



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409
558*6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 28, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 676 Capp Street	Case No.: 2015-013125VAR
Cross Street(s): 21st and 22nd Streets	Building Permit: 2016.09.11.6785
Block /Lot No.: 3615/041	Applicant: Amir Afifi, SIA Consulting
Zoning District(s): RTO-M / 40-X	Telephone: (415) 741-1292
Area Plan: Mission	E-Mail: amir@siaconsult.com

PROJECT DESCRIPTION

Vertical and horizontal addition and basement excavation to an existing 3-bedroom, 1-1/2 bathroom single-family home resulting in a 5-bedroom, 4-1/2 bathroom home; construction of a new three-story, 3-bedroom, 3-1/2 bathroom residential unit; and a vertical addition and conversion and of the existing non-conforming (rear set-back) single-story accessory structure in the rear yard to create a new two-story dwelling unit.

Per Section 134 of the Planning Code, the property is required to maintain a rear yard of approximately 30 feet. The existing house and storage structure are located within the required rear yard setback. Therefore, a variance is needed in order to intensify the non-conforming rear setback.

Per Section 140 of the Planning Code, all dwelling units must face directly onto a required open area meeting the requirements of the Planning Code. The distance between the existing storage structure and main house is 23 feet, 10 inches where 25 feet is required, thus the new two-story rear yard unit will not meet exposure requirements and a variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/205-013125VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Linda Ajello Hoagland** Telephone: **(415) 575-6823** E-Mail: linda.ajellohoagland@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

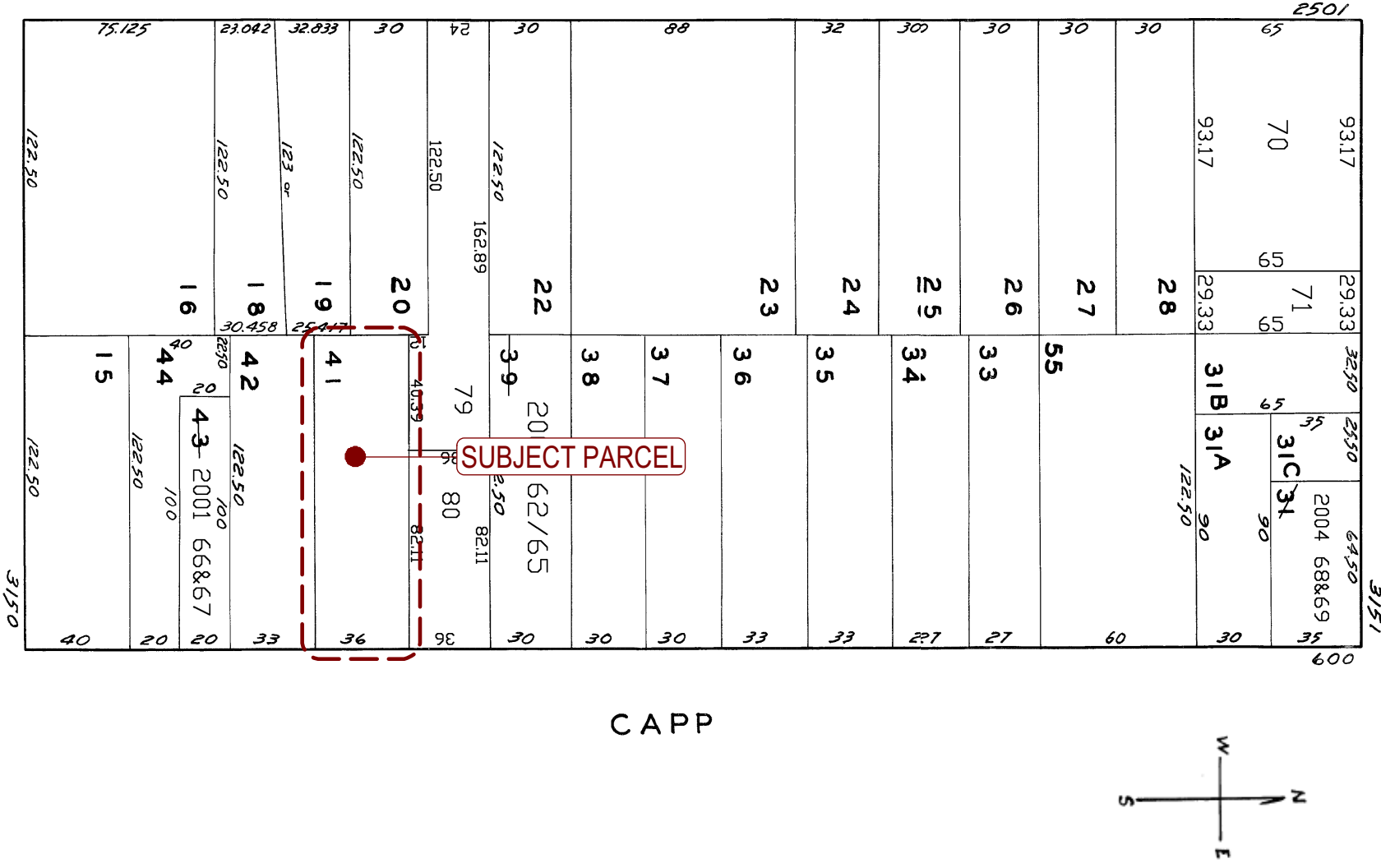
An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ASSESSOR'S MAP

