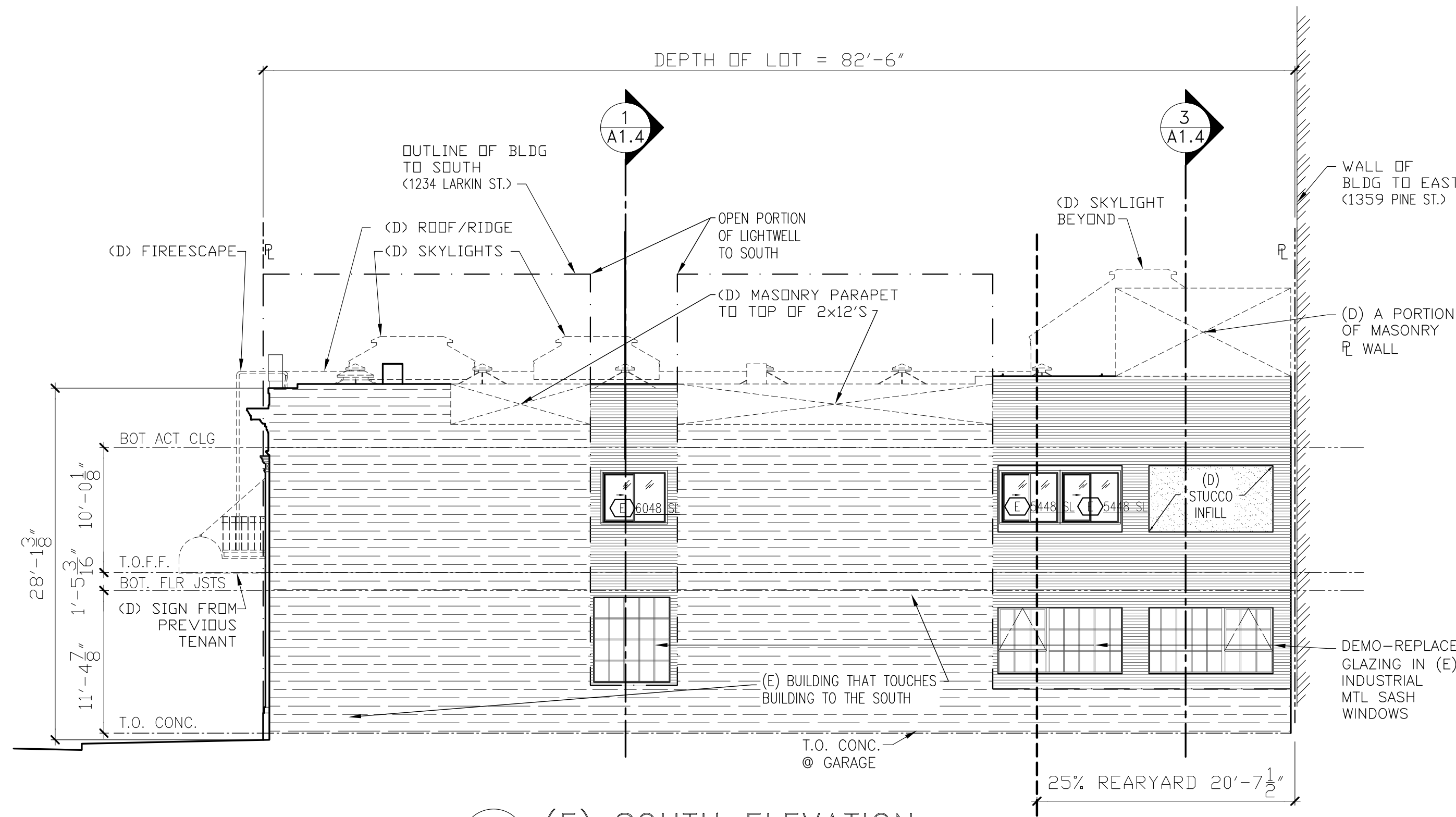
COVERSHEET SITEPLAN



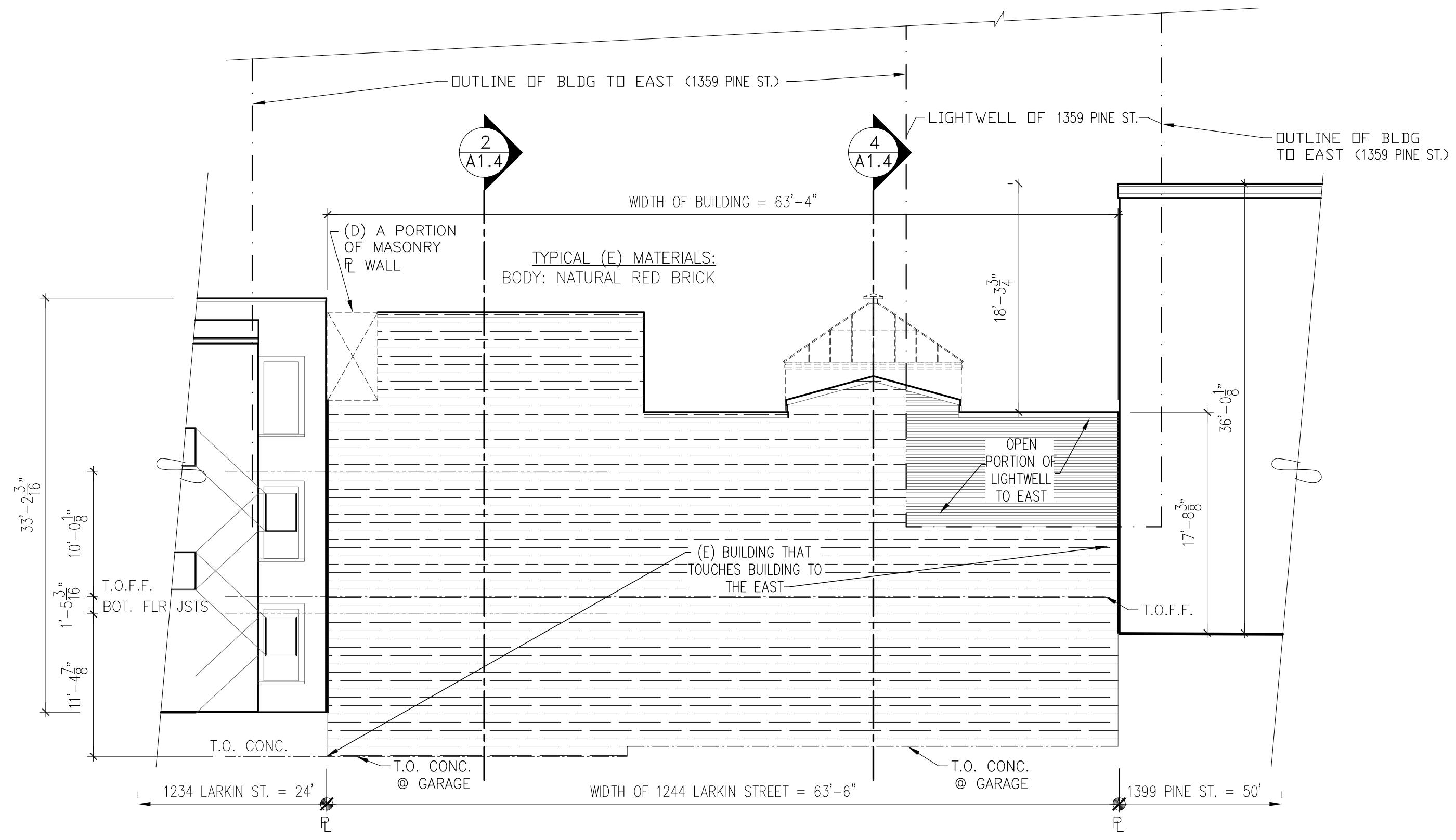
CANTRELL BUILDING

1244 - LARKIN ST.
SAN FRANCISCO
94109

BLOCK 0278 / LOT 010

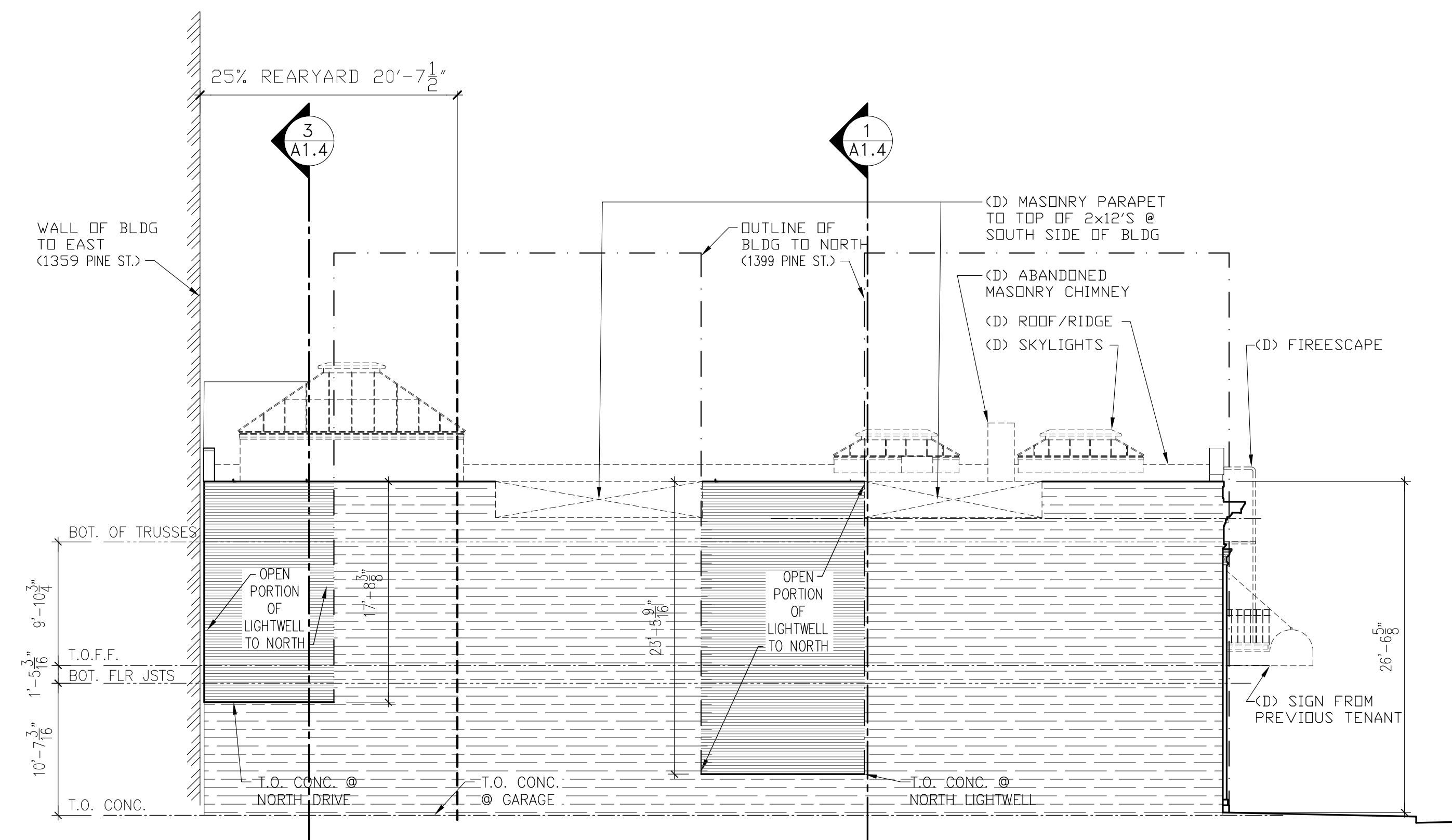


4 (E) SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

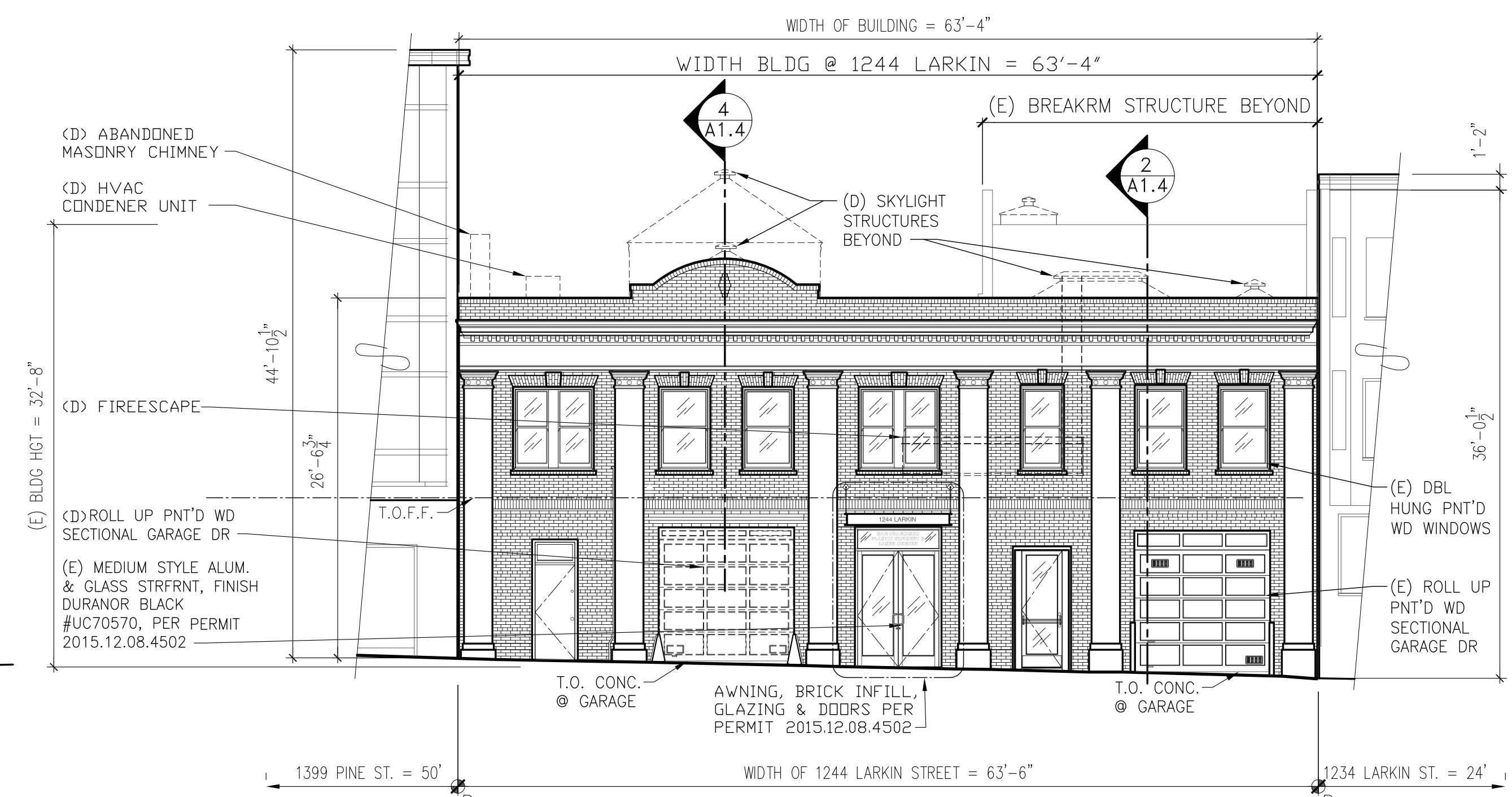


3 (E) EAST ELEVATION
SCALE: 1/8" = 1'-0"

TYPICAL (E) MATERIALS:
*UP'R WINDOWS: PNT'D WOOD
*LW'R WINDOWS: INDUSTRIAL STL SASH PNT'D METAL
*GAR. DOORS: PNT'D WOOD
*MAN DOORS: PNT'D WOOD
*PILASTERS: PNT'D BRICK
*BODY: NATURAL RED BRICK
EXISTING BRICK: STANDARD 8-3/8"x2-5/16" FACE, 4" DEEP



