



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 22, 2016**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1210-1212 Utah Street	Case No.: 2015-014923VAR
Cross Street(s): 23rd Street	Building Permit:
Block /Lot No.: 4212/002	Applicant: Martha Miranda
Zoning District(s): RH-2 / 40-X	Telephone: (415) 685-6099
Area Plan: Showplace Square/ Potrero Hill	E-Mail: marthamp17@gmail.com

PROJECT DESCRIPTION

The proposal is to convert the ground floor of an existing two-unit building to two Accessory Dwelling Units in a building undergoing seismic retrofitting. The subject lot contains a non-complying one-unit building within the required rear yard.

PER SECTION 140 OF THE PLANNING CODE the subject property is required to have windows of each unit face directly on an open area no less than 25 feet in every horizontal dimension, with an increase of five feet in every horizontal dimension at each subsequent floor immediately above. The dimensions of the open area may be reduced to 15 feet in width and depth for Accessory Dwelling Units. The subject property has an existing building in the required rear yard and an interior courtyard of 7 feet in depth and 25 feet in width; one proposed accessory dwelling unit will face onto the courtyard, which is less than the minimum 15 foot rear yard required for reduced dwelling unit exposure, thereby requiring an exposure variance.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2015-014923VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Ella Samonsky** Telephone: **(415) 575-9112** E-Mail: ella.samonsky@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

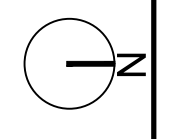
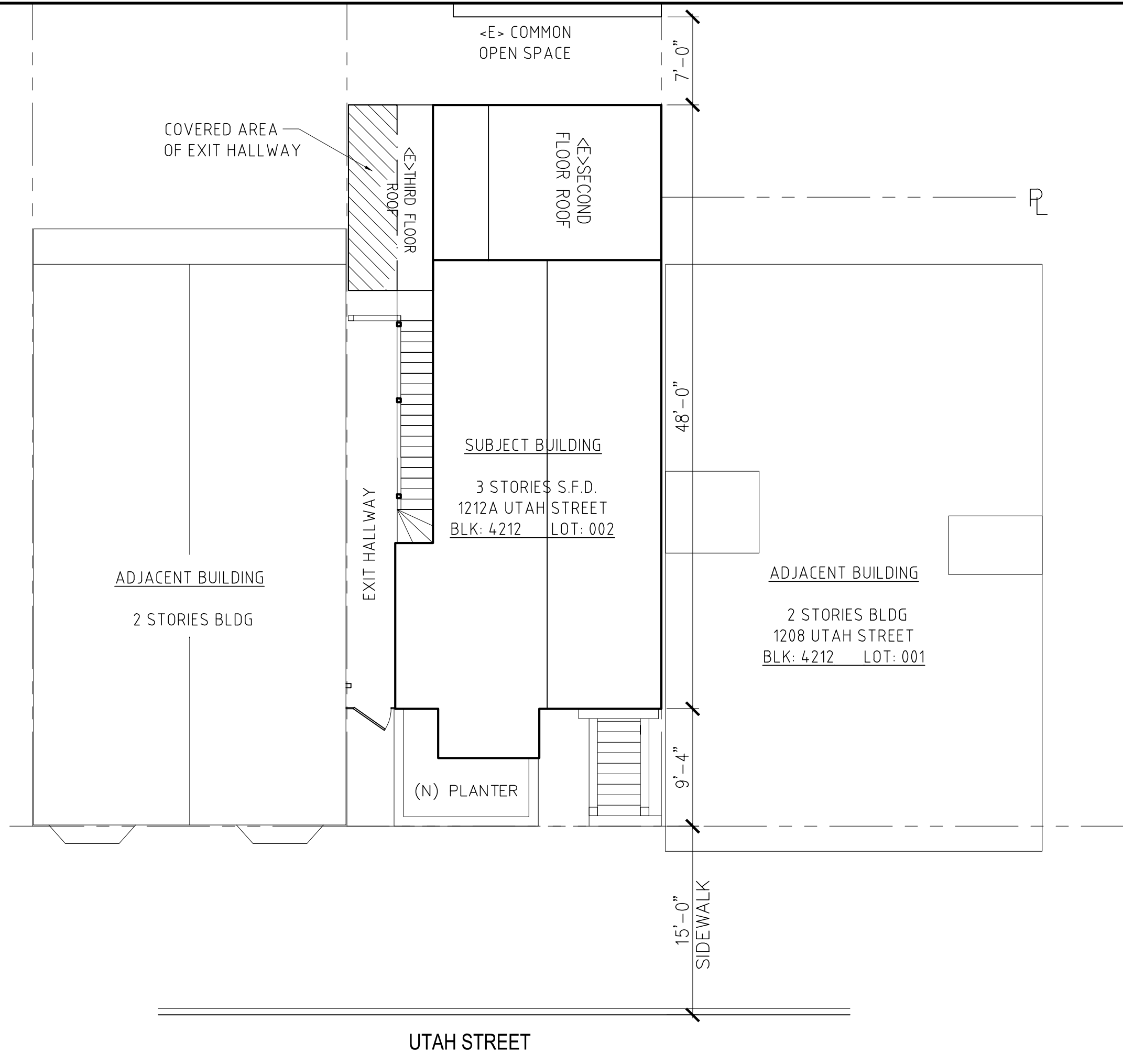
An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

