



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2016**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Front Setback and Street Frontage)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 3649 21st Street	Case No.: 2015-015029VAR
Cross Street(s): Sanchez and Church Streets	Building Permit: 2015.1015.9779
Block / Lot No.: 3620/058	Applicant/Agent: Patrick Perez
Zoning District(s): RH-1/40-X	Telephone: 415-370-7269
Area Plan: N/A	E-Mail: patrick@architectural-development.com

PROJECT DESCRIPTION

The Proposed Project is to add a new subterranean garage underneath an existing single-family dwelling, which currently encroaches into the required front setback. The garage door will be located below an existing staircase.

PER SECTION 132 OF THE PLANNING CODE the subject property requires a front setback of approximately 15 feet. The proposed garage addition would be located approximately 8 feet from the front property line; therefore, the project requires a variance.

PER SECTION 144 OF THE PLANNING CODE street facing garages structures and garage doors may not extend closer to the street than the primary building façade. The primary building façade has a setback of 12.5 feet from the front property line and the new garage door will be located approximately 8 feet from the front property line; therefore, the project requires a variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Erika Jackson** Telephone: **415-558-6363** Mail: erika.jackson@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2015-015029VAR.pdf>

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

PENNEBAKER/GONZALES RESIDENCE

3649 TWENTY FIRST ST, SAN FRANCISCO, CA

No.	Description	Date
1	Section Revision	5-13-16

PROJECT NOTES

- All construction, regardless of details on plans, shall comply with the 2013 California Building Code, 2013 California Residential Code, 2013 California Plumbing Code, 2013 California Mechanical Code, 2013 California Electrical Code, 2013 Green Building Standards, 2013 California Building Energy Standards and Mill Valley Municipal Code.
- The documents describe intent. Contractor is responsible to provide complete, operational systems and installations. No claims for additional work will be awarded for work which is described in these documents or which is reasonably inferable from them.
- All dimensions, notes and details shown on a portion of a drawing shall apply typically to all opposite hand and/or similar conditions, U.O.N.
- Details shown are typical. Similar details apply to similar conditions.
- Contractor is responsible for the thorough coordination of all trades. No claims for additional work will be awarded for work related to such coordination.
- The Contractor shall examine the contract documents and shall inform himself as to the entire contents thereof before submitting his proposal. Any errors or ambiguities noted by him during said examination should immediately be called to the attention of the Architect before submitting a bid thereto. The Architect will issue an addendum or interpretation of the cited error or ambiguity. No subsequent claim for extra work will be allowed on account of claimed misunderstanding of the meaning or intent of the contract documents or any portion thereof if the item occasioning the claim appeared in, or was inferable from, said documents as furnished for bidding purposes.
- The Contractor should visit the work site to ascertain by inspection pertinent local conditions such as location, character and accessibility of the site, availability of the facilities, character of existing building, etc.
- Where a structural element is removed as indicated on drawings, verify location and dimensions with structural and architectural documents. Shore and brace as required.
- Electrical, mechanical design/build subcontractors will be responsible for obtaining permits for their scope of work from the agencies having jurisdiction.
- One copy of all building permits shall be submitted to the Architect.
- All dimensions are to finish face of masonry, face of concrete, centerline of steel, face of mill work, or fixtures U.O.N. Dimensions are not adjustable without Architect's approval unless noted as "x". Verify dimensions marked "V.I.F.:" prior to commencement of construction and notify architect in writing of any inconsistencies.
- Contractor shall not scale drawings. Dimensions shall govern. Drawings at a large scale shall take precedence over drawings of a small scale. Details shall govern over plans, sections and elevations.
- Contractor shall verify rough opening requirements with manufacturers unit dimensions and prevent provision of required rough opening, specifics of the situation shall be reported in writing to the Architect.
- All mounting of equipment, fixtures or accessories - including wall, floor and ceiling installation - shall be as required to meet provisions of the 2010 California Building Code, the Mill Valley Planning Code all other applicable codes, the requirements of all other agencies having jurisdiction, and manufacturers instructions. In cases of differences contractor shall notify architect in writing. All casework shall be secured to support blocking at walls.
- Contractor shall notify Architect immediately of all utilities determined in the course of construction as being necessary to be removed which have not otherwise been noted for removal. Contractor shall remove such utilities only after the consultation with the Architect and Owner. All utilities removed shall be disconnected, cut back to source, and capped. All penetrations created by the removal of utilities shall be sealed to match adjacent construction and finishes.
- Delays resulting from failure to supply submittals and information shall be the responsibility of the General Contractor. Appropriate steps shall be taken to make up for lost time.
- Contractor shall protect area and new or existing materials and finishes from damage which may occur from construction, demolition, dust, water, etc. and shall provide and maintain temporary barricades, closure walls, etc., as required to protect the public during the period of construction. Damage to new and existing materials, finishes, structures, and the equipment shall be repaired or replaced to the satisfaction of the Owner at the expense of the General Contractor.
- Work areas to remain secure and lockable during construction.
- Contractor shall remove all rubbish and waste materials of all subcontractors and trades on a daily basis and shall exercise strict control over job cleaning to prevent any dirt, debris or dust from affecting any finished areas in or outside the job site. Burning of debris on the site shall not be permitted.
- Upon completion, the Contractor shall leave the premises and all affected areas clean to a broom clean condition and in an orderly manner ready for move-in.
- Security provisions are part of this contract. Contractor shall review work and coordination requirements prior to start of construction.
- Contractor shall not proceed with any work requiring additional compensation beyond the contract amount without written authorization from the architect or owners representative. Failure to obtain written authorization shall invalidate any claim for additional compensation.
- Place and secure all ancor bolts and other items to be cast in concrete for foundation inspection. Wet setting anchor bolts or reinforcing after placement of concrete is not allowed.

ABBREVIATIONS

A.C.	Air Conditioning	(N)	New
Acous.	Acoustical	N	North
A.F.F.	Above Finish Floor	Nom.	Nominal
Aggr.	Aggregate	No.	Number
Alt.	Alternate	#	Number
Approx.	Approximate	NIC	Not in Contract
Arch.	Architectural	N.T.S.	Not To Scale
Avg.	Average		
		O.C.	On Center
		O.D.	Outside Diameter
Bd.	Board, Bead	Opg.	Opening
Bitum.	Bituminous	Opp.	Opposite
Bldg.	Building		
		Perf.	Perforated
Cab.	Cabinet	Perp.	Perpendicular
Cem.	Cement	Pl.	Plate
Cer.	Ceramic	Ph.	Phase
C.L.	Center Line	P.L.	Property Line
Clg.	Ceiling	Clear	Plastic Laminate
Clr.	Clear	Plas.	Plaster
Col.	Column	Plywd.	Plywood
Conc.	Concrete	Pr.	Pair
Constr.	Construction	Prop.	Property
Cont.	Continuous	Pt.	Point
		Ptn.	Partition
		P.T.	Pressure Treated
		Qty.	Quantity
		R.	Riser
		Rad.	Radius
		Rm.	Room
		R.D.	Roof Drain
		R.V.	Roof Vent
		Ref.	Reference
		Refr.	Refrigerator
		Reinf.	Reinforced
		Req'd.	Required
		Resil.	Resilient
		R.O.	Rough Opening
		R.W.L.	Rain Water Leader
		S	South
		S.A.D	See Architectural Drawings
		Sched.	Schedule
		Sect.	Section
		S.E.D.	See Electrical Drawings
		Sim.	Similar
		S.L.D.	See Landscape Drawings
		S.M.D.	See Mechanical Drawings
		S.P.D.	See Plumbing Drawings
		Spec.	Specification
		Sq.	Square
		S.S.D.	See Structural Drawings
		S.S.	Stainless Steel
		Std.	Standard
		Stl.	Steel
		Stor.	Storage
		Struct.	Structural
		Susp.	Suspended
		Sym.	Symmetrical
		T	Tread
		Tel.	Telephone
		Temp.	Tempered
		Ter.	Terrazzo
		T&G	Tongue and Groove
		T.O.	Top of
		T.O.P.	Top of Parapet
		TV	Television
		Typ.	Typical
		Unfin.	Unfinished
		U.O.N.	Unless Otherwise Noted
		Util.	Utility
		Vert.	Vertical
		Vest.	Vestibule
		V.I.F.	Verify in Field
		W	West
		With	With
		W.C.	Water Closet
		WD	Washer/Dryer
		W.H.	Water Heater
		WL	Water Line
		W/O	Without

PROJECT DIRECTORY

Property Owners / Contact David Pennebaek
Daniel Gonzales

DESIGNER Gary Jerabeck
Architectural Development, INC.
#2 Third Street
San Francisco, CA

PROJECT INFORMATION

Address: 3649 Twenty First St.
San Francisco, CA

BLOCK/LOT: 3620/058

Zoning: RH-1

Construction Type: VB

EXISTING USE: Residential
PROPOSED USE: Residential

EXISTING Occupancy: Single Family-Residential
PROPOSED Occupancy: Single Family-Residential

AREAS (gross):

EXISTING CONDITION NET SQFT

TOTAL: 2228 SF

PROPOSED CONDITION NET SQFT

GARAGE : 788 SF
TOTAL : 3016 SF

SETBACKS REQUIRED:

FRONT SETBACK: None
REAR SETBACK: Average of Adjacent Building
SIDE SETBACK: None

SPC SECTION 132 LANDSCAPE SET BACK CALCULATIONS

(E) FRONT SET BACK LANDSCAPE = 59 SQFT
(N) FRONT SET BACK LANDSCAPE = 31 SQFT
31 / 59 = 53% 53% > 20 % O.K.