2 (E) NORTH ELEVATION
SCALE: 1/8" = 1'-0"



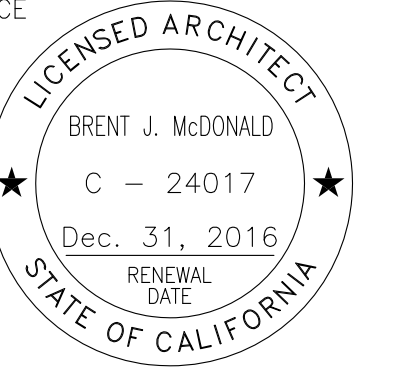
1 (E) LARKIN ST. ELEVATION
SCALE: 1/8" = 1'-0"

VARIANCE APP SET	01/12/16	
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PLANNING RESUBMITTAL	11/17/16	
No	Date	Revision/Issue
Project Number	Scale	1/8" = 1'-0"
2015.07		
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(E) EXTERIOR ELEVATIONS

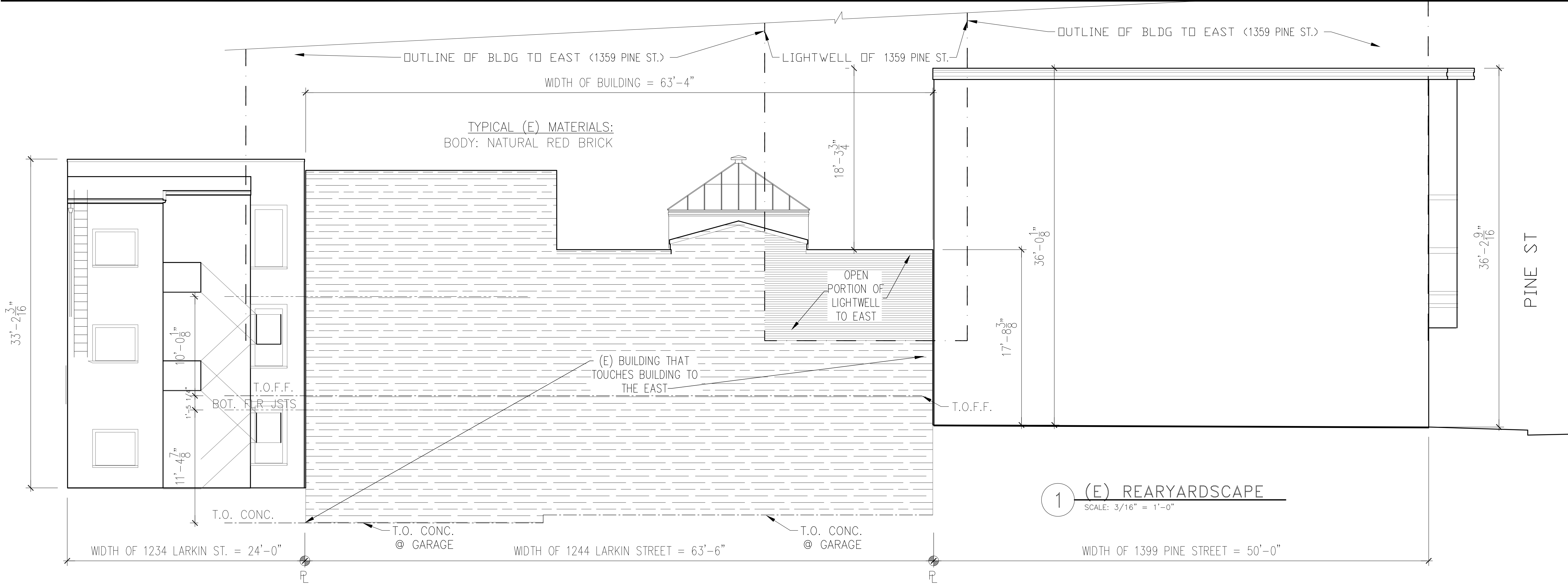
A 1.2



CANTRELL BUILDING

1244 - LARKIN ST.
SAN FRANCISCO
94109

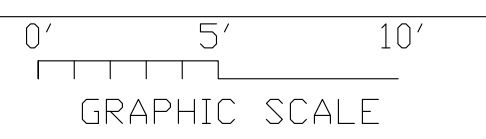
BLOCK 0278 / LOT 010



1 (E) REARYARDSCAPE
SCALE: 3/16" = 1'-0"