GENERAL NOTES

- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES, AND REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS AND THE USE OF FACILITIES AS SET BY LOCAL BUILDING DEPARTMENT AGENCY AND THE BUILDING OWNERS. TITLE 24 C.A.C. ESPECIALLY THOSE ABSTRACTS DEALING WITH ENERGY AND HANDICAPPED ACCESS REQUIREMENTS. ANYTHING SHOWN ON THESE DRAWINGS, NOT IN ACCORDANCE WITH THESE RULES AND REGULATIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK.
- DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONAL INFORMATION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGNER OF ANY CONFLICTS HEREIN, EITHER APPARENT OR OBVIOUS PRIOR TO START OF WORK ON THAT ITEM OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.
- ALL WORK SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER BY MECHANICS SKILLED IN THEIR RESPECTIVE TRADES.
- THE CONTRACTOR SHALL REVIEW PLANS AND THE AREA OF CONSTRUCTION CAREFULLY TO INSURE FULL UNDERSTANDING OF EXACT SCOPE OF WORK. THE ARCHITECT WILL BE AVAILABLE TO REVIEW ALL WORK ON SITE AND RESOLVE ANY UNCLEAR ITEMS
- THE CONTRACTOR SHALL CONTACT THE BUILDING MANAGEMENT TO BE ADVISED OF THE RULES OF THE BUILDING WITH RESPECT TO CONSTRUCTION, WHEN AND HOW DELIVERIES AND/OR REMOVALS CAN BE DONE ON REGULAR OR OVERTIME AND IN GENERAL, ANY BUILDING REQUIREMENTS WHICH WILL AFFECT THEIR WORK.
- THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL FABRICATION SHOP DWGS. AND FIXTURE CUTS FOR APPROVAL AFTER HAVING CHECKED AND APPROVED THEM FIRST, WHERE APPLICABLE
- THE CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS AND WATER THROUGHOUT THE SPACE UNDER CONSTRUCTION, IF REQUIRED.
- THE CONTRACTOR SHALL REMOVE FROM THE BUILDING ALL RUBBISH AND WASTE MATERIALS, FOR HIS OWN SUBCONTRACTING, IF REQUIRED.
- NO WORK DEPENDING ON PARTITION LOCATIONS SHALL BE DONE UNTIL THE CONTRACTOR HAS MARKED PARTITION LOCATIONS ON THE FLOOR SLAB IN THE FIELD AND THE ARCHITECT HAS APPROVED THEM.
- THE CONTRACTOR SHALL LEAVE THE PREMISES IN A CLEAN AND ORDERLY MANNER.
- THE CONTRACTOR'S PRICE IS TO BE COMPLETE IN ALL WAYS INCLUDING TAXES, OVER-TIME, SHIPPING, ETC.
- ALL MATERIALS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S LATEST PRINTED SPECIFICATIONS AND WITH CODE REQUIREMENTS.
- THE WORK INCLUDED UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH AIA GENERAL CONDITIONS DOCUMENT A-201, 1991 EDITION.
- CONTRACTORS, SUBCONTRACTORS AND SUPPLIERS SHALL GUARANTEE THAT THE WORK IS FREE FROM ANY DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND BE RESPONSIBLE FOR REPAIR OR REPLACEMENT AT NO ADDITIONAL CHARGE.
- CONTRACTORS TO CARRY EMPLOYER'S LIABILITY INSURANCE OF NOT LESS THAN \$1,000,000 PER OCCURRENCE, AND COMPREHENSIVE GENERAL LIABILITY OF AT LEAST \$2,000,000 COMBINED SINGLE LIMIT FOR BODILY INJURY, DEATH, OR PROPERTY DAMAGE THE POLICIES TO ALSO COVER LANDLORD AND TENANT AS ADDITIONAL INSURED.

SITE PLAN - SCALE 1/8" = 1'-0"



SHATARA ARCHITECTURE INC.

890 7TH ST.
SAN FRANCISCO
CA 94158

TEL (415) 512-7566

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PROJECT
TENANT IMPROVEMENT

ADDRESS
1210- 1212 UTAH ST.
SAN FRANCISCO, CA

BLOCK: 4212
LOT: 002

PROJECT DIRECTORY

ARCHITECT
SHATARA ARCHITECTURE INC.
890 7TH STREET
SAN FRANCISCO, CA 94158
TEL: 415-512-7566

CONTACT: MR. SUHEIL SHATARA

OWNER
CONTACT ARCHITECT

DRAWING INDEX

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A1.0	EXISTING & PROPOSED SITE PLANS
A1.1	EXISTING & PROPOSED FLOOR PLANS
A1.1A	KEYNOTES & WALL DETAILS
A1.2	EXISTING FLOOR PLANS
A1.3	EXISTING ELEVATIONS
A3.1	PROPOSED ELEVATIONS

SCOPE OF WORK

SEISMIC UPGRADE TO EXISTING THREE STORY BUILDING. VACANT GROUND FLOOR CONDITION - TO BE UPGRADED TO TWO NEW RESIDENTIAL UNITS AT GROUND LEVEL, UNDER THE SEISMIC RETROFIT PROGRAM.

PLANNING INFORMATION

ZONING: RH-2 RESIDENTIAL, HOUSE, TWO FAMILY
HEIGHT LIMIT: 40-X
EXISTING NUMBER OF UNITS: 3
PROPOSED NUMBER OF UNITS: 5
LOT SIZE: 25' WIDE X 100' LONG

BUILDING INFORMATION

BUILDING DESCRIPTION: 2 BUILDINGS IN LOT. EXISTING: 2 STORIES TYPE V - B PROPOSED:
(E) OCCUPANCY CLASS: R-2 - NO CHANGE
OCCUPANT LOAD: 1 PER 200 SQ.FT.
(E) # OF DWELLING UNITS: 3
YEAR BUILT: 1900
BUILDING AREA: 2,941 SQ FT
PARCEL AREA: 2,495 SQ FT

ISSUED DATE NO.