GREEN ORDINANCE PERMEABLE SURFACE CALCULATIONS

TOTAL FRONT SET BACK DRIVEWAY AREA = 270 SQFT
TOTAL PERMEABLE SURFACE = 270 SQFT
270/270 = 100% 100%>50% O.K.

PARKING

(E) PROVIDED/REQUIRED: 0 TOTAL
(N) PROVIDED/REQUIRED: 2 TOTAL: 1 full size, 1 compact

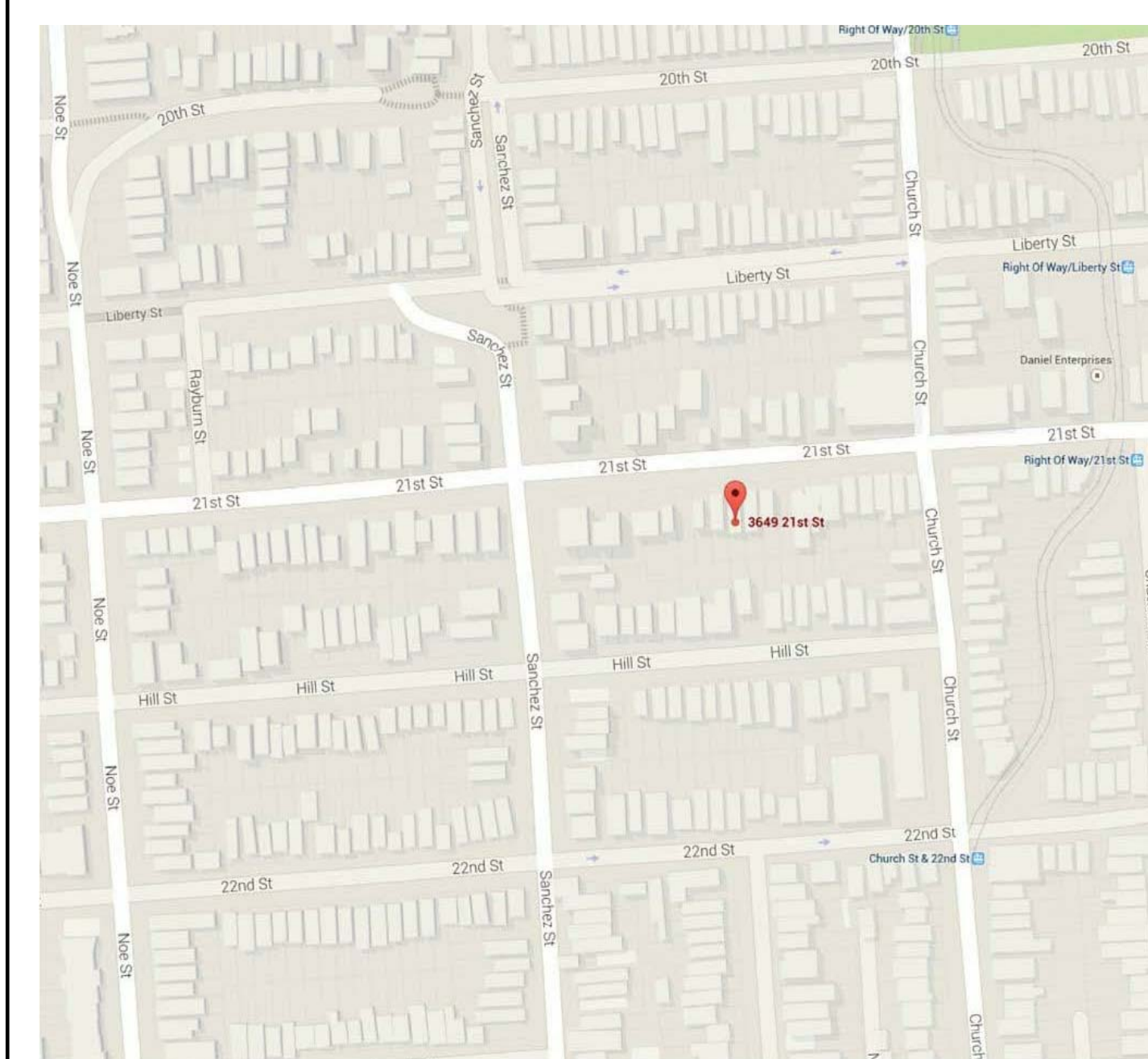
DRAWING INDEX

NO.	SHEET NAME
A0.0	COVER SHEET
A0.1	PICTURES
A0.2	SITE PLAN
A1.00	NEW GARAGE LEVEL FLOOR PLAN
A1.1	LEVEL 1 FLOOR PLAN
A1.2	LEVEL 2 FLOOR PLAN
A2.0	FRONT ELEVATIONS
A2.1	SIDE ELEVATIONS
A3.0	SECTIONS
A3.1	SECTIONS
A4.0	ELECTRICAL

SCOPE OF WORK

- New garage below first level
- Replace or repair in kind existing front stairway
- Partial Interior renovation

VICINITY MAP



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3649 TWENTYFIRST ST
SAN FRANCISCO, CA

BLOCK/LOT 3620/058

COVER SHEET

Date 12/21/15
Drawn by AA
Checked by GJ

A0.0

Scale



No.	Description	Date

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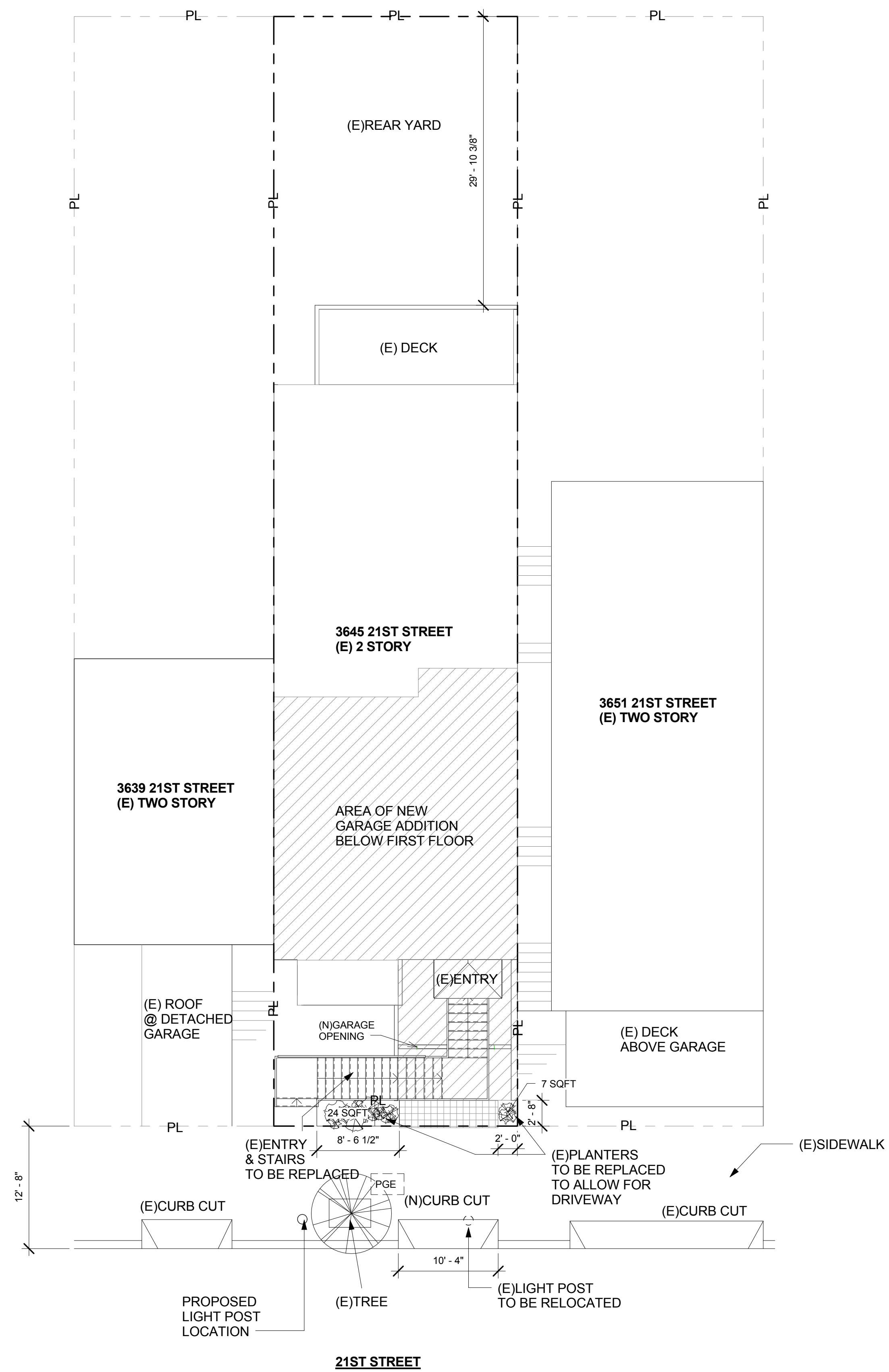
PICTURES