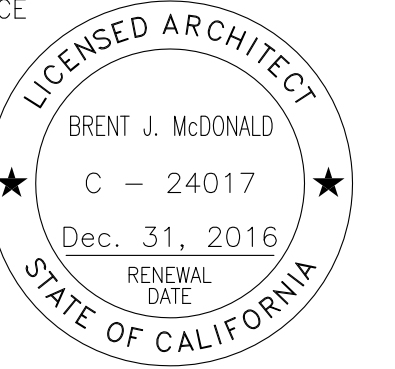
1 (E) LARKIN STREET - STREETSCAPE
SCALE: 3/16" = 1'-0"



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PG&E REVISION	07/22/16	
PLANNING RESUBMITTAL	11/17/16	
No	Date	Revision/Issue
Project Number	2015.07	Scale
Drawn by	BJM	3/16" = 1'-0"

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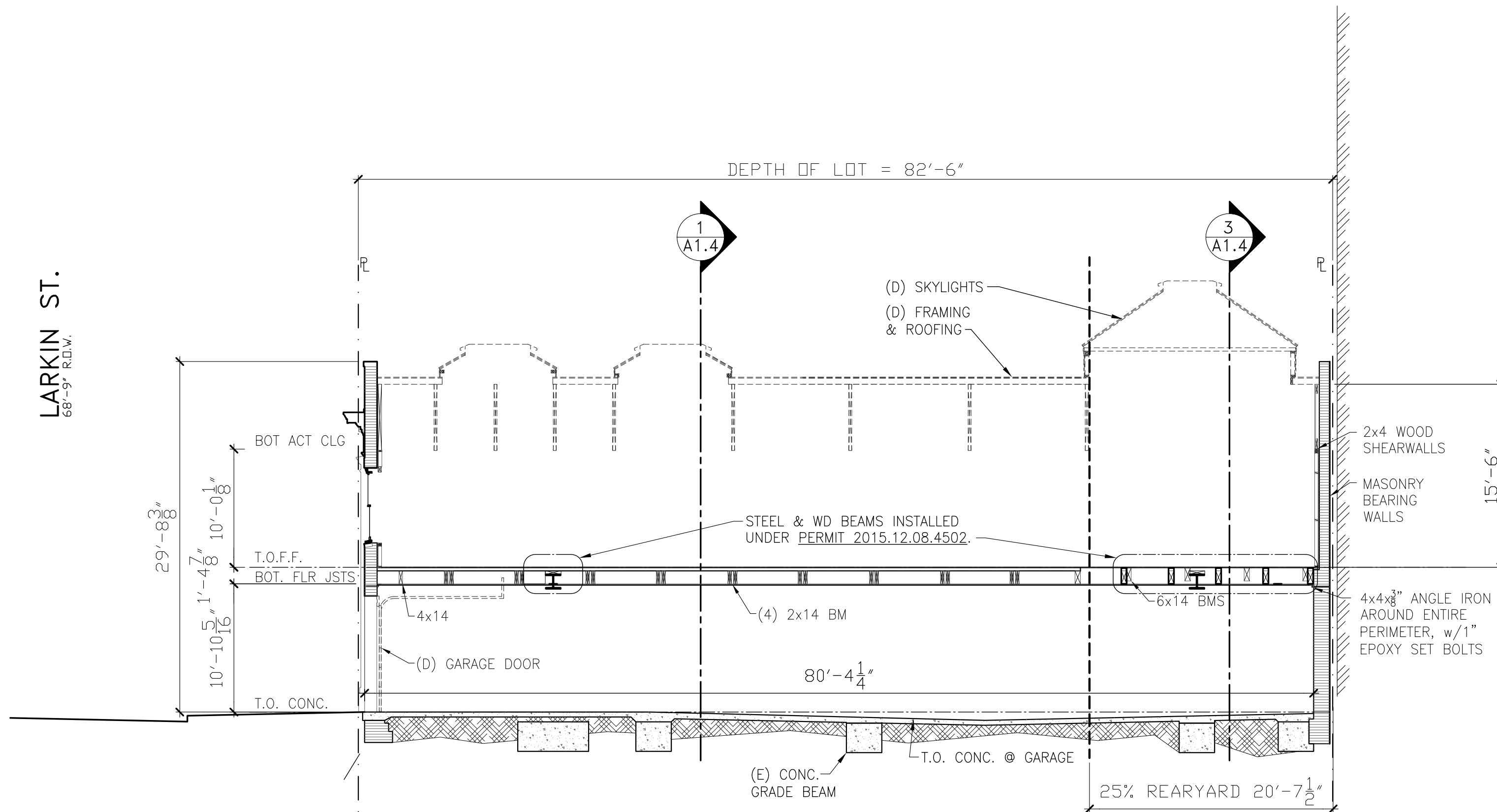
**LARKIN STREETSCAPE
STH ELEVATION**



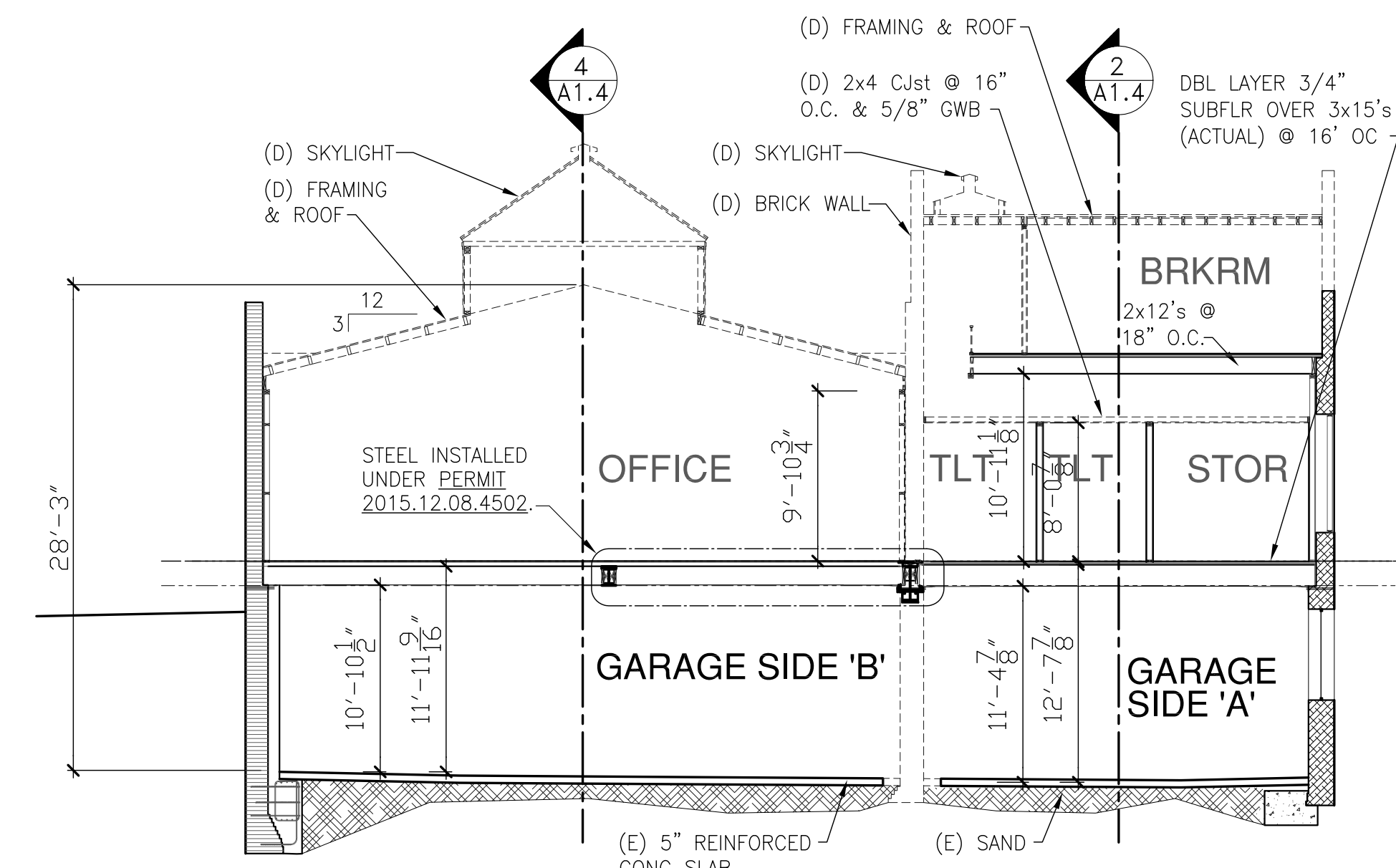
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**1244 - LARKIN ST.
SAN FRANCISCO
94109**