BUILDING 05.16.2016

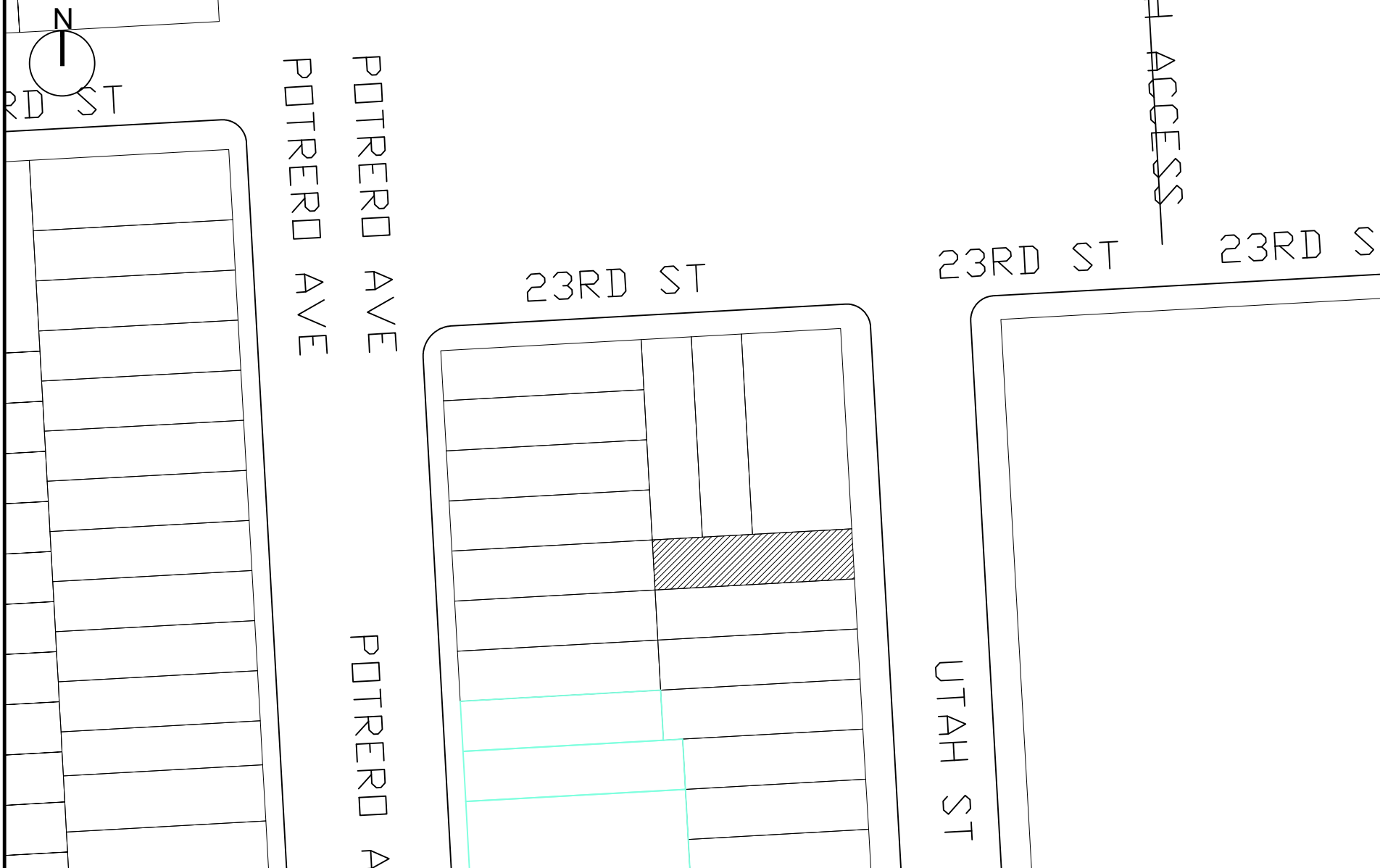
SYMBOLS

	SECTION DRAWING SHEET NUMBER		EQUIPMENT SYMBOL EQUIPMENT TYPE EQUIPMENT GROUP
	ELEVATION DRAWING SHEET NUMBER		REVISION
	DETAIL DRAWING SHEET NUMBER		WALL TYPE
	INTERIOR ELEVATION SHEET NUMBER DRAWING NUMBER		FINISH SYMBOL
	MATCH LINE IS SIDE CONSIDERED		DATUM POINT
	ROOM IDENTIFICATION ROOM NAME ROOM NUMBER		COLUMN GRID
	DOOR NUMBER		TOP OF WALL
	WINDOW NUMBER		

ABBREVIATIONS

&	AND	DBL.	DOUBLE	F.O.S.	FACE OF STUD	N.I.C.	NOT IN CONTRACT	SPEC.	SPECIFICATION
AT	AT	DEPT.	DEPARTMENT	F.PRF.	FIREPROOF	NO.	NUMBER	SQ.	SQUARE
(E)	EXISTING	DIA.	DIAMETER	FT.	FOOT OR FEET	N.O.M.	NOMINAL	S.S.T.	STAINLESS STEEL
ADJ.	ADJUSTABLE	DIM.	DIMENSION	FTG.	FOOTING	N.T.S.	NOT TO SCALE	STL.	STEEL
ALUM.	ALUMINUM	DN.	DOWN	FURR.	FURRING	O.C.	ON CENTER	STOR.	STORAGE
APPROX.	APPROXIMATE	DR.	DOOR	GA.	GAUGE	OPNG.	OPENING	STR.	STRUCTURAL
ARCH.	ARCHITECTURAL	DS.	DOWNSPOUT	GALV.	GALVANIZED	OPP.	OPPOSITE	SUSP.	SUSPENDED
ASPH.	ASPHALT	D.S.P	DRY STANDPIPE	G.B.	GRAB BAR	P.L.	PROPERTY LINE	SYM.	SYMMETRICAL
BD.	BOARD	DWG.	DRAWING	GYP.	GYPSON	PL.	PLATE	T.C.	TOP OF CURB
BITUM.	BITUMINOUS	E.	EAST	H.B.	HOSE BIB	PLYWD.	PLYWOOD	TEL.	TELEPHONE
BLDG.	BUILDING	E.A.	EACH	HDWD.	HARDWOOD	PT.	POINT	TER.	TERRAZZO
BLK.	BLOCK	EL.	ELEVATION	HORIZ.	HORIZONTAL	PTD.	PAINTED	T.&G.	TONGUE AND GROOVE
BLKG.	BLOCKING	ELEC.	ELECTRICAL	HR.	HOUR	PIN.	PARTITION	THK.	THICK
BM.	BEAM	ELEV.	ELEVATOR	HGT.	HEIGHT	Q.T.	QUARRY TILE	T.P.	TOP OF PAVEMENT
BOT.	BOTTOM	ENCL.	ENCLOSURE	INSUL.	INSULATION	R.	RISER	T.W.	TOP OF WALL
CAB.	CABINET	EQ.	EQUAL	INT.	INTERIOR	RAD.	RADIUS	TYP.	TYPICAL
C.B.	CATCH BASIN	EQPT.	EQUIPMENT	JAN.	JANITOR	R.D.	ROOF DRAIN	UNF.	UNFINISHED
CEM.	CEMENT	(E)	EXISTING	JT.	JOINT	REF.	REFERENCE	U.O.N.	UNLESS OTHERWISE NOTED
CLG.	CEILING	EXPO.	EXPOSED	LAV.	LAVATORY	REFR.	REFRIGERATOR	VERT.	VERTICAL
CLKG.	CAULKING	EXP.	EXPANSION	LT.	LIGHT	RGTR.	REGISTER	VEST.	VESTIBULE
CLO.	CLOSET	EXT.	EXTERIOR	MAX.	MAXIMUM	REINF.	REINFORCED	W.	WEST
CLR.	CLEAR	F.A.	FIRE ALARM	MECH.	MECHANICAL	REQ'D.	REQUIRED	W./	WITH
COL.	COLUMN	F.D.	FLOOR DRAIN	MEMB.	MEMBRANE	RM.	ROOM	W.C.	WATER CLOSET
CONC.	CONCRETE	FDN.	FOUNDATION	MTL.	METAL	R.O.	ROUGH OPENING	WD.	WOOD
CONN.	CONNECTION	F.E.	FIRE EXTINGUISHER	MFR.	MANUFACTURER	R.W.L.	RAIN WATER LEADER	W/O	WITHOUT
CONSTR.	CONSTRUCTION	FIN.	FINISH	MIN.	MINIMUM	S.	SOUTH	WP.	WATERPROOF
CONT.	CONTINUOUS	FL.	FLOOR	MISC.	MISCELLANEOUS	SCHED.	SCHEDULE	WT.	WEIGHT
CORR.	CORRIDOR	FLASH.	FLASHING	MTD.	MOUNTED	S.D.	SMOKE DETECTOR		
CTS.K.	COUNTERSUNK	FLUOR.	FLUORESCENT	MUL.	MULLION	SECT.	SECTION		
CNTR.	COUNTER	F.O.C.	FACE OF CONCRETE	(N)	NEW	SHT.	SHEET		
CTR.	CENTER	F.O.F.	FACE OF FINISH	N.	NORTH	SIM.	SIMILAR		