Date 12/21/15
 Drawn by AA
 Checked by GJ

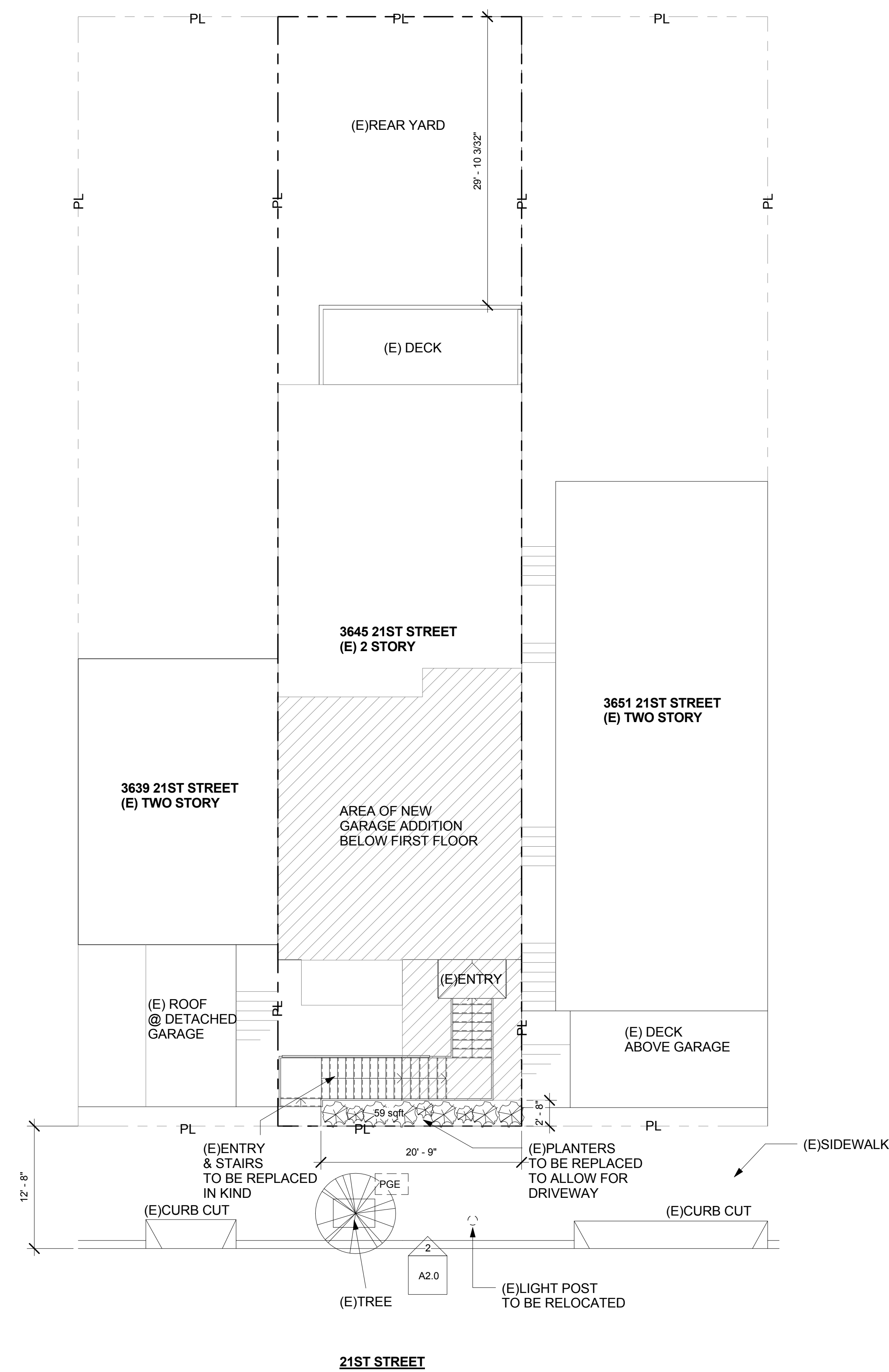
A0.1

Scale

No.	Description	Date



2 NEW SITE
1/8" = 1'-0"



1 EXISTING SITE
1/8" = 1'-0"



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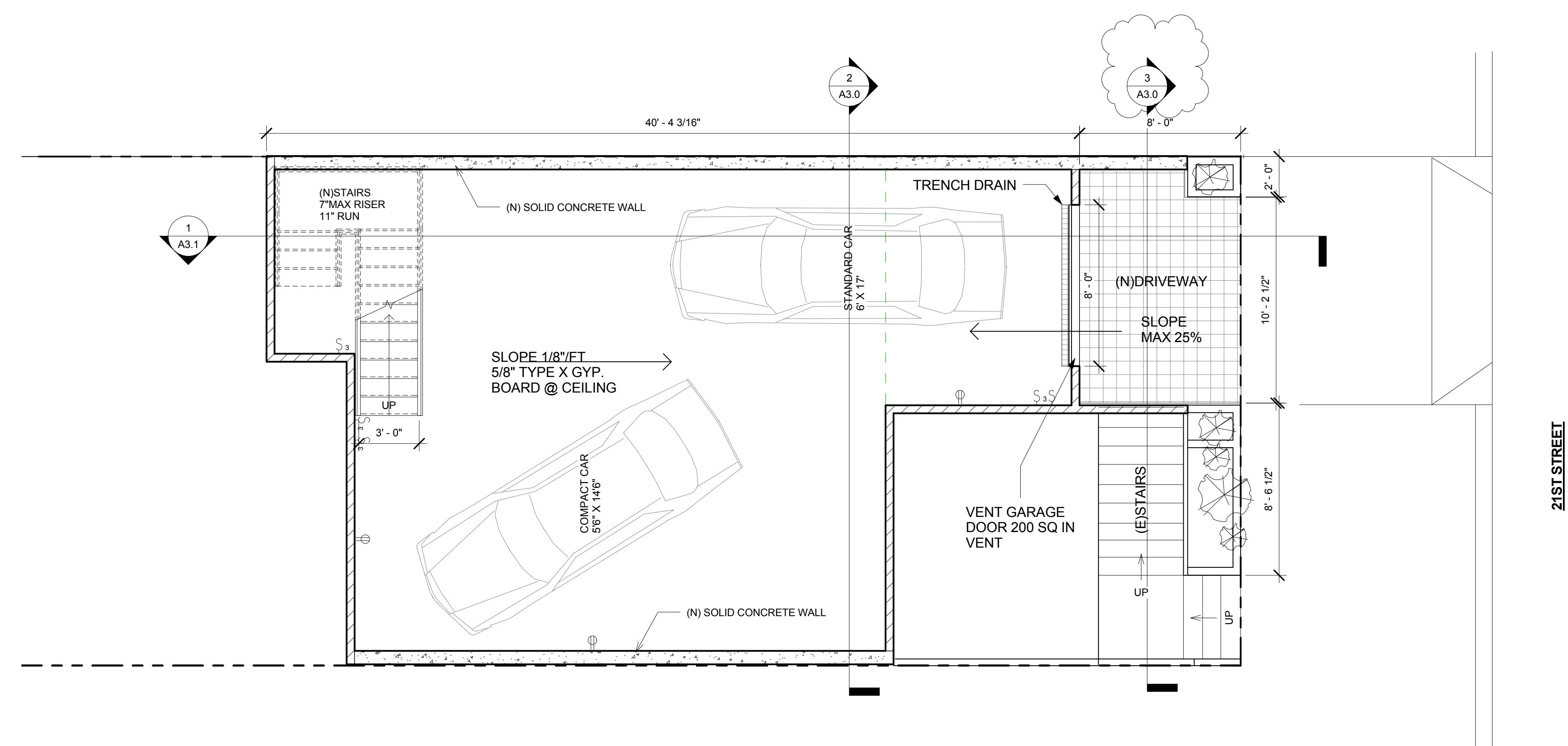
SITE PLAN

Date 12/21/15
Drawn by AA
Checked by GJ

A0.2

Scale 1/8" = 1'-0"

No.	Description	Date
1	Section Revision	5-13-16



1 GARAGE LEVEL
1/4" = 1'-0"

EXISTING	[Solid line with no fill]
NEW	[Solid line with diagonal hatching]
DEMO	[Dashed line]

WALL LEGEND
1/4" = 1'-0"