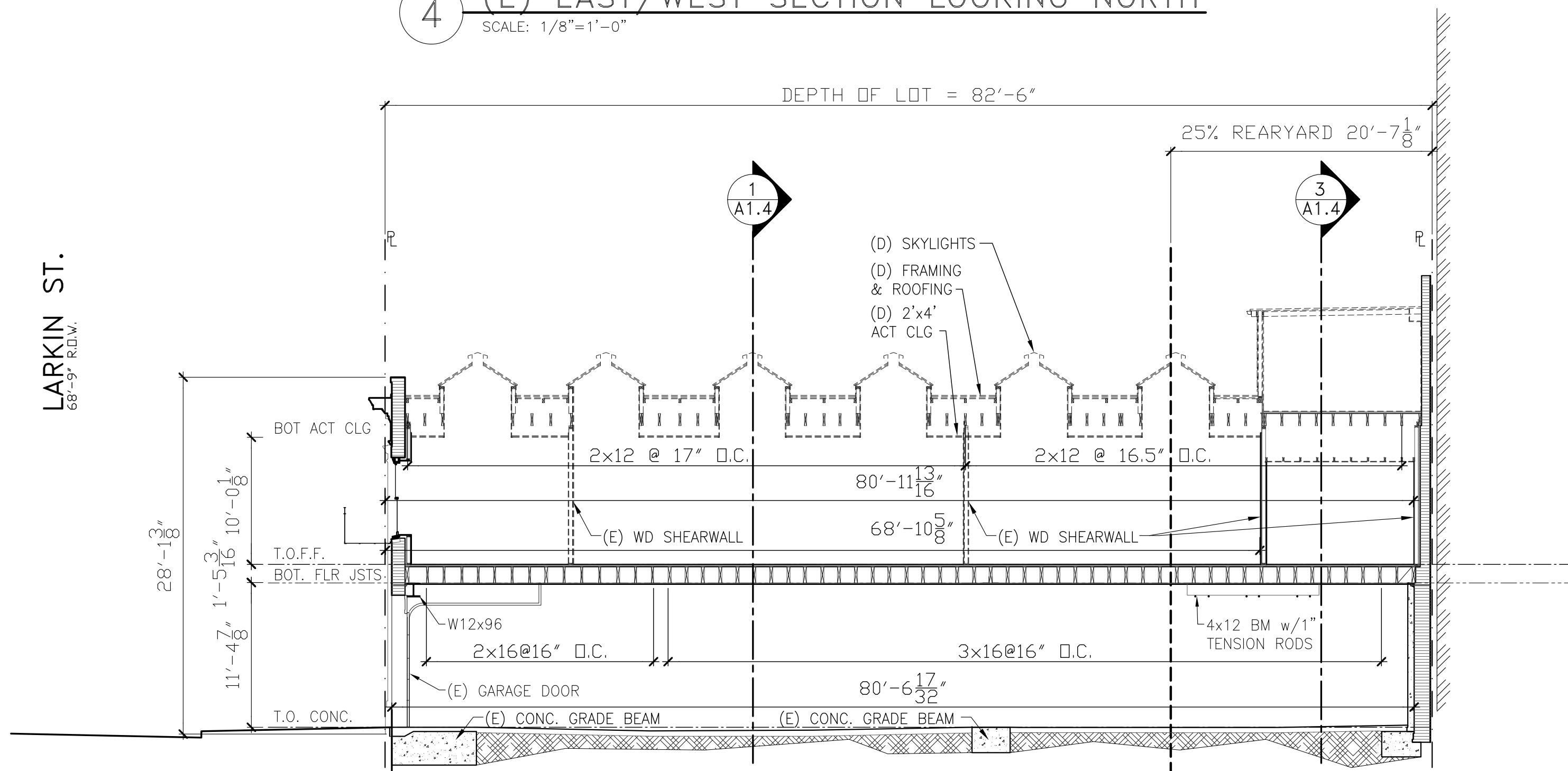
BLOCK 0278 / LOT 010



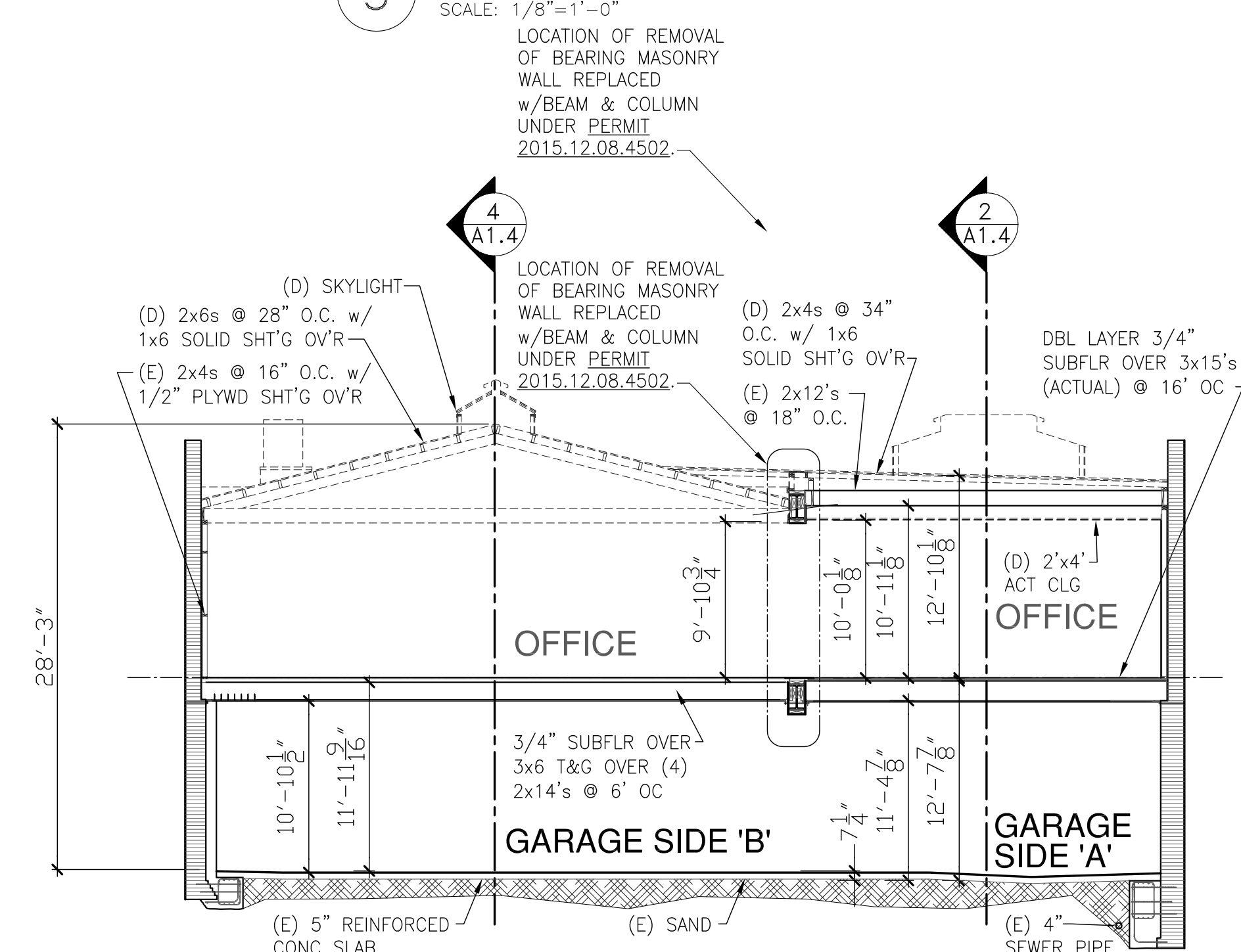
4 (E) EAST/WEST SECTION LOOKING NORTH
SCALE: 1/8"=1'-0"



3 (E) NORTH/SOUTH SECTION
SCALE: 1/8"=1'-0"



2 (E) EAST/WEST SECTION LOOKING NORTH
SCALE: 1/8"=1'-0"



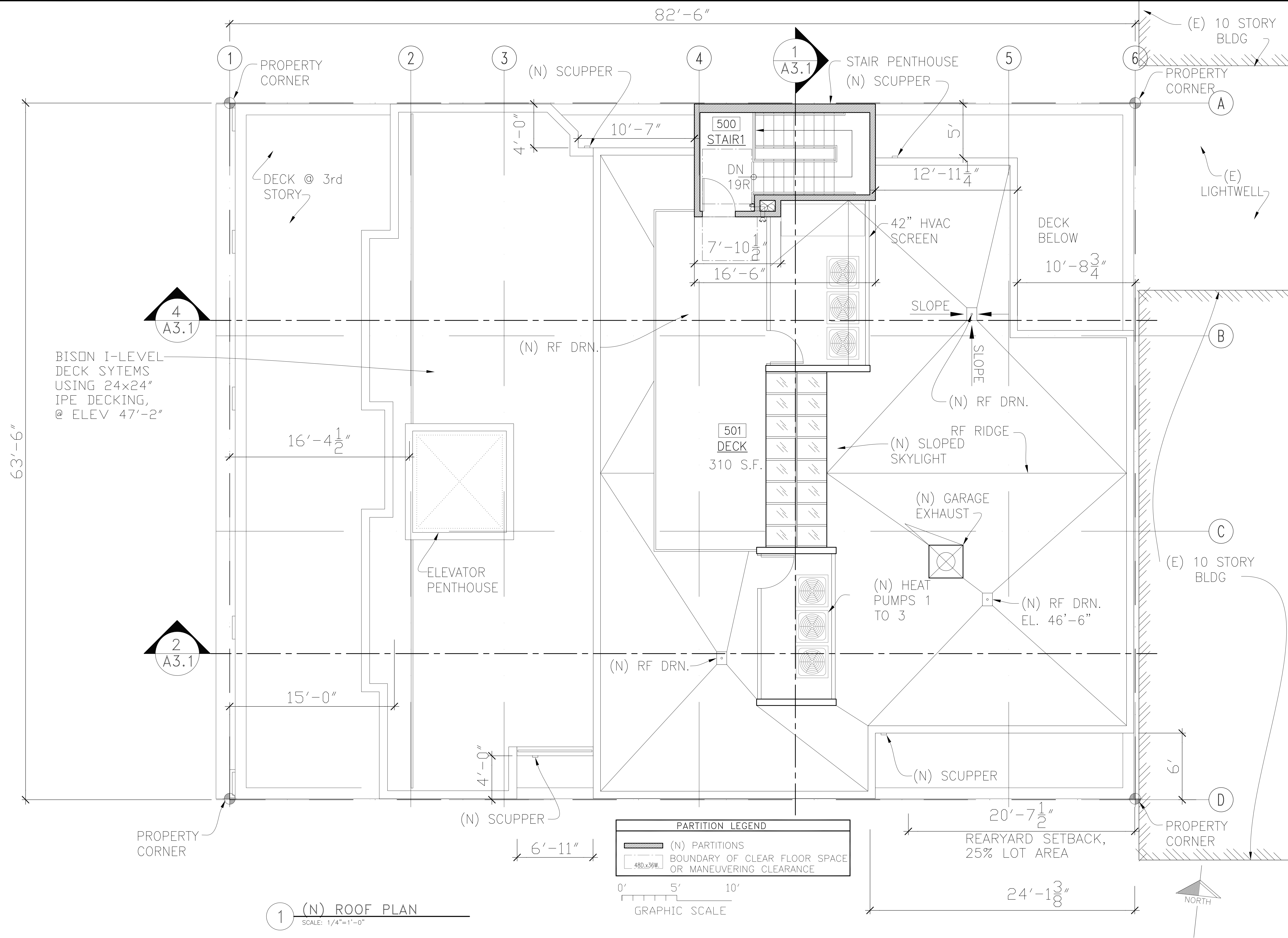
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SCALE: 1/8"=1'-0"