VICINITY MAP



COVER SHEET

A0.0

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PROJECT
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ADDRESS
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SAN FRANCISCO, CA

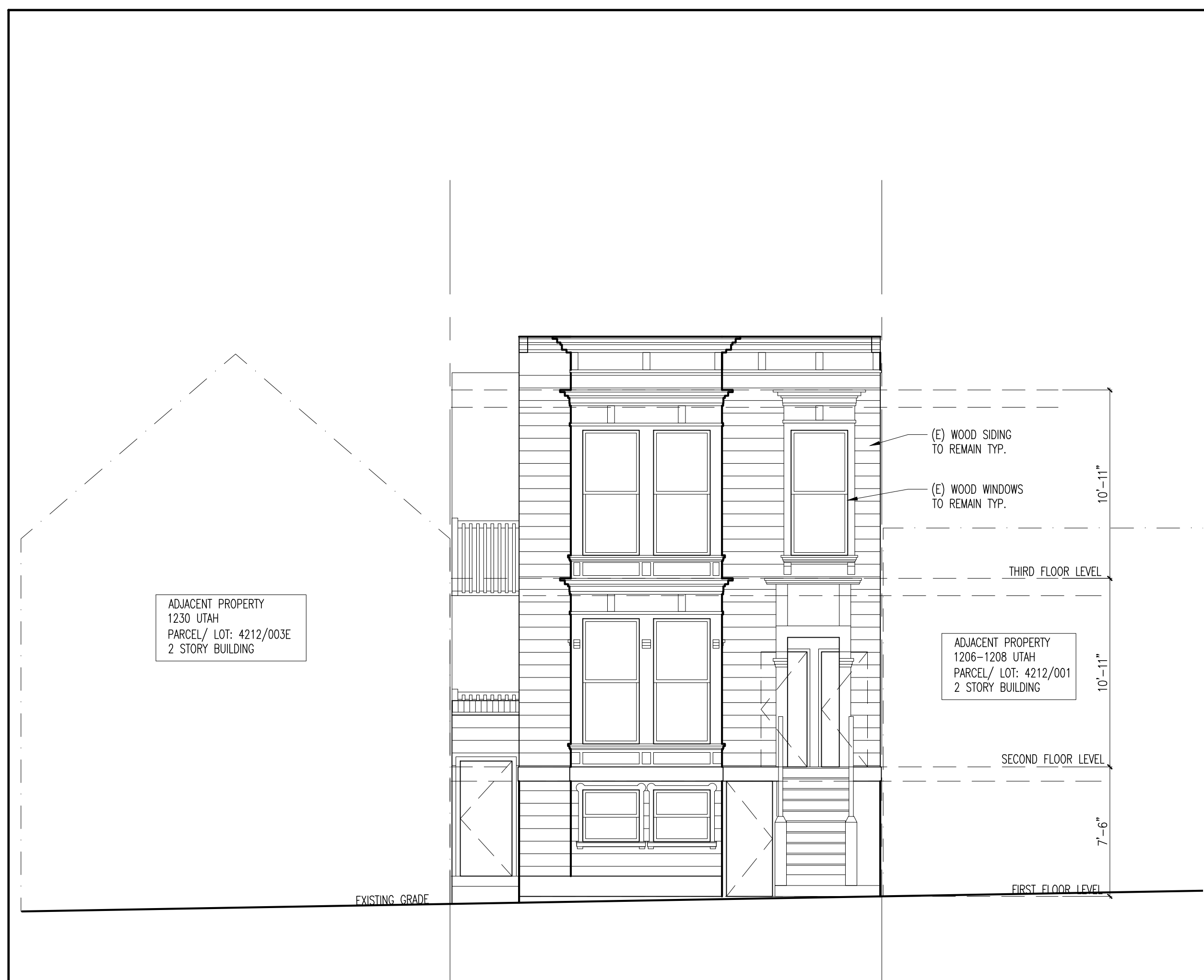
BLOCK: 4212
LOT: 002