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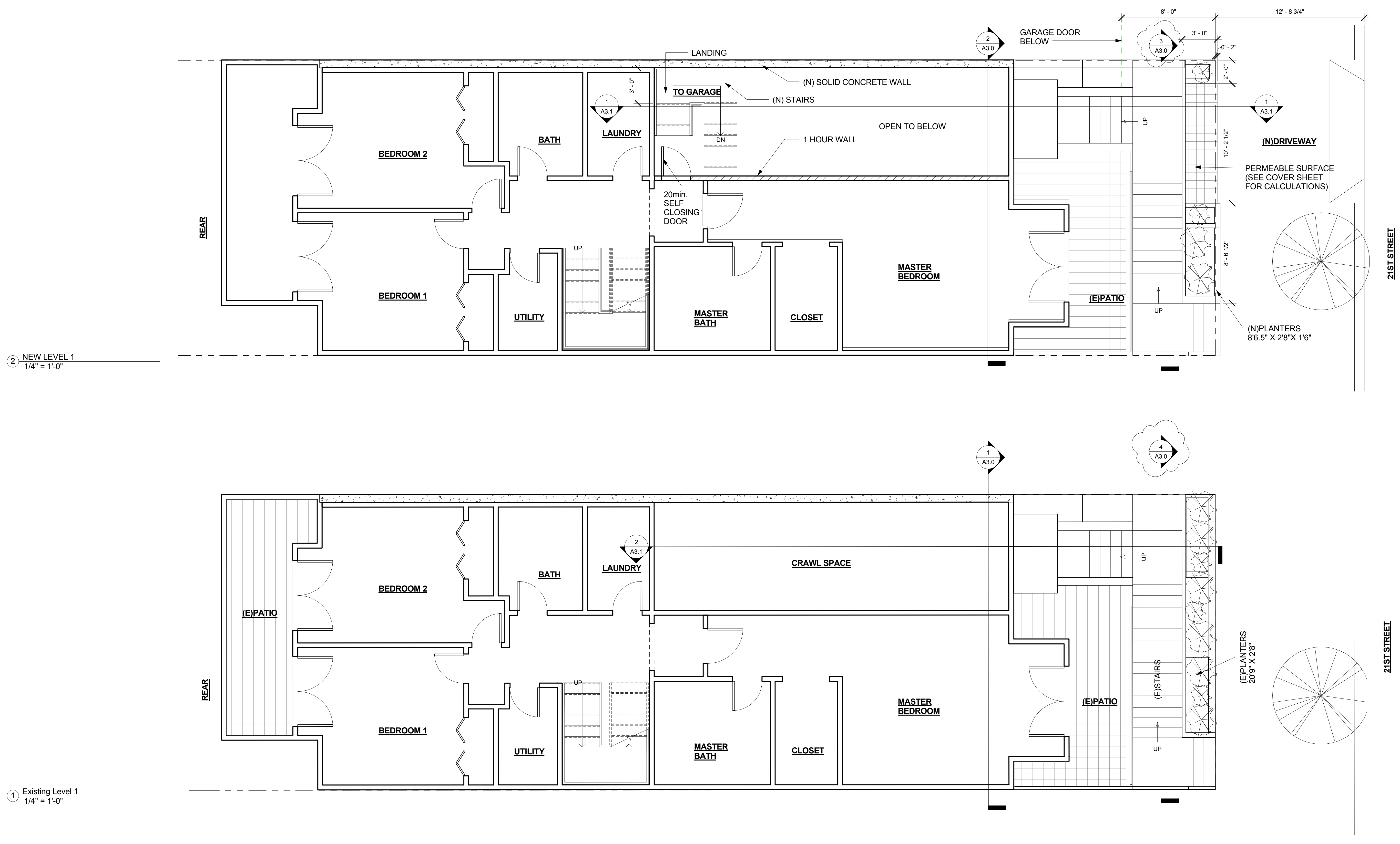
NEW GARAGE LEVEL
FLOOR PLAN

Date 12/21/15
Drawn by Author
Checked by Checker

A1.00

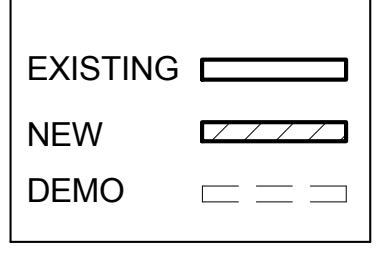
Scale 1/4" = 1'-0"

No.	Description	Date
1	Section Revision	5-13-16



② NEW LEVEL 1
1/4" = 1'-0"

① Existing Level 1
1/4" = 1'-0"



● WALL LEGEND
1/4" = 1'-0"

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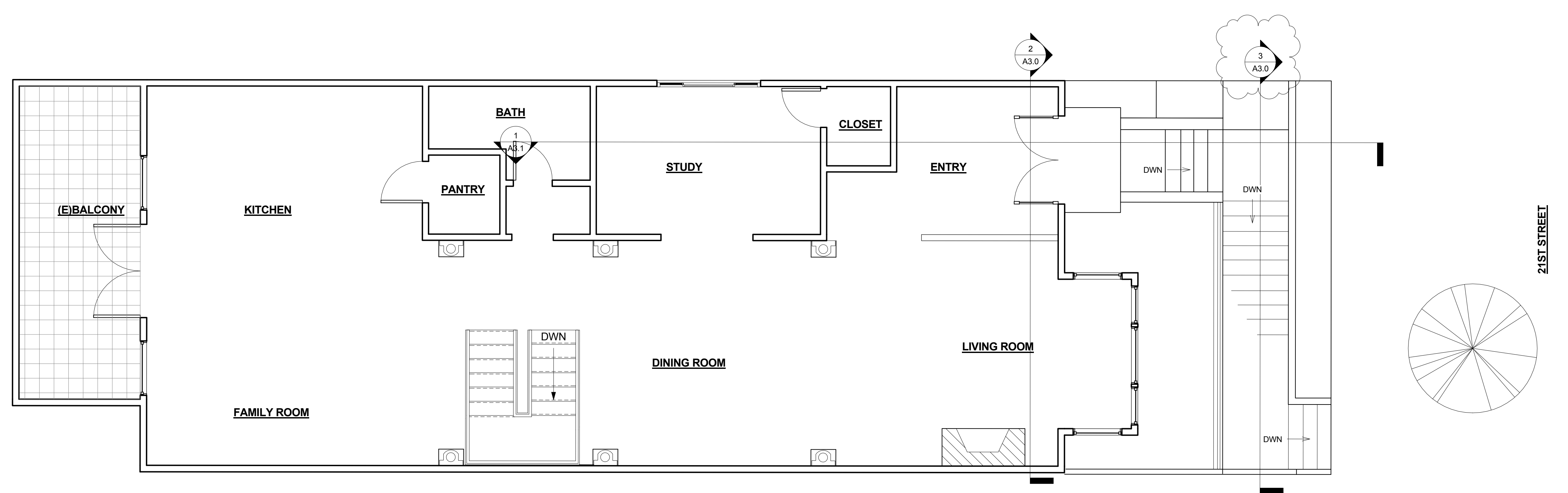
LEVEL 1 FLOOR PLAN

Date 12/21/15
 Drawn by AA
 Checked by GJ

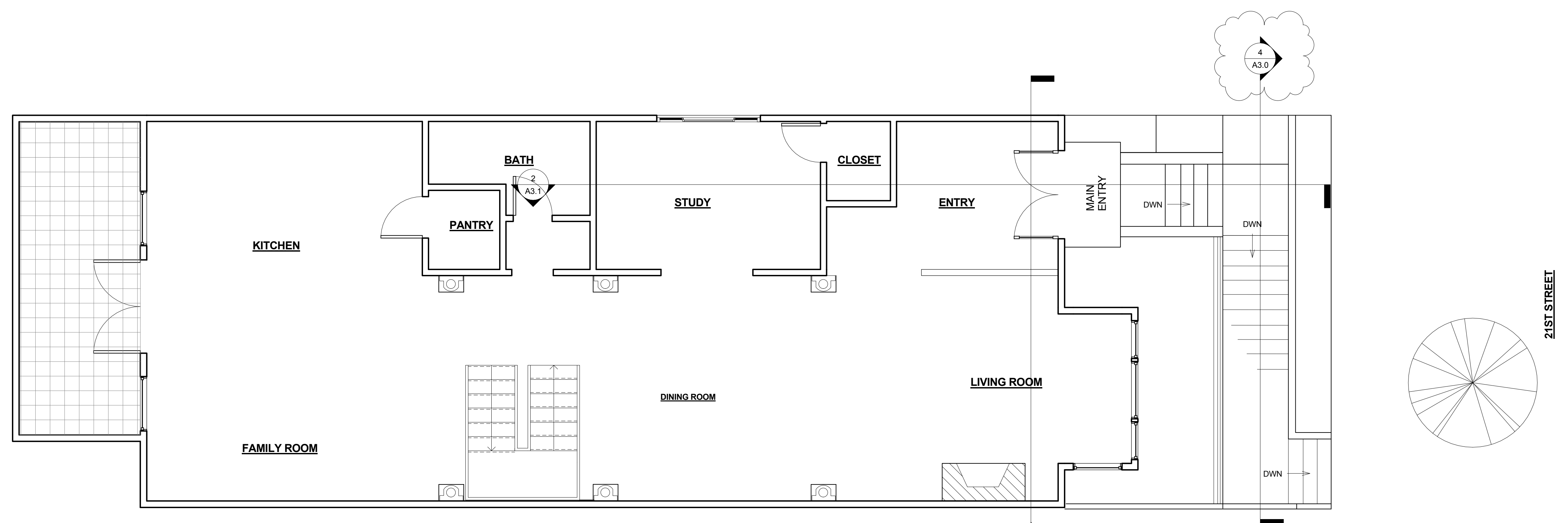
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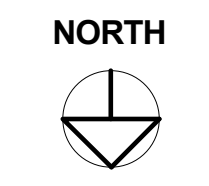
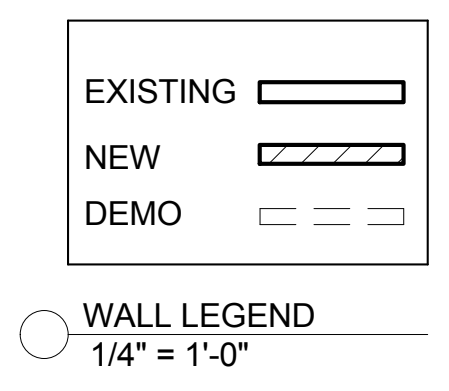
No.	Description	Date
1	Section Revision	5-13-16