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BJM

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(E) BUILDING SECTIONS



ONDA ROSA
 Architecture
 Urban Design
 Space Planning
 Interior Design

129 JASPER PLACE
 S.F., CA 94133
 415.362.7441

LICENSED ARCHITECT
 BRENT J. McDONALD
 C - 24017
 Dec. 31, 2016
 RENEWAL DATE
 STATE OF CALIFORNIA

CANTRELL BUILDING
 1244 - LARKIN ST.
 SAN FRANCISCO
 94109
 BLOCK 0278 / LOT 010

VARIANCE APP SET	01/12/16	
PG&E REVISION	07/22/16	
PLANNING RESUBMITTAL	11/17/16	
No	Date	Revision/Issue
Project Number	2015.07	Scale
		1/4" = 1'-0"
Drawn by	BJM	

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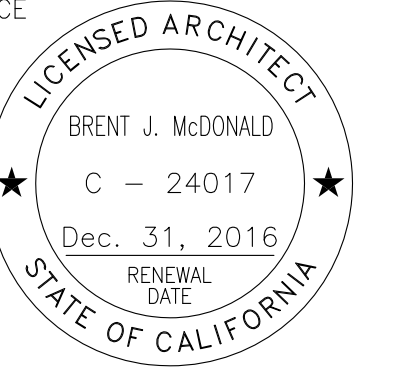
(N) ROOF PLAN

1 (N) ROOF PLAN
 SCALE: 1/4"=1'-0"

PARTITION LEGEND

- (N) PARTITIONS
- BOUNDARY OF CLEAR FLOOR SPACE OR MANEUVERING CLEARANCE

0' 5' 10'
 GRAPHIC SCALE



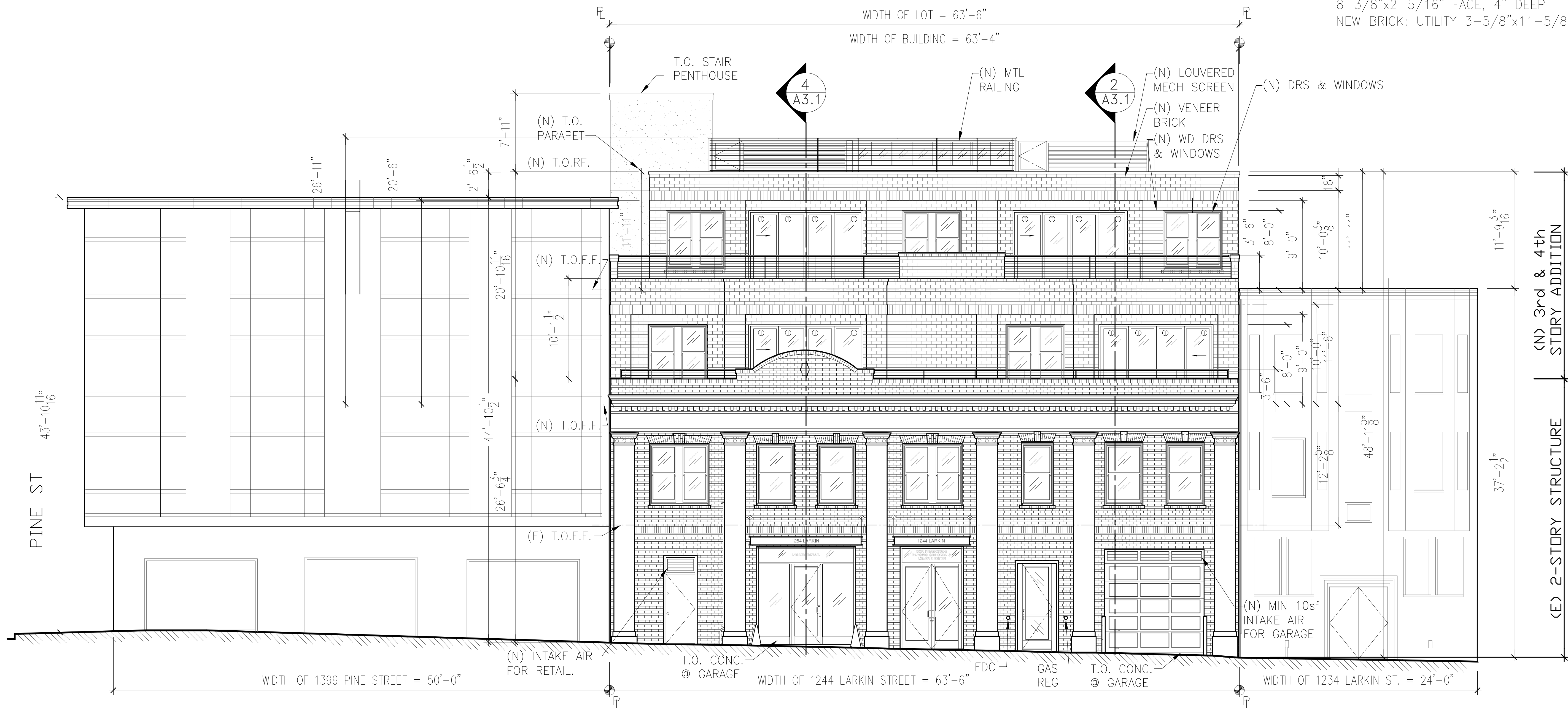
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**1244 - LARKIN ST.
SAN FRANCISCO
94109**

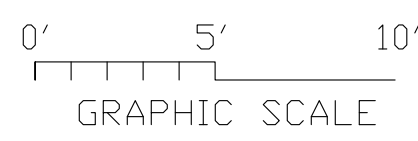
BLOCK 0278 / LOT 010

TYPICAL (N) MATERIALS:
WINDOWS: WOOD
DOORS: WOOD & ALUMINUM
BODY: BRICK & STUCCO
RAILINGS: MTL w/ CABLE RAIL INFILL
DECK: IPE (SUSTAINABLE HARDWOOD)

EXISTING BRICK: STANDARD
8-3/8"x2-5/16" FACE, 4" DEEP
NEW BRICK: UTILITY 3-5/8"x11-5/8"



1 (N) LARKIN STREET - STREETSCAPE
SCALE: 3/16" = 1'-0"



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PLANNING RESUBMITTAL	11/17/16	
No	Date	Revision/Issue
Project Number	Scale	
2015.07	3/16" = 1'-0"	
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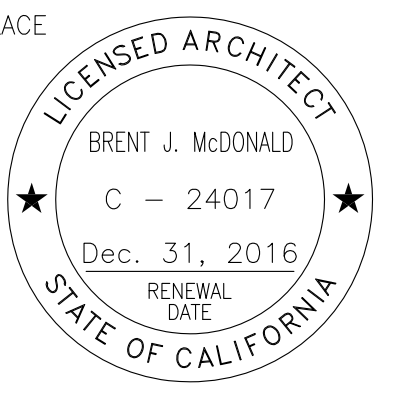
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LARKIN PROPOSED STREETSCAPE

ONDA ROSA

Architecture
Urban Design
Space Planning
Interior Design

129 JASPER PLACE
S.F., CA 94133
415.362.7441



CANTRELL BUILDING

1244 - LARKIN ST.
SAN FRANCISCO
94109

BLOCK 0278 / LOT 010



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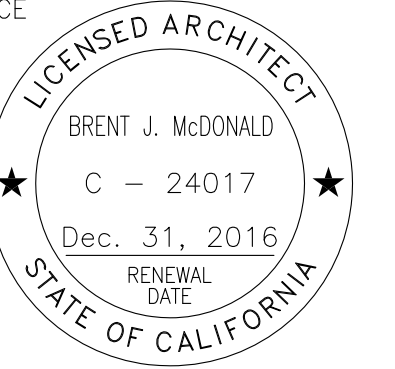
No	Date	Revision/Issue
Project Number	2015.07	Scale 3/8" = 1'-0"
Drawn by	BJM	

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**LARKIN ST.
PROPOSED
ELEVATION**