PROJECT DIRECTORY

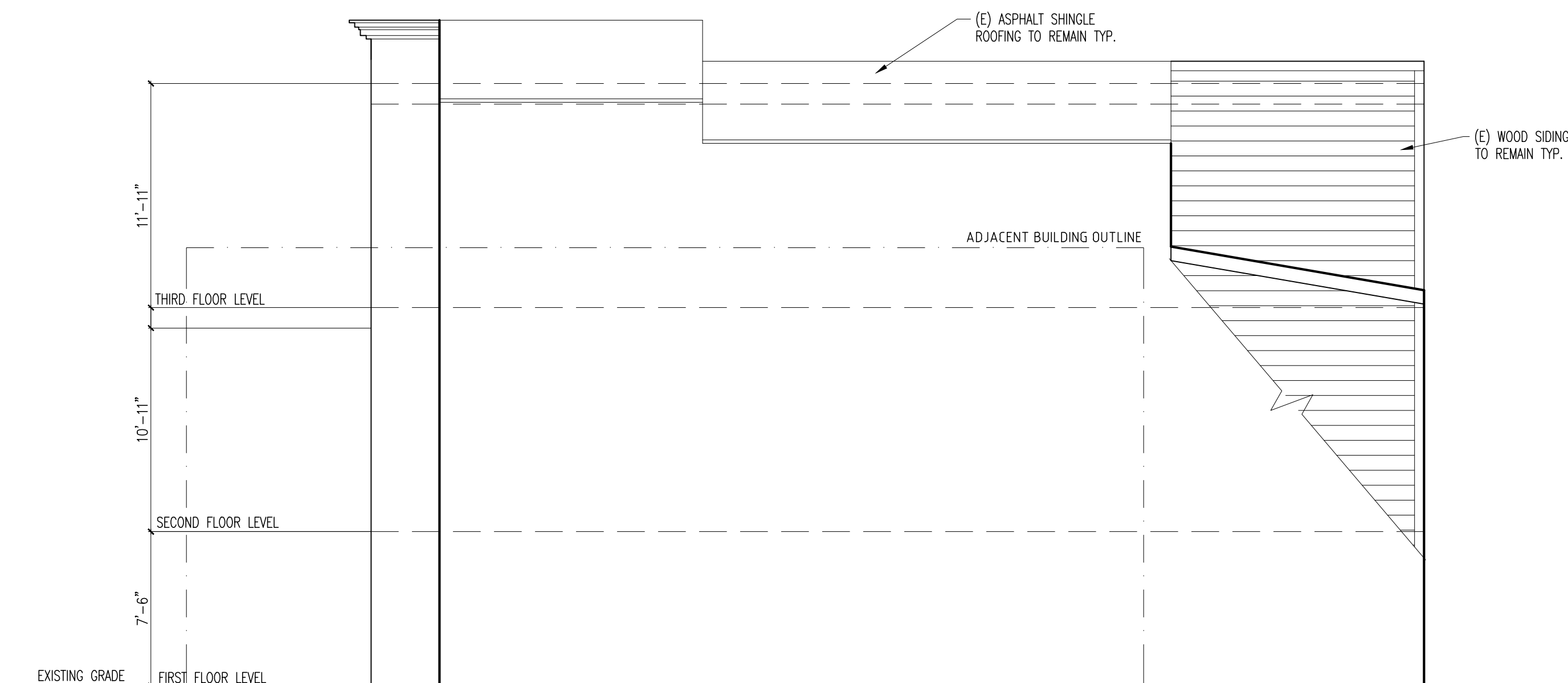
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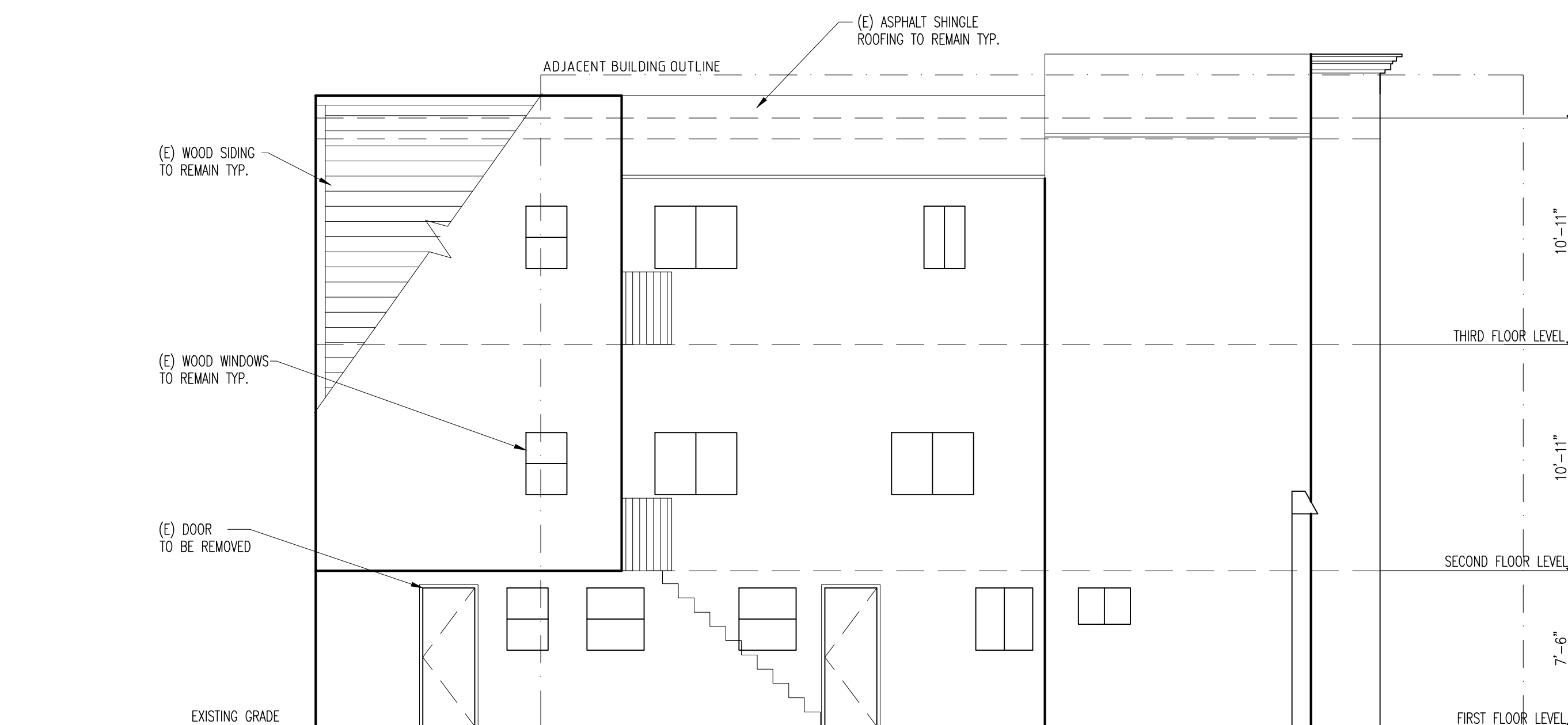
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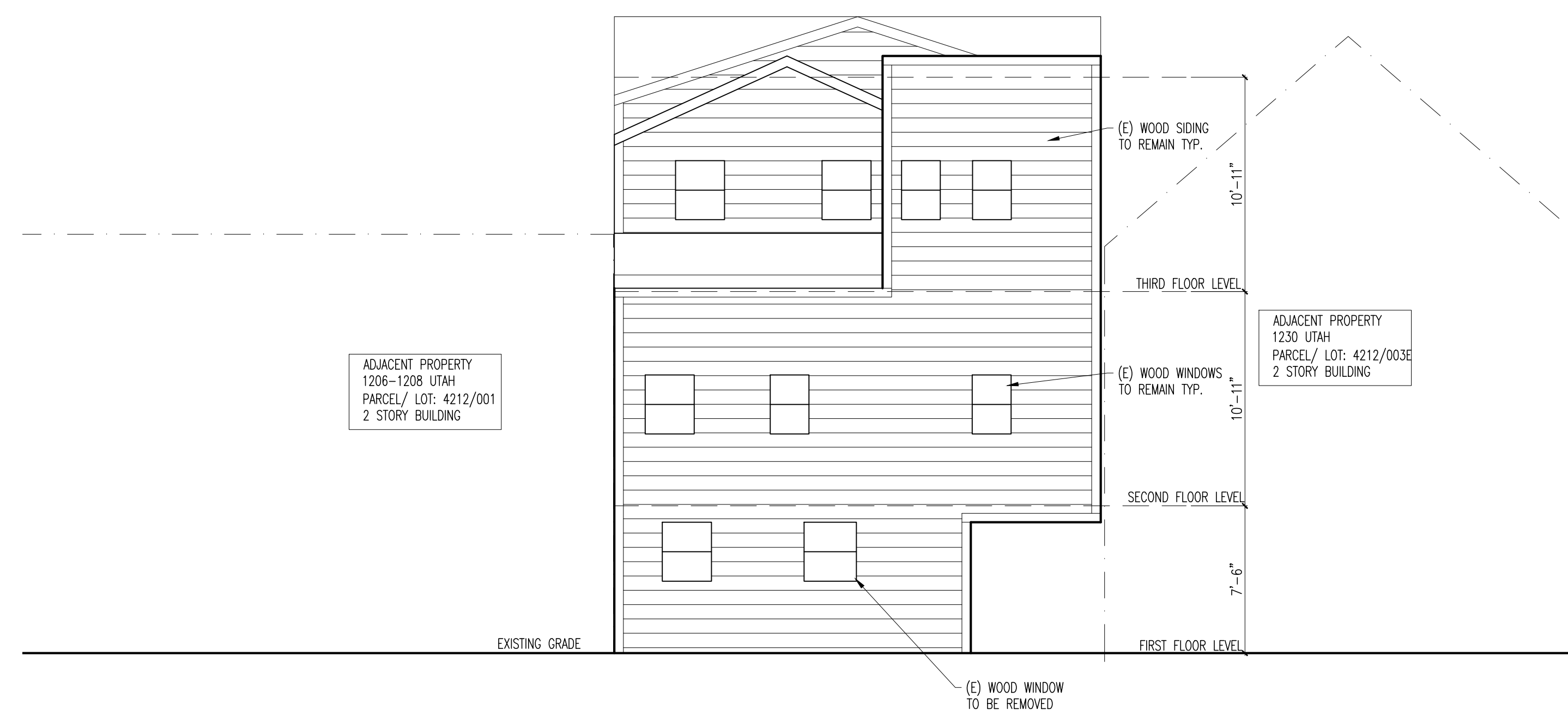
1 EAST ELEVATION
SCALE : 3/16"=1'-0"