2 NEW Level 2
1/4" = 1'-0"



1 Existing Level 2
1/4" = 1'-0"



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LEVEL 2 FLOOR PLAN

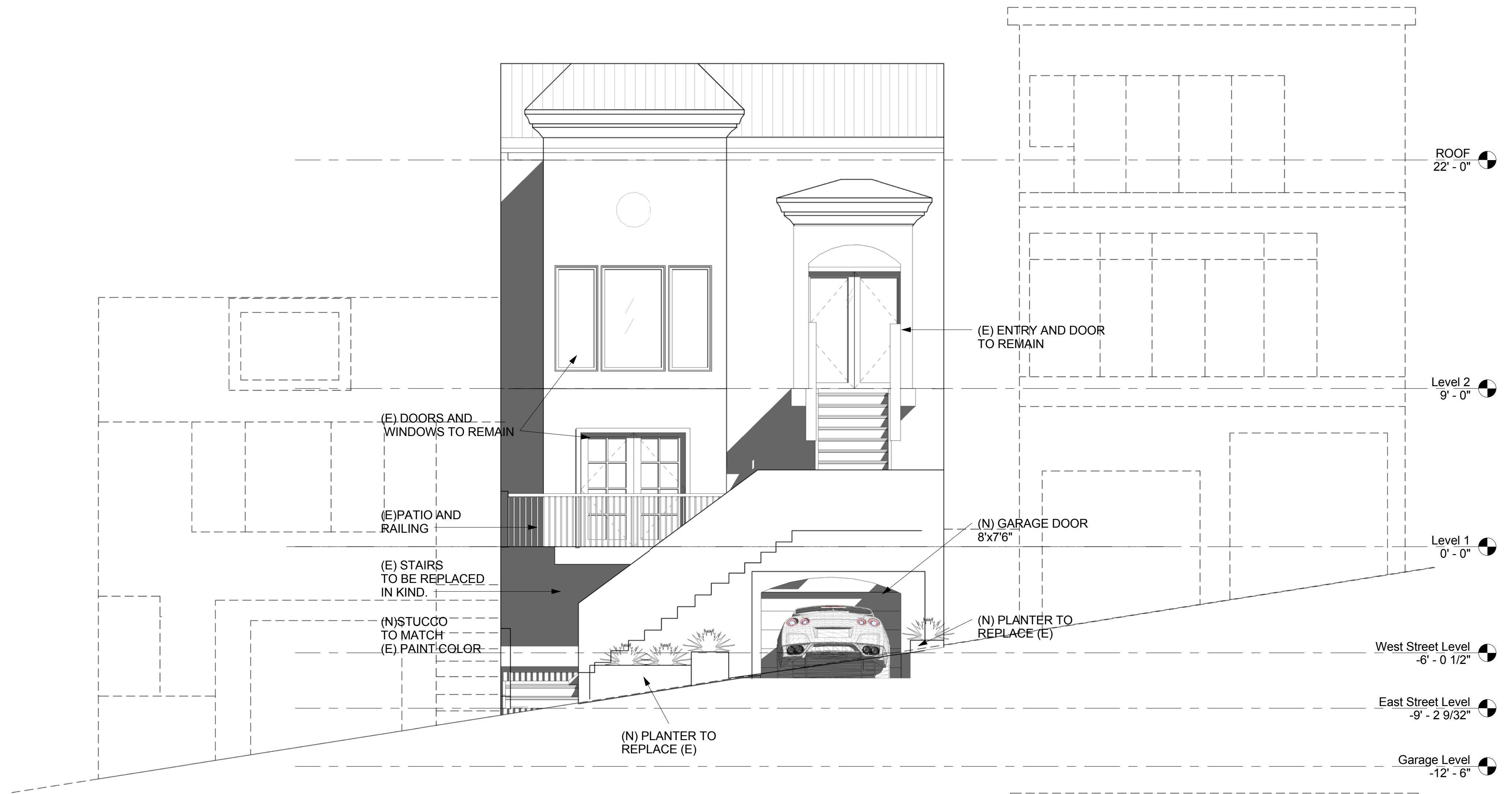
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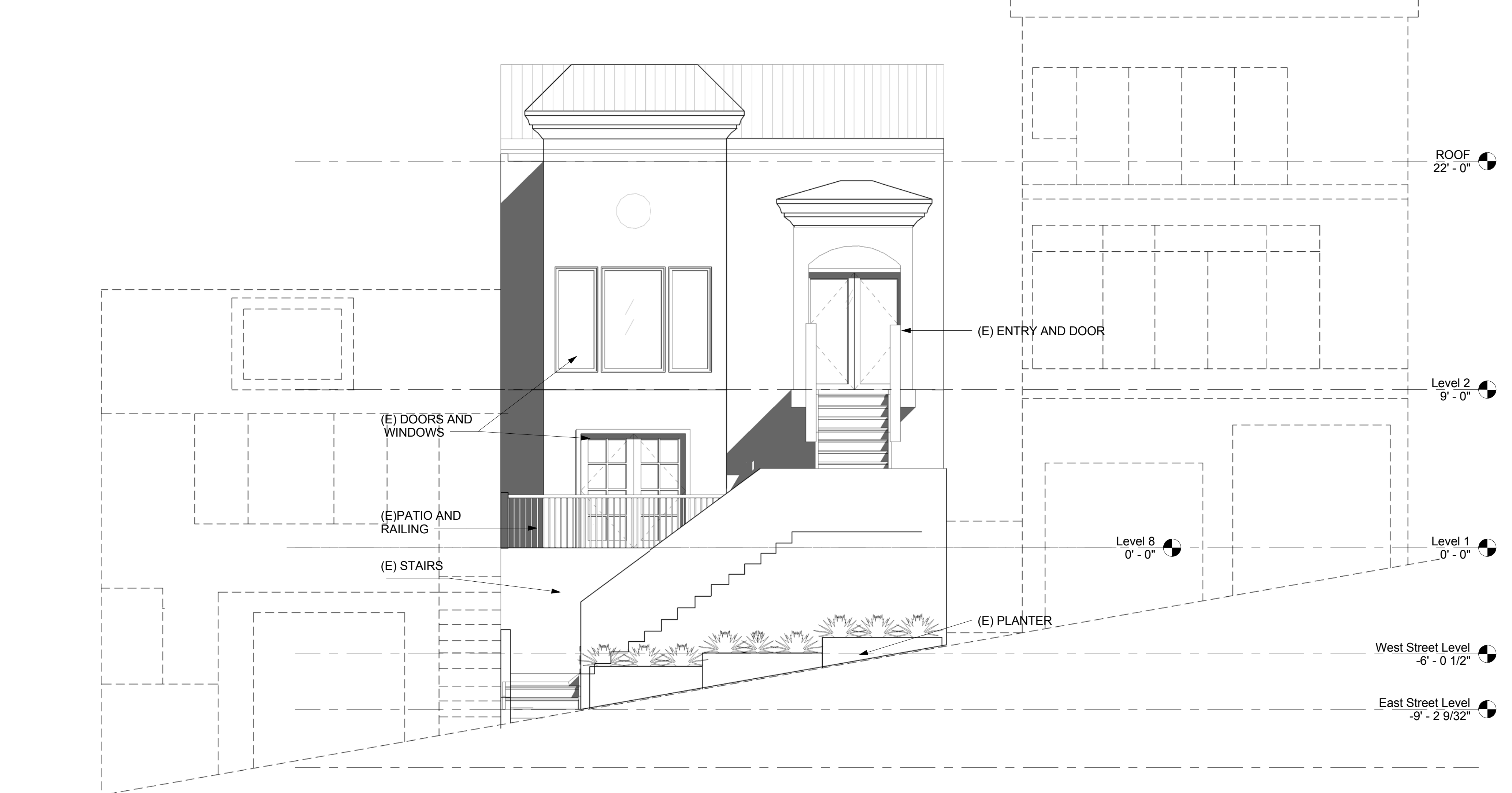
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No.	Description	Date

① (N) FRONT ELEVATION
1/4" = 1'-0"



② (E) FRONT ELEVATION
1/4" = 1'-0"