A 3.0A PAGE 14 OF 20

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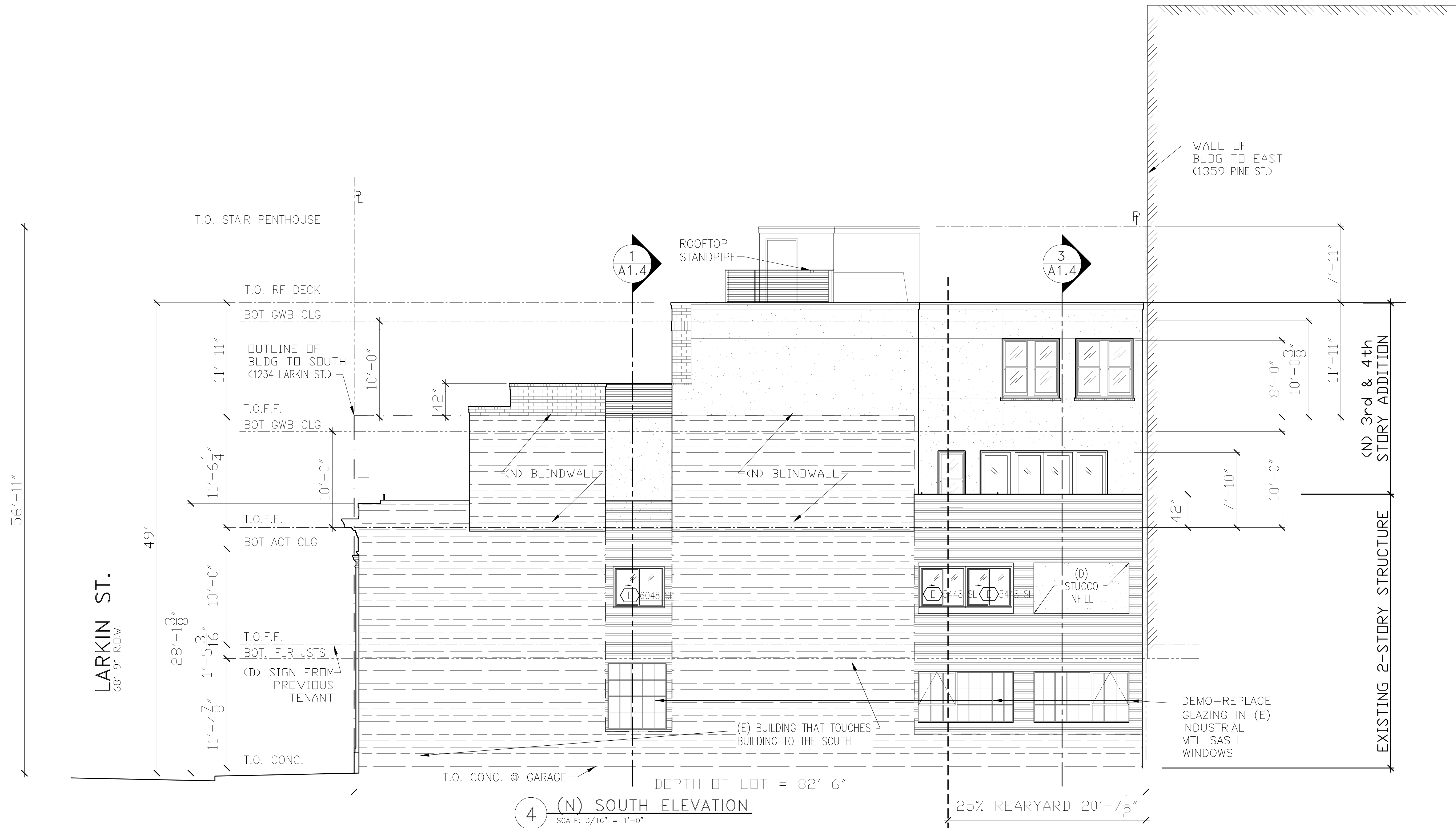


TYPICAL (N) MATERIALS:
WINDOWS: WOOD
DOORS: WOOD & ALUMINUM
BODY: BRICK & STUCCO
RAILINGS: MTL w/ CABLE RAIL INFILL
DECK: IPE (SUSTAINABLE HARDWOOD)

CANTRELL BUILDING

1244 - LARKIN ST.
SAN FRANCISCO
94109

BLOCK 0278 / LOT 010



EXISTING 2-STORY STRUCTURE

(N) 3rd & 4th STORY ADDITION

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PLANNING RESUBMITTAL	11/17/16

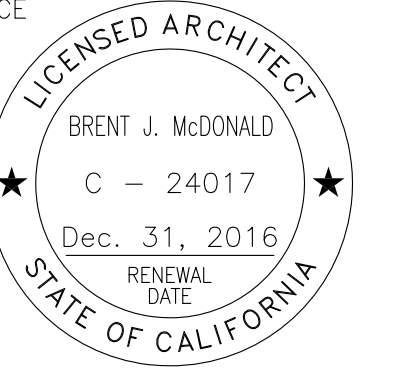
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(N) SOUTH EXTERIOR ELEVATION

A 3.1

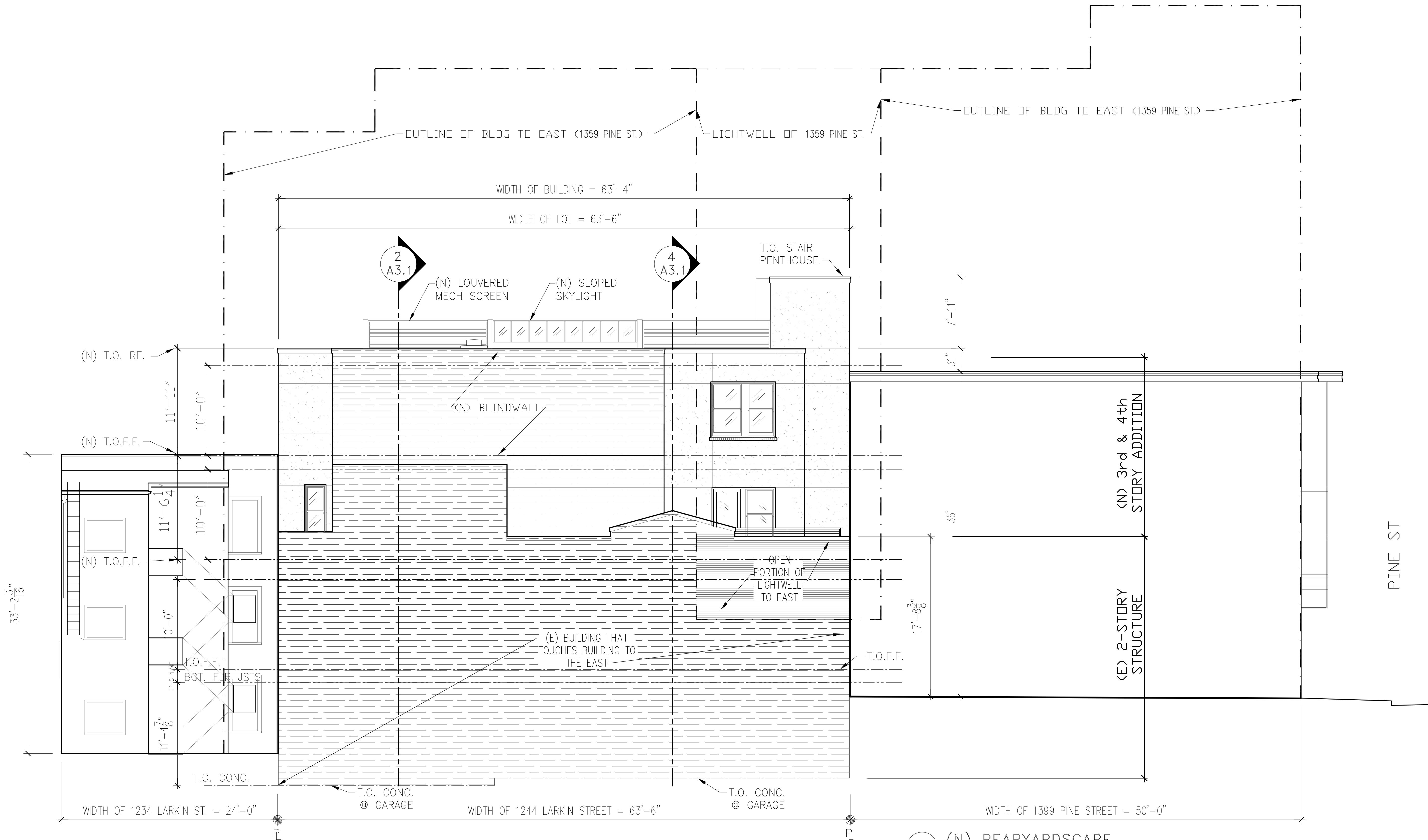


TYPICAL (N) MATERIALS:
WINDOWS: WOOD
DOORS: WOOD & ALUMINUM
BODY: BRICK & STUCCO
RAILINGS: MTL w/ CABLE RAIL INFILL
DECK: IPE (SUSTAINABLE HARDWOOD)

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1244 - LARKIN ST.
SAN FRANCISCO
94109

BLOCK 0278 / LOT 010

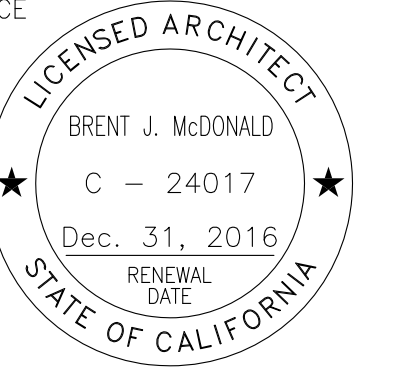


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		3/16" = 1'-0"
Drawn by	BJM	

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE PRIOR WRITTEN CONSENT OF THE ARCHITECT.