2 NORTH ELEVATION
SCALE : 3/16"=1'-0"

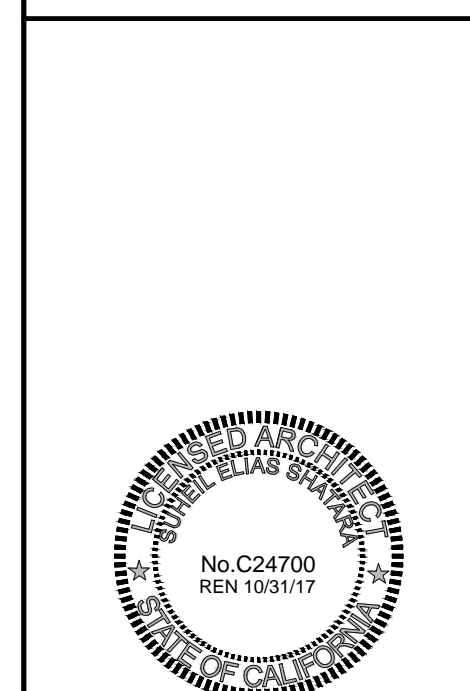


3 SOUTH ELEVATION
SCALE : 3/16"=1'-0"



4 WEST ELEVATION
SCALE : 3/16"=1'-0"

ISSUED	DATE	NO.
BUILDING	05.16.2016	



SHEET DESCRIPTION
**EXISTING
ELEVATIONS**

A1.3

**SHATARA
ARCHITECTURE
INC.**

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SAN FRANCISCO
CA 94158

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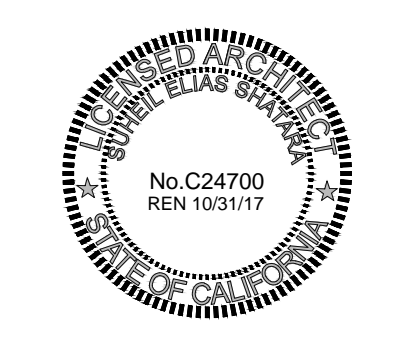
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ISSUED	DATE	NO.
BUILDING	05.16.2016	