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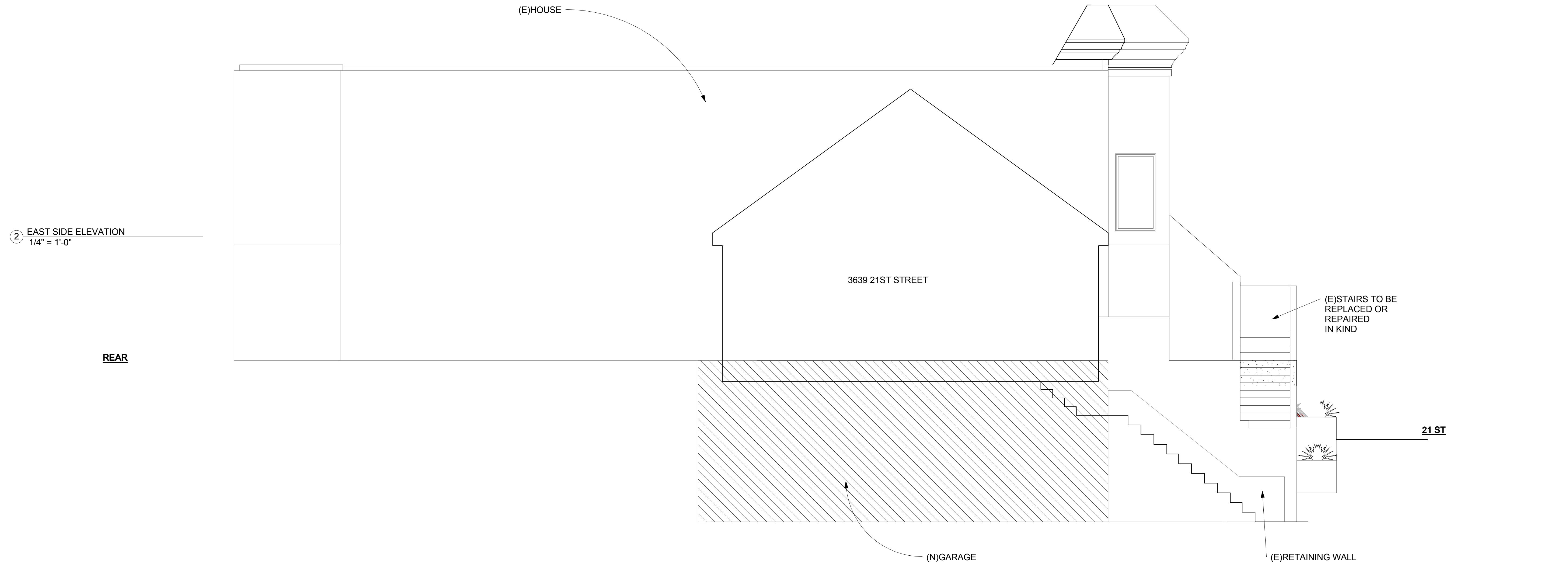
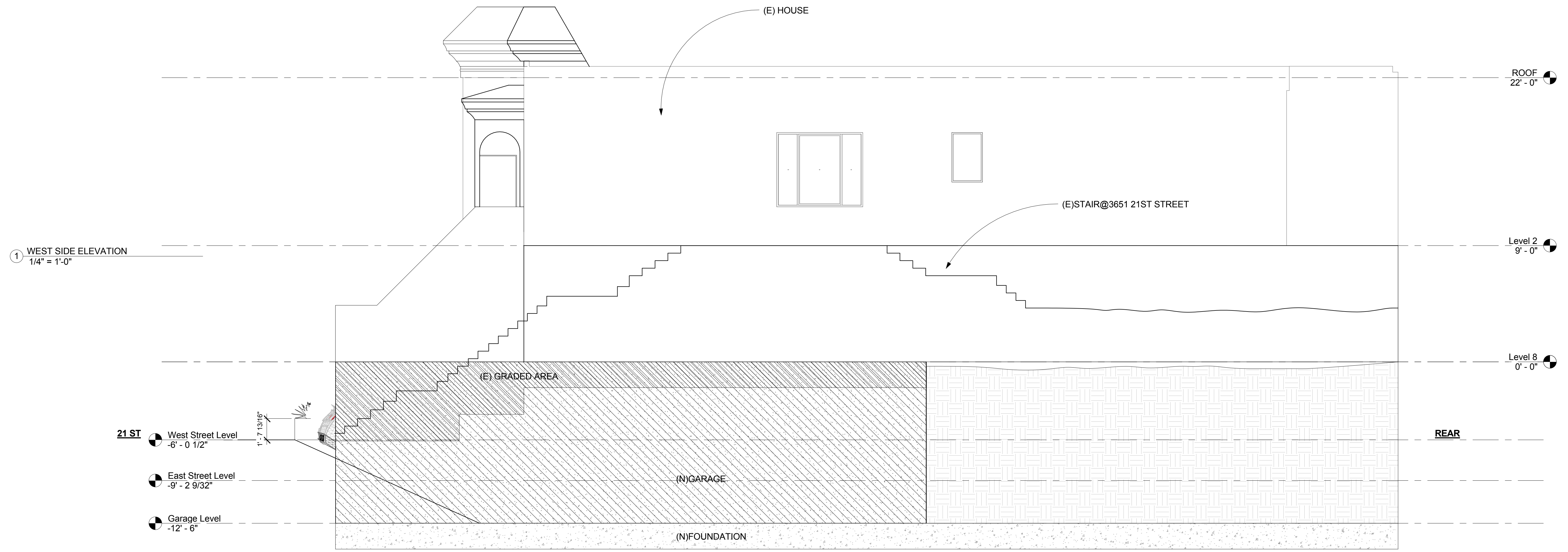
FRONT ELEVATIONS

Date 12/21/15
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 Checked by GJ

A2.0

Scale 1/4" = 1'-0"

No.	Description	Date



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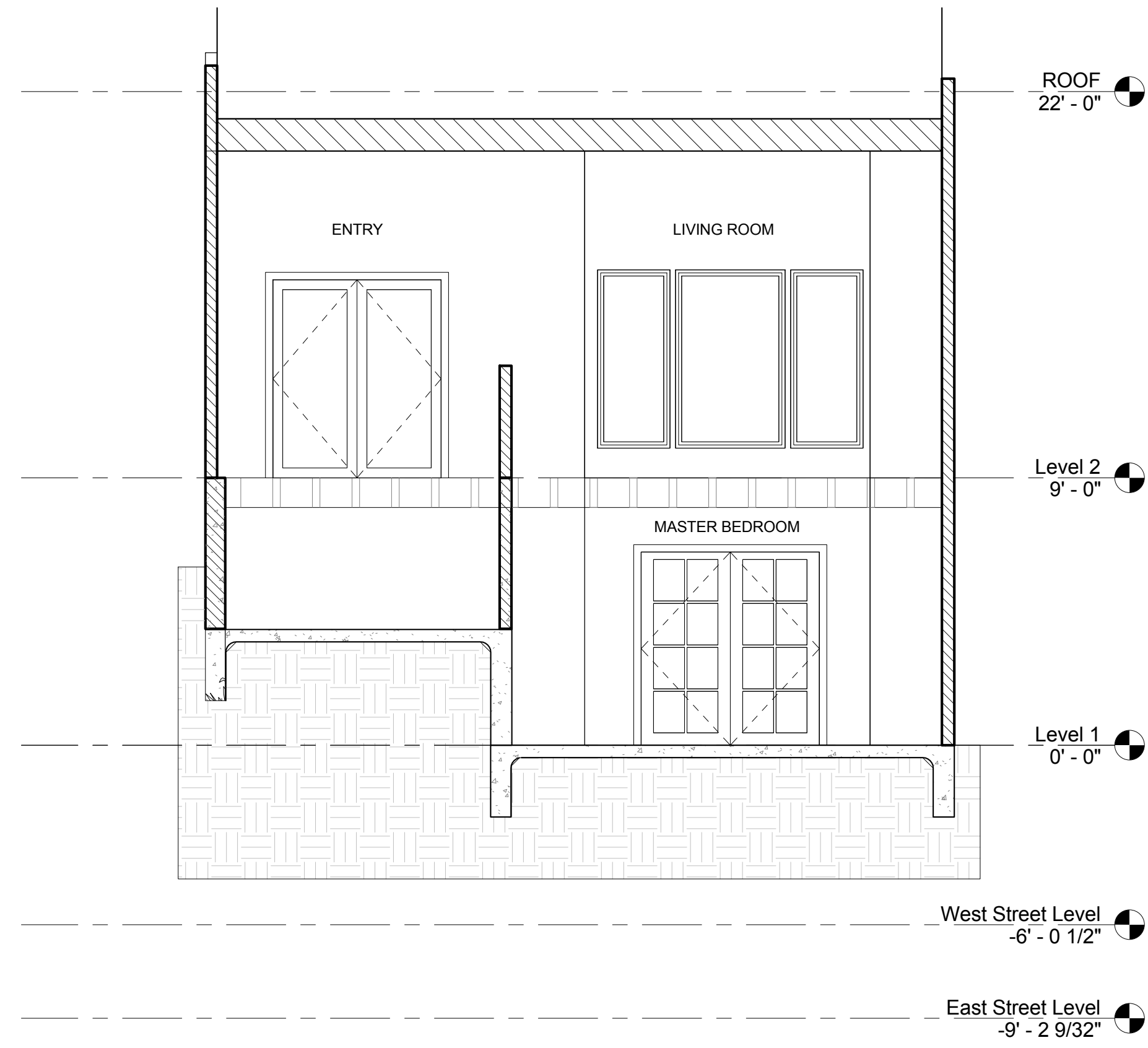
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SIDE ELEVATIONS