(N) EAST REARSCAPE ELEVATION

1 (N) REARYARDSCAPE
SCALE: 3/16" = 1'-0"

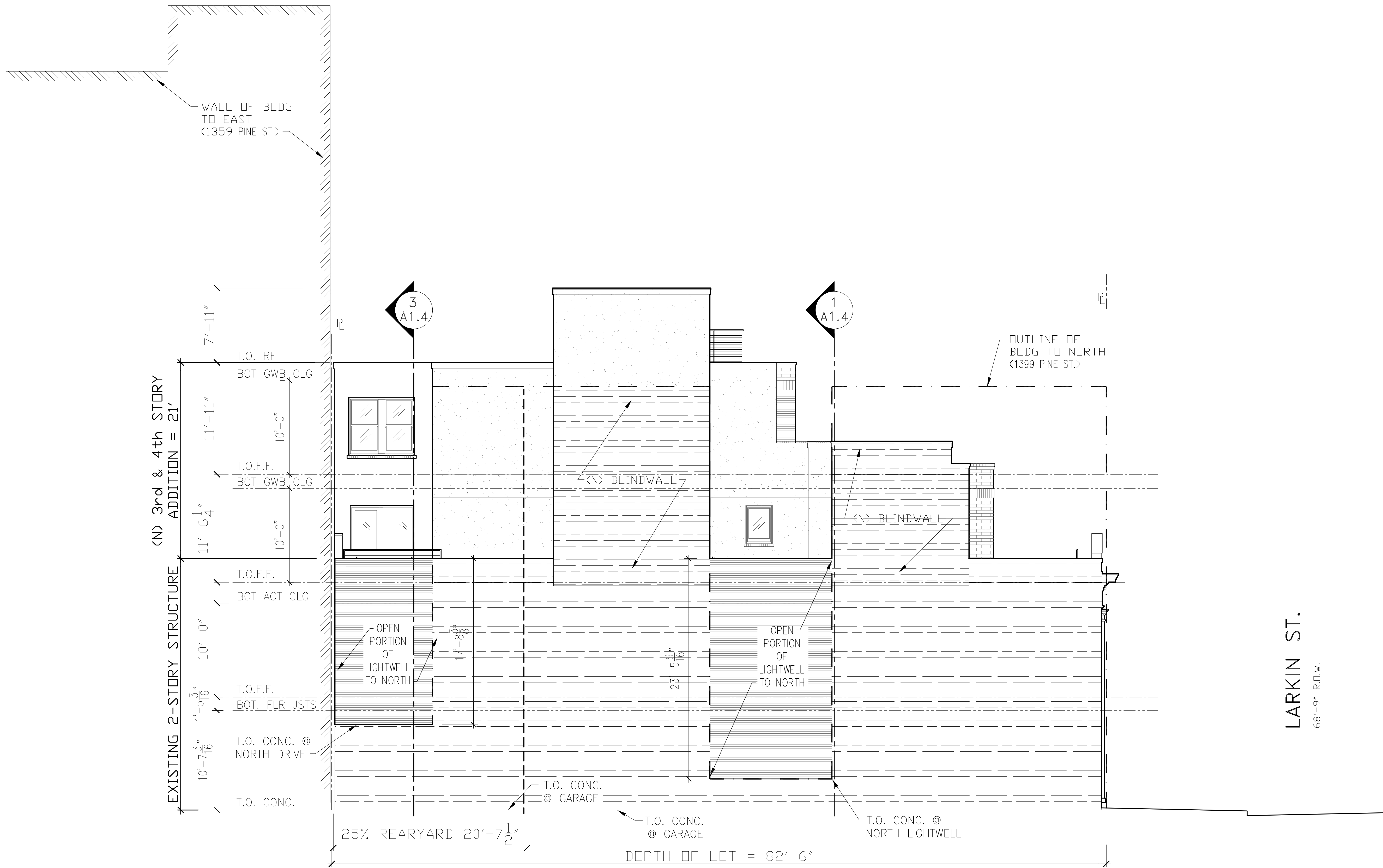


TYPICAL (N) MATERIALS:
WINDOWS: WOOD
DOORS: WOOD & ALUMINUM
BODY: BRICK & STUCCO
RAILINGS: MTL w/ CABLE RAIL INFILL
DECK: IPE (SUSTAINABLE HARDWOOD)

CANTRELL BUILDING

1244 - LARKIN ST.
SAN FRANCISCO
94109

BLOCK 0278 / LOT 010



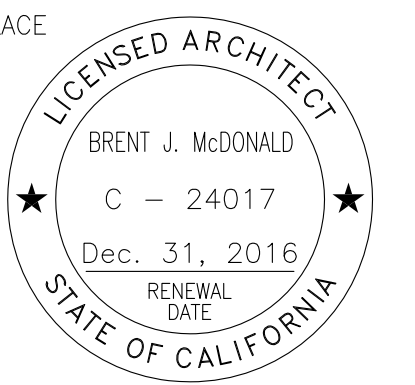
LARKIN ST.
68'-9" R.O.W.

VARIANCE APP SET	01/12/16	
PG&E REVISION	07/22/16	
PLANNING RESUBMITTAL	11/17/16	
No	Date	Revision/Issue
Project Number	2015.07	Scale
		3/16" = 1'-0"
Drawn by	BJM	

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(N) NORTH EXTERIOR ELEVATION

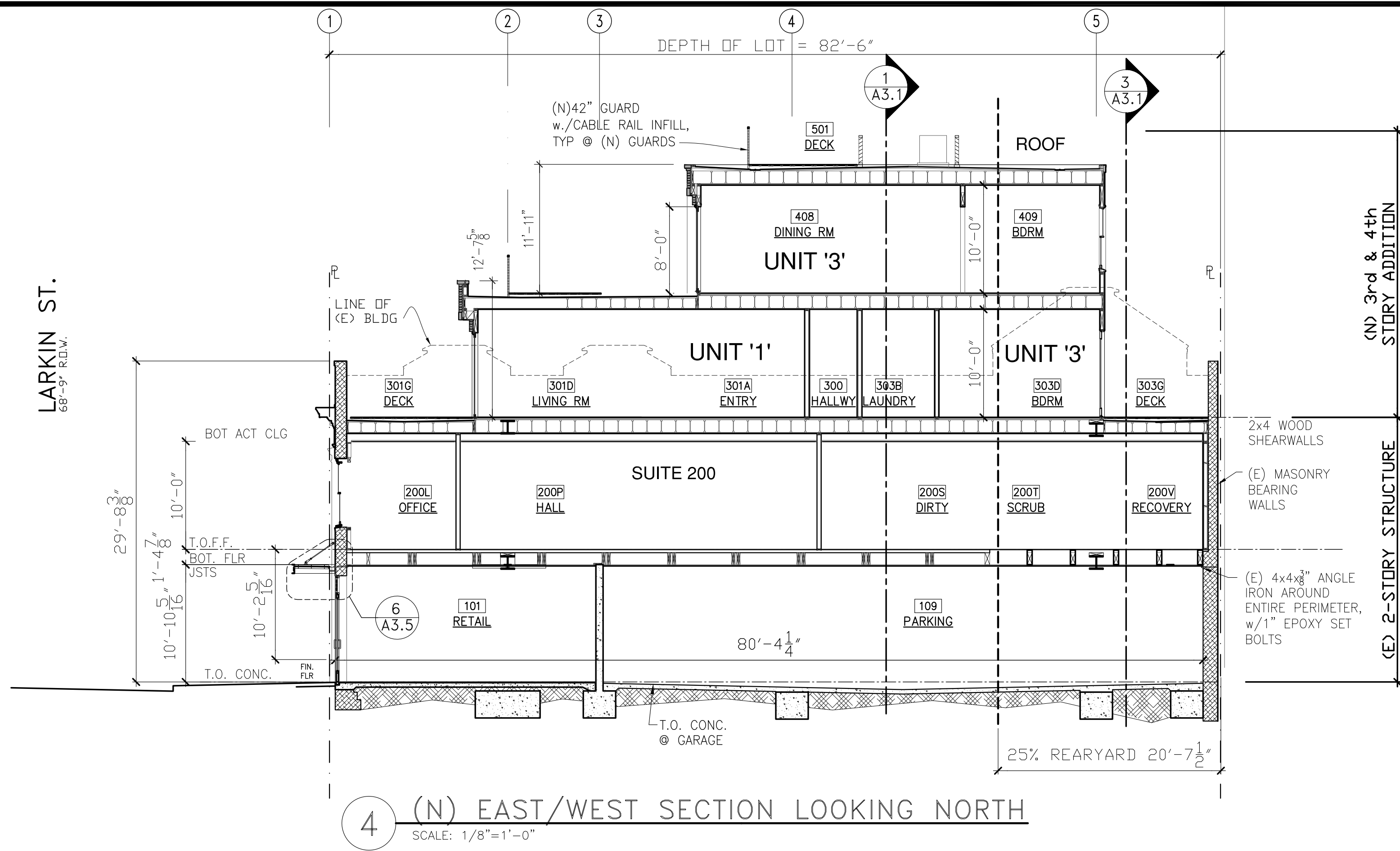
1 (N) NORTH ELEVATION
SCALE: 1/8" = 1'-0"