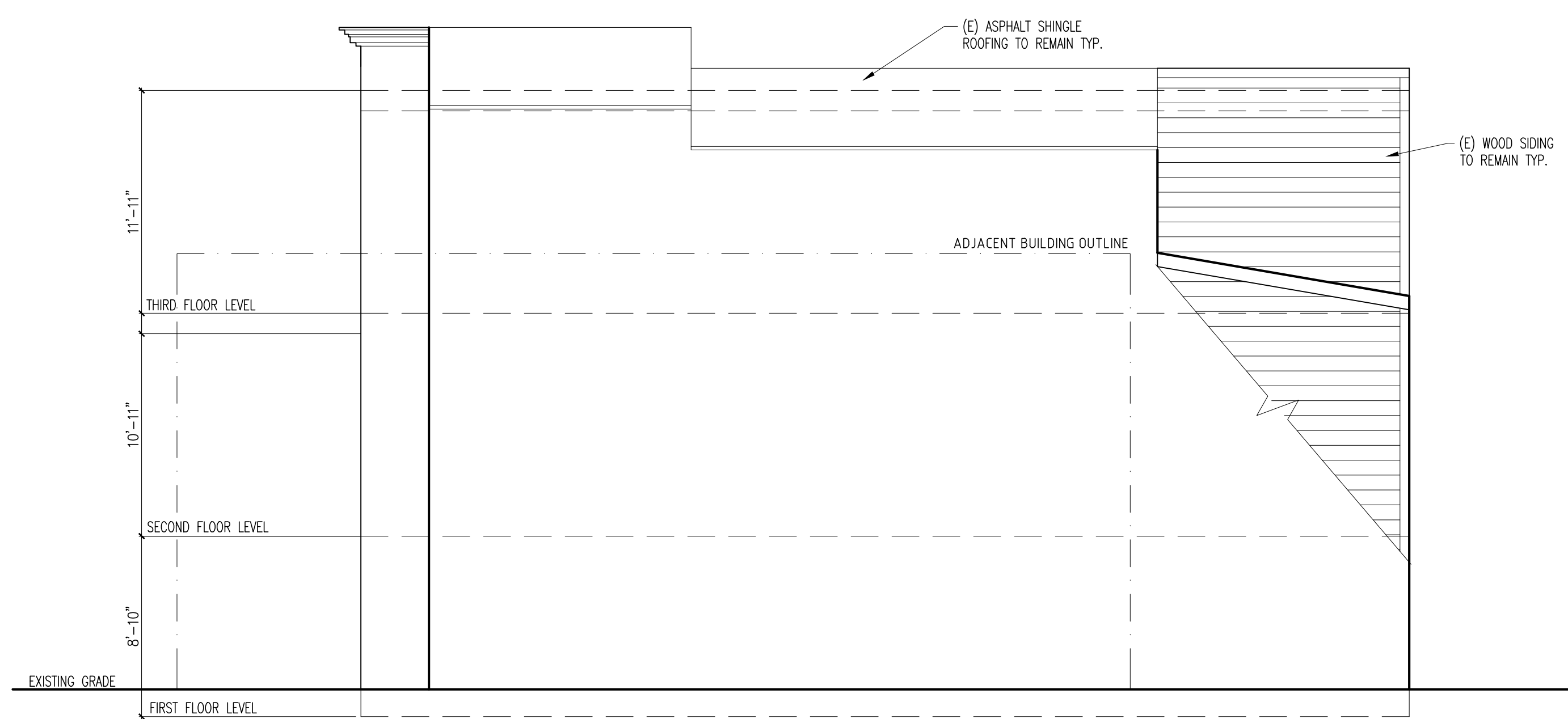


SHEET DESCRIPTION
**PROPOSED
ELEVATIONS**

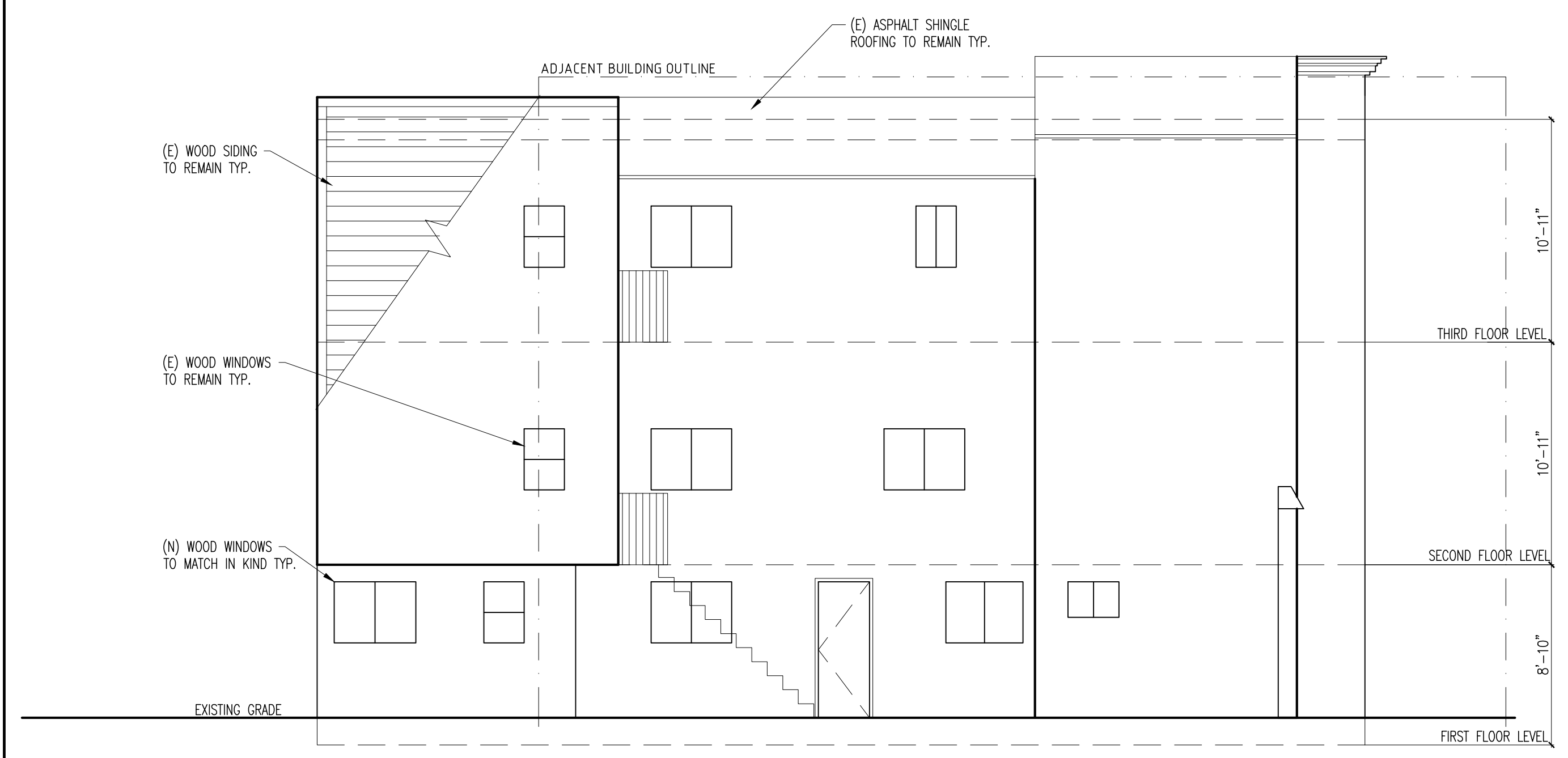
A3.1



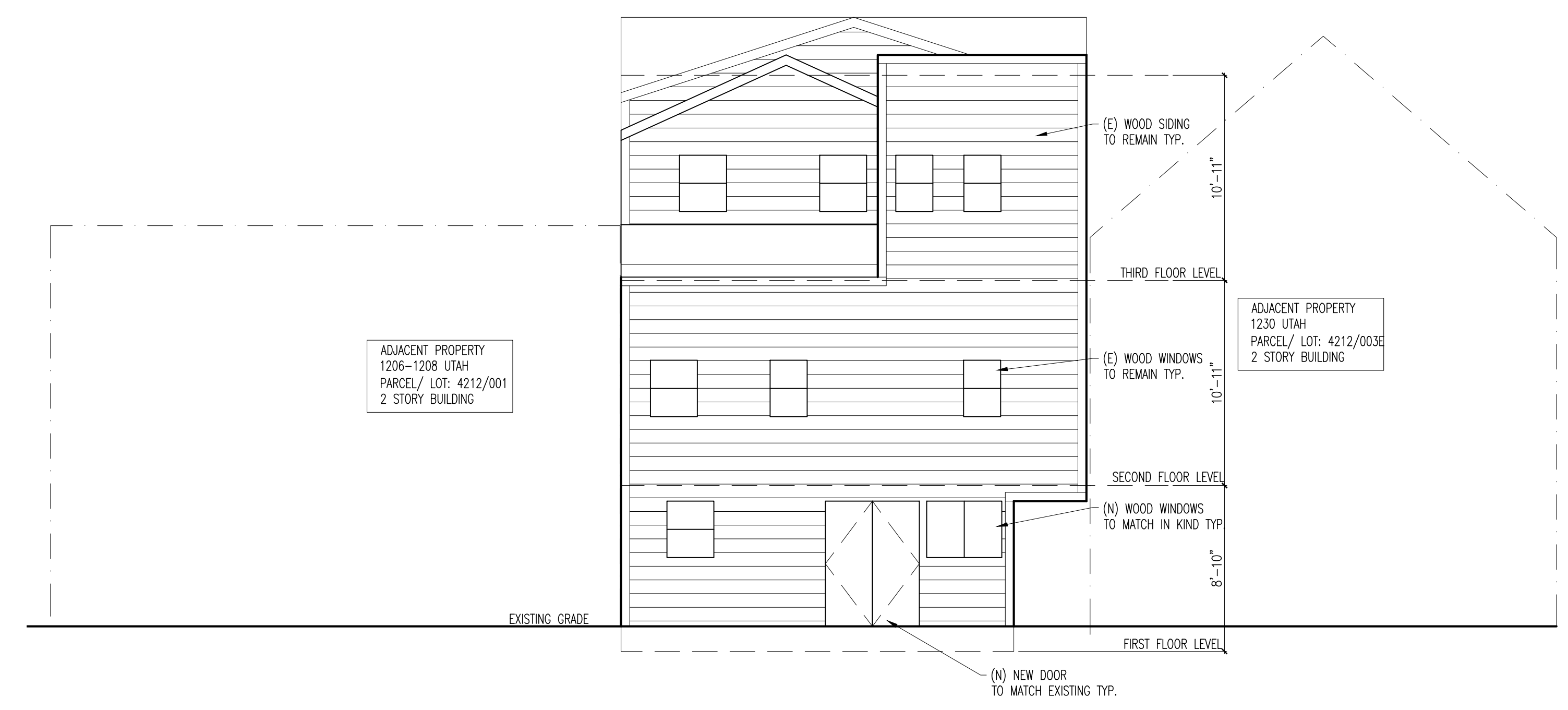
1 EAST ELEVATION
SCALE : 3/16"=1'-0"



2 NORTH ELEVATION
SCALE : 3/16"=1'-0"



3 SOUTH ELEVATION
SCALE : 3/16"=1'-0"



4 WEST ELEVATION
SCALE : 3/16"=1'-0"