Date 12/21/15
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A2.1

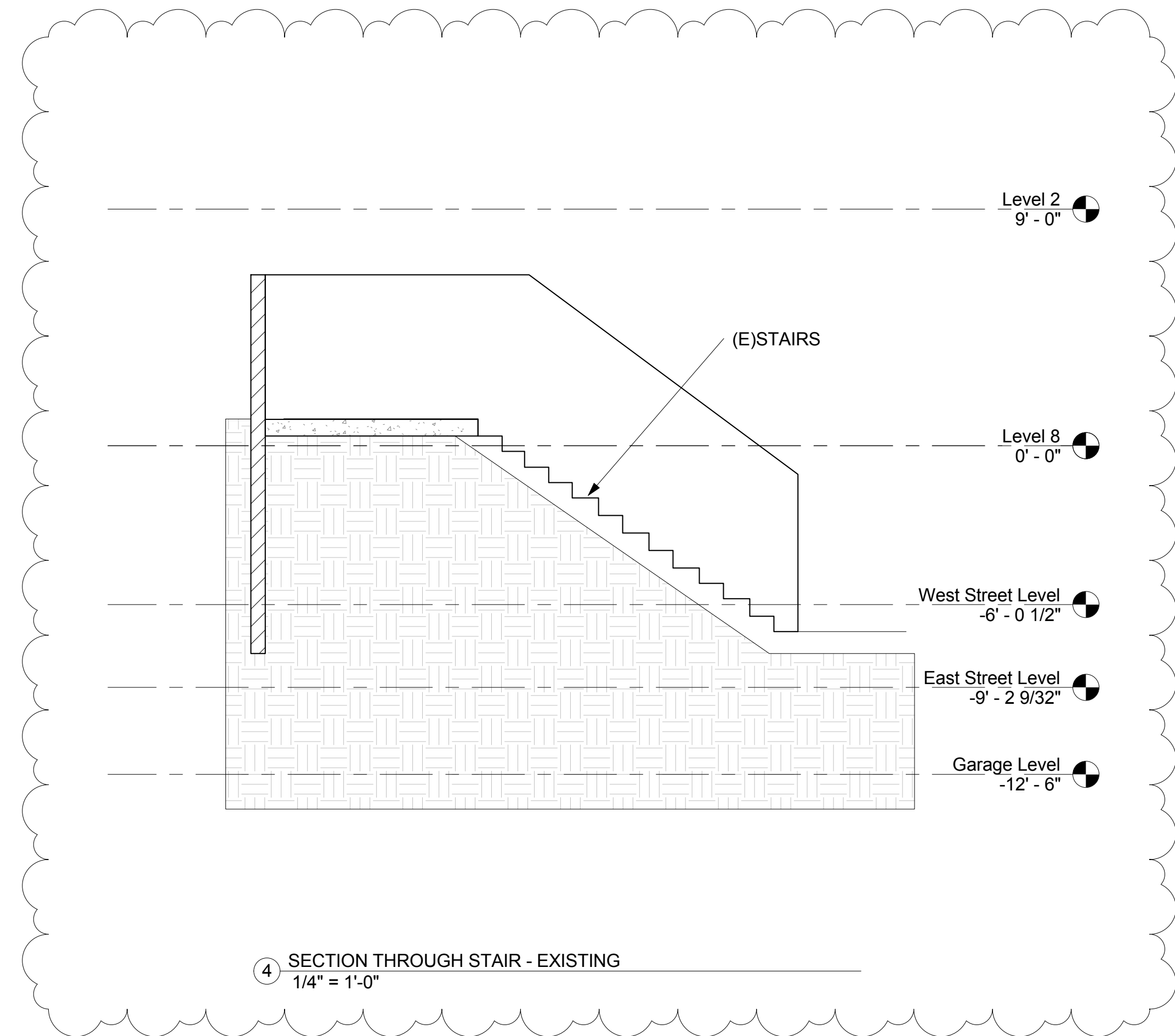
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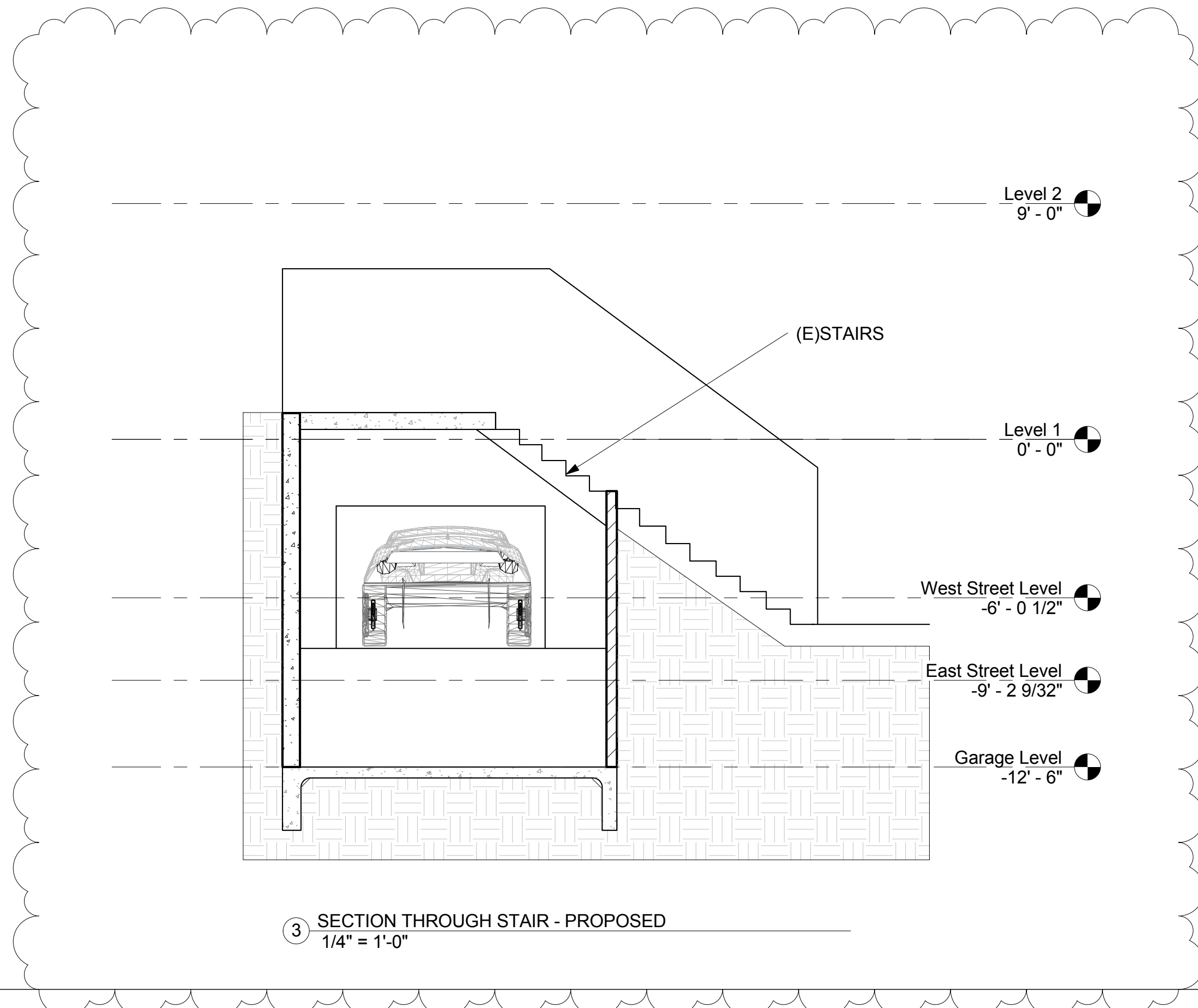
1 SHORT SECTION - EXISTING
1/4" = 1'-0"



2 SHORT SECTION-PROPOSED
1/4" = 1'-0"



4 SECTION THROUGH STAIR - EXISTING
1/4" = 1'-0"



3 SECTION THROUGH STAIR - PROPOSED
1/4" = 1'-0"

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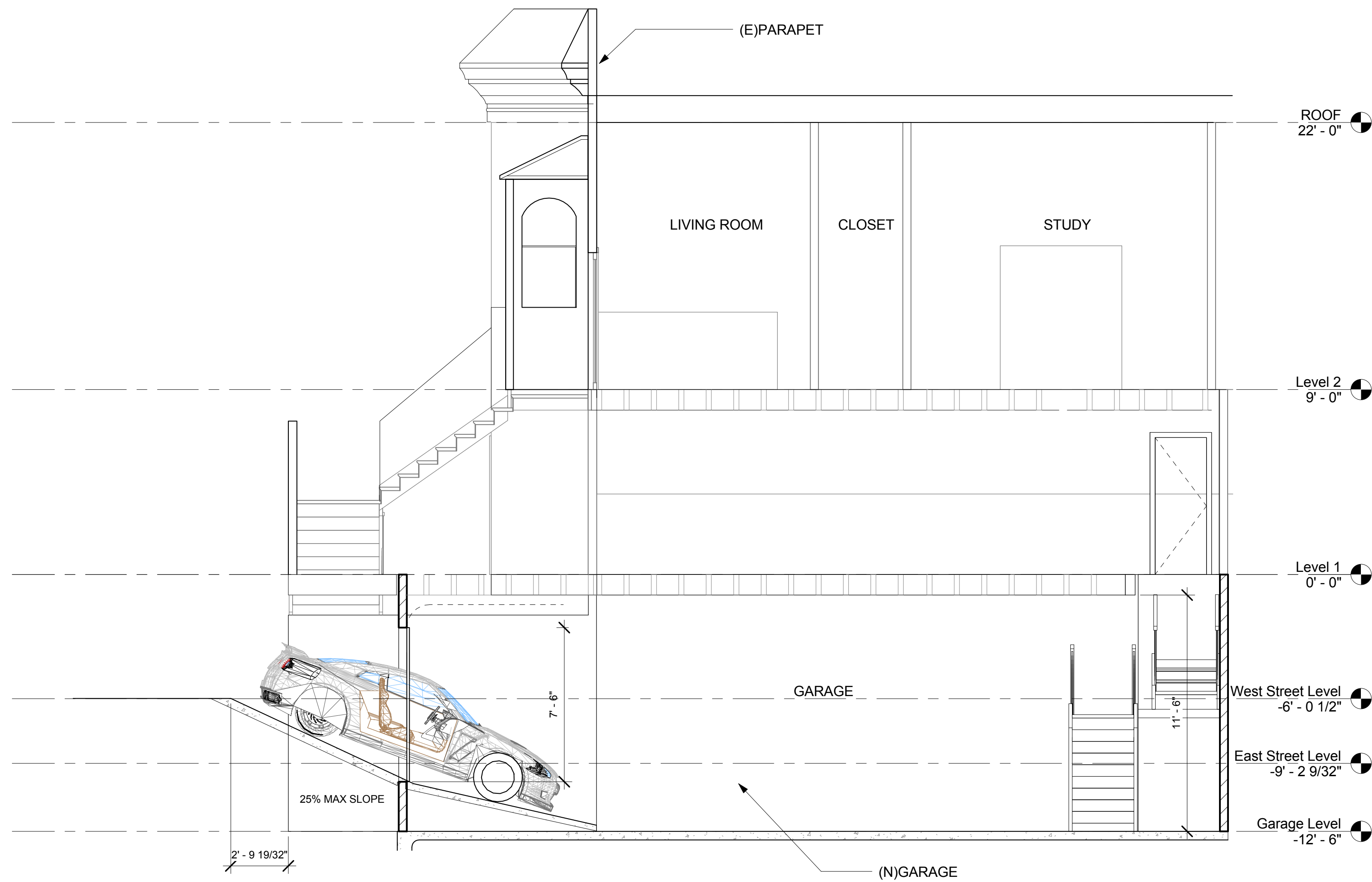
BLOCK/LOT 3620/058