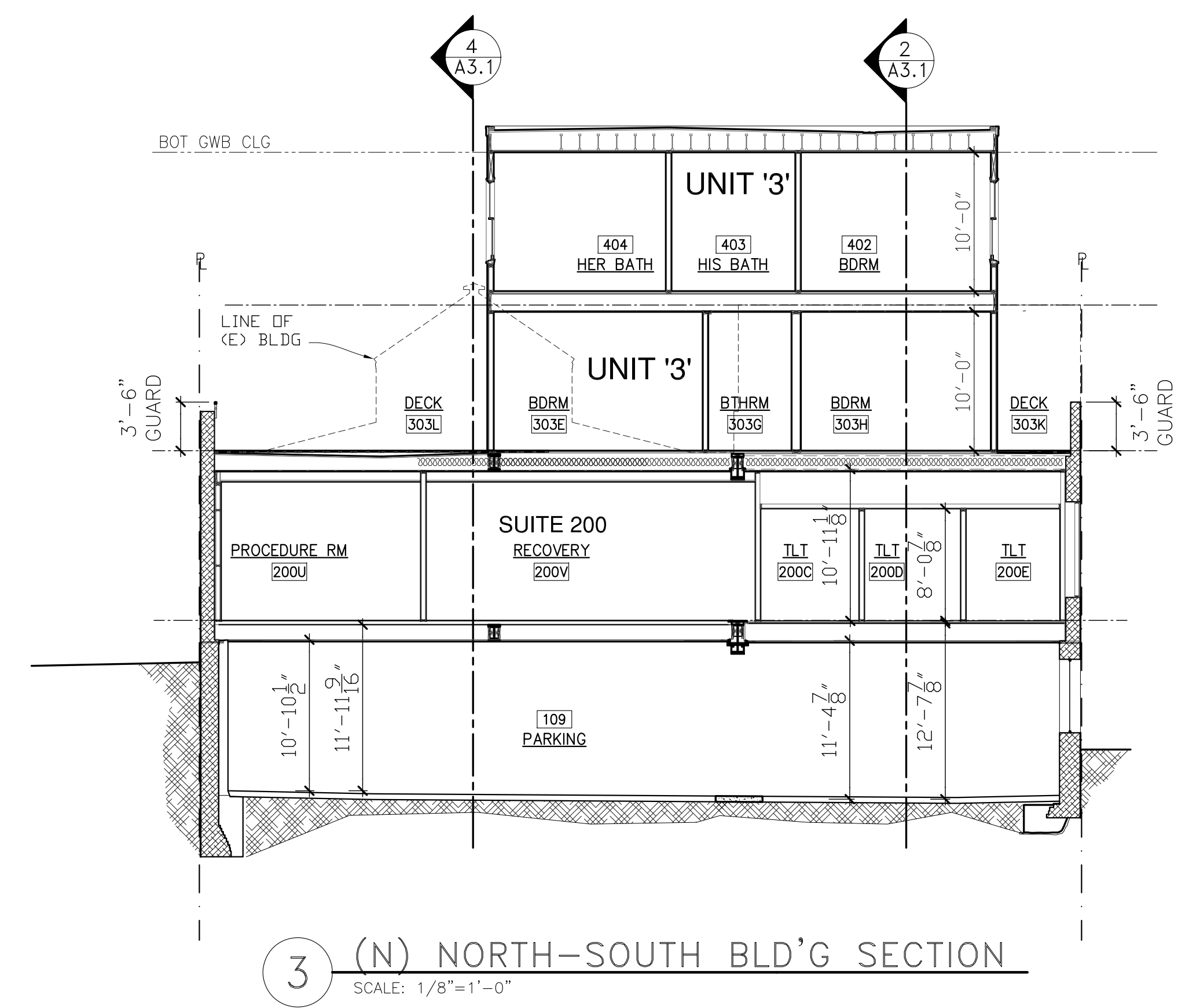
CANTRELL BUILDING

1244 - LARKIN ST.
SAN FRANCISCO
94109

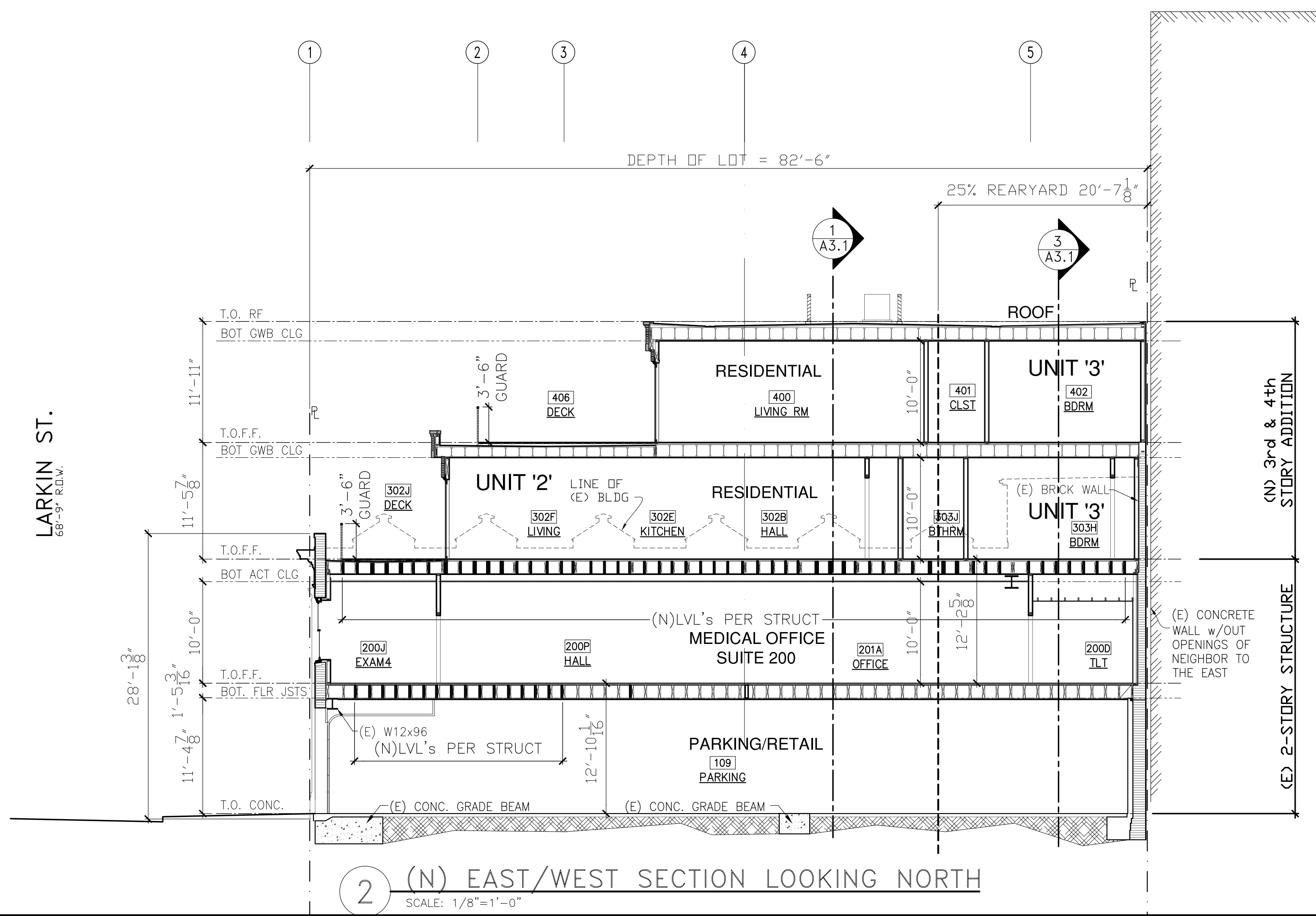
BLOCK 0278 / LOT 010



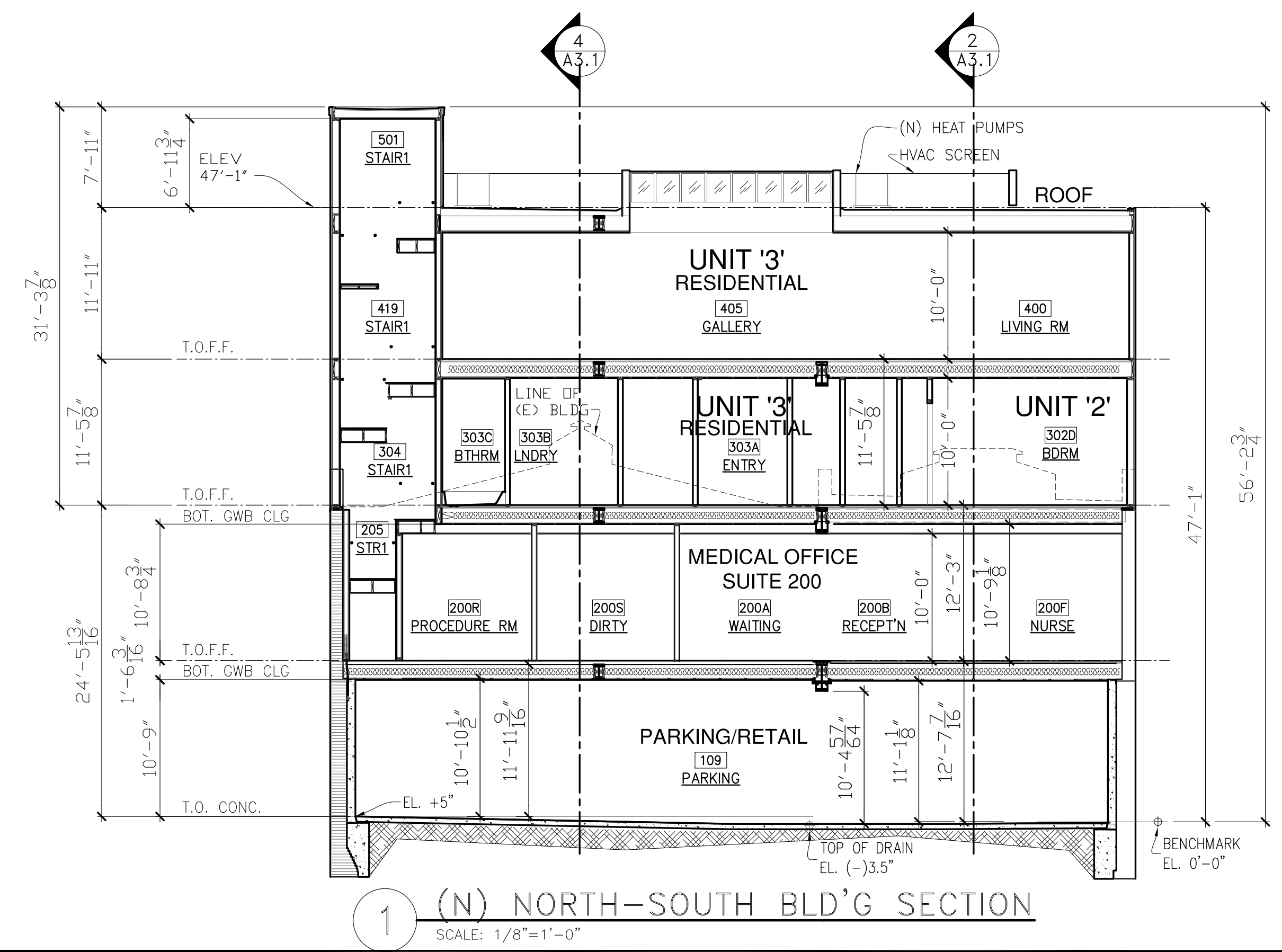
4 (N) EAST/WEST SECTION LOOKING NORTH
SCALE: 1/8"=1'-0"



3 (N) NORTH-SOUTH BLD'G SECTION
SCALE: 1/8"=1'-0"



2 (N) EAST/WEST SECTION LOOKING NORTH
SCALE: 1/8"=1'-0"



1 (N) NORTH-SOUTH BLD'G SECTION
SCALE: 1/8"=1'-0"

VARIANCE APP SET	01/12/16	
PG&E REVISION	07/22/16	
PLANNING RESUBMITTAL	11/17/16	
No	Date	Revision/Issue
Project Number	Scale	1/8" = 1'-0"
2015.07		
Drawn by	BJM	

(N) BUILDING SECTIONS

A 3.4