SECTIONS

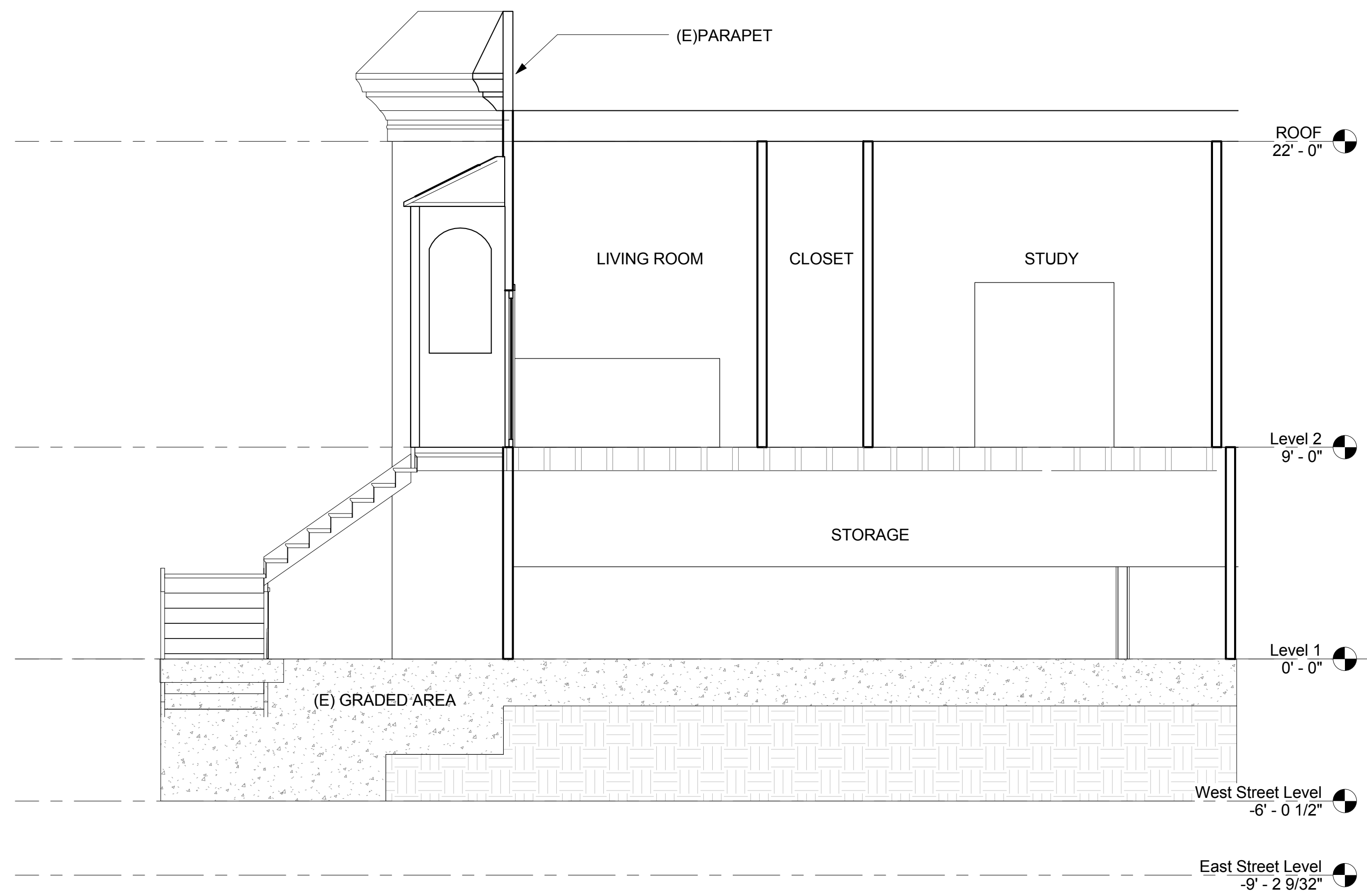
Date 12/21/15
 Drawn by AA
 Checked by GJ

A3.0

Scale 1/4" = 1'-0"



① LONG SECTION - NEW
1/4" = 1'-0"



② LONG SECTION - EXISTING
1/4" = 1'-0"

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SECTIONS

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A3.1

Scale 1/4" = 1'-0"

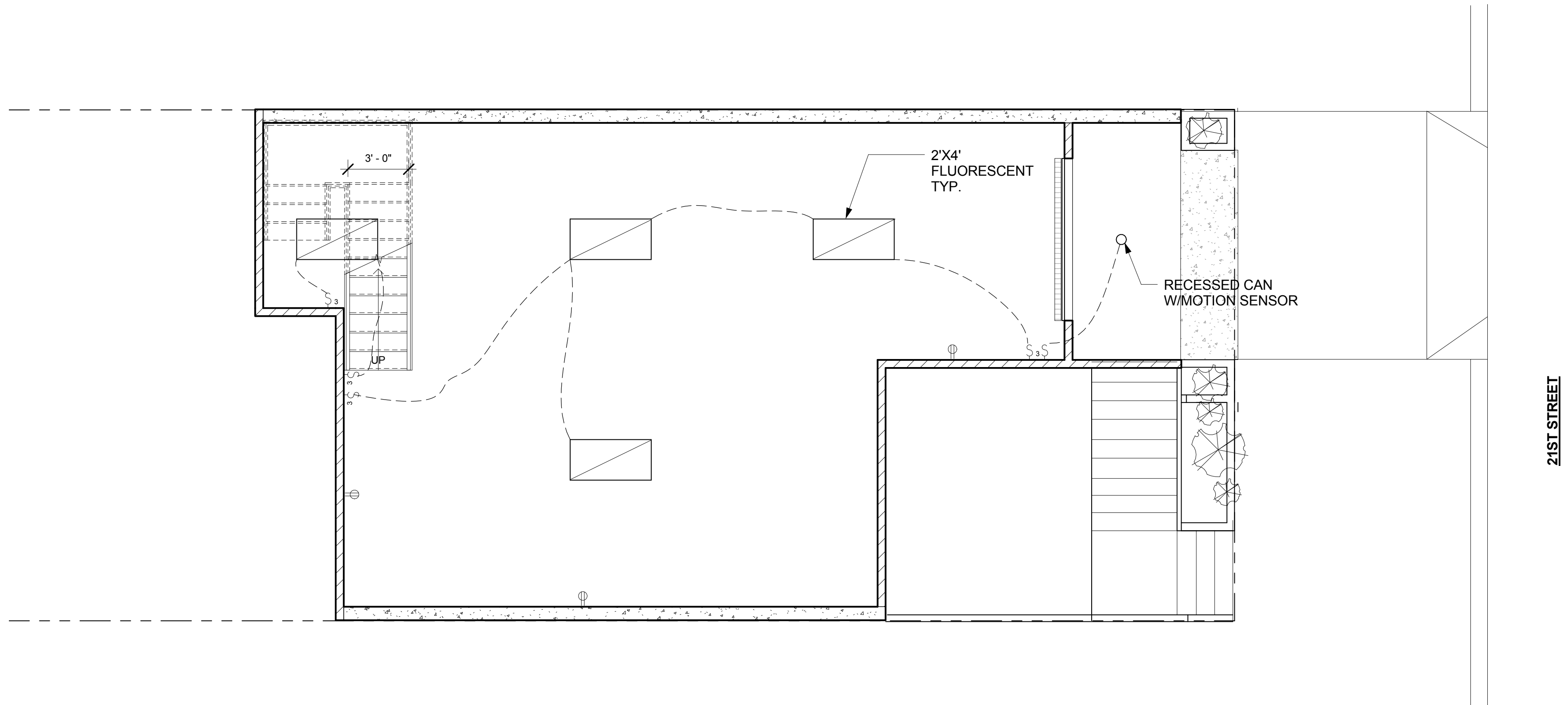
No.	Description	Date

ELECTRICAL NOTES

- 1. LIGHTING IN GARAGES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY A OCCUPANT SENSOR.
- 2. OUTDOOR LIGHTS SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY A PHOTO CONTROL/MOTION SENSOR COMBINATION.
- 3. RECESSED LIGHTING INSTALLED IN INSULATED CEILINGS SHALL BE RATED FOR INSULATION CONTACT, ICAT-RATED AND LABELED AS AIRTIGHT TO THE STADARDS PRESCRIBED BY THE RESIDENTIAL ENERGY CODE.
- 4. PROVIDE AT LEAST ONE NON-DEDICATED GFCI OUTLET IN GARAGE

- ⊕ GFI DUPLX OUTLET W/ GROUND FAULT INTERRUPT
- SWITCH
- 3 WAY SWITCH
- RECESSED FIXTURE
- ▭ 2X4 FLUORESCENT

ELECTRICAL LEGEND
1/4" = 1'-0"



① GARAGE LEVEL ELECTRICAL
1/4" = 1'-0"

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ELECTRICAL

Date 12/21/15
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Checked by GJ

A4.0

Scale 1/4" = 1'-0"