MISSION



GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN COMPLETE COMPLIANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL CONTRACTORS SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER AND THE OWNER FROM ALL DAMAGES AND/OR PENALTY ARISING OUT OF VIOLATION THEREOF.
2. ALL ATTACHMENTS, CONNECTIONS OR FASTENING OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH THE BEST PRACTICE OF THE BUILDING INDUSTRY. DRAWINGS SHOWS ONLY SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT ILLUSTRATE EVERY DETAIL.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS DIMENSIONS, AND MEASUREMENTS IN THE FIELD BEFORE BEGINNING WORK. ANY AND ALL DISCREPANCIES, UNUSUAL CIRCUMSTANCES, ERRORS OMISSIONS AND/OR CONFLICTS FUNDS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER'S AND THE OWNER ATTENTION IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK, VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES.
5. UNLESS OTHERWISE NOTED, ALL ANGLES SHALL BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL SHALL BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED SHALL BE CENTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE LEVEL, PLUMB AND SQUARE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND PROTECTION DURING CONSTRUCTION. ALL EXISTING IMPROVEMENTS TO REMAIN SHALL BE PROTECTED. ALL MATERIALS DELIVERED TO THE SITE SHALL BE PROPERLY STORED AND PROTECTED UNTIL INSTALLATION. ALL LUMBER SHALL BE PROTECTED FROM MOISTURE AND STORED ABOVE GROUND.
7. DETAILED AND/OR LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL SCALED DIMENSIONS SHALL BE VERIFIED.
8. ALL WORK SHALL BE DONE UNDER PERMIT. PLANS AND CALCULATIONS, IF REQUIRED, SHALL BE SUBMITTED TO AND APPROVED BY THE BUILDING DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
9. NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND COMMUNICATIONS ARE DESIGN BUILD ITEMS. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT. CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
11. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
12. DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
13. VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF , OR INSTALLATION OF ANY ITEM OF WORK.
14. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AND BACKING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM AND FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS, PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
15. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
16. THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH CBC SEC. 719.
17. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.
18. ALL NEW SMOKE DETECTORS TO E HARD WIRED.

NOTE:
- WATERPROOFING OF BUILDING ENVELOPE IS NOT UNDER THE SCOPE OF THIS PERMIT. OWNER IS TO HIRE A WATERPROOFING EXPERT TO PROVIDE WATERPROOFING DETAILS

PROJECT DATA

PLANNING DATA:

ADDRESS: 676 CAPP STREET
 BLOCK / LOT: 3615 / 041
 LOT AREA: 4,410 ± S.F.
 ZONING: RTO-M
 # OF UNITS: 2
 ALLOWABLE HEIGHT: 40-X
 BUILDING HEIGHT:
 (E) PORTION: 32'-4" ±
 (N) PORTION: 36'-1" ±
 (N) ADJACENT PORTION: 30'-0" ±
 SETBACKS:
 (E) PORTION: 16'-0" ± (NO CHANGE)
 (N) ADJACENT PORTION: 28'-1" ±
 USABLE OPEN SPACE:
 SHARED: 487 ± S.F. (REQD.: 133 S.F. PER UNIT)
 PRIVATE:
 (E) PORTION: 309 ± S.F.
 (N) ADJACENT PORTION: 402 ± S.F.
 COVERED CAR PARKING:
 (E) PORTION: 0
 (N) ADJACENT PORTION: 1
 FRONT SETBACK LANDSCAPING: 173 ± S.F. (REQD.: 20% - 153.6 S.F.)
 FRONT SETBACK PERMEABILITY: 445 ± S.F. (REQD.: 50% - 384 S.F.)

(E) GROSS & HABITABLE FLOOR AREA (EXISTING PORTION):

FIRST FLOOR: 1,230 ± S.F.
 SECOND FLOOR: 892 ± S.F. (NO CHANGE)
TOTAL: 2,122 ± S.F.

(N) GROSS & HABITABLE FLOOR AREA (EXISTING PORTION):

FIRST FLOOR: 870 ± S.F.
 SECOND FLOOR: 1,230 ± S.F.
 THIRD FLOOR: 892 ± S.F. (NO CHANGE)
 FOURTH FLOOR: 360 ± S.F.
TOTAL: 3,352 ± S.F.

(N) GROSS FLOOR AREA (NEW PORTION):

FIRST FLOOR: 635 ± S.F.
 SECOND FLOOR: 626 ± S.F.
 THIRD FLOOR: 626 ± S.F.
TOTAL (INCL GARAGE): 1,887 ± S.F.

(N) HABITABLE FLOOR AREA (NEW PORTION):

FIRST FLOOR: 430 ± S.F.
 SECOND FLOOR: 626 ± S.F.
 THIRD FLOOR: 626 ± S.F.
TOTAL: 1,682 ± S.F.

BUILDING DATA:

APPLICABLE CODES: 2013 CALIFORNIA CODES EDITIONS
 W/ SAN FRANCISCO AMENDMENTS
 OCCUPANCY GROUP: R-2
 CONSTRUCTION TYPE: TYPE V-B
 # OF STORIES:
 (E) PORTION: 3
 (N) ADJACENT PORTION: 3

SCOPE OF WORK

- INTERIOR REMODEL OF (E) BUILDING:
 1. ADDING (N) FIRST FLOOR W/ 2 NEW BEDROOMS & 1 BATH,
 2. ADDING 2 NEW BEDROOMS & 2 BATHS ON SECOND FLOOR,
 2. RELOCATING DINING & LIVING ROOM TO THIRD FLOOR, AND
 3. ADDING NEW ROOF DECK AT THIRD FLOOR
- 1 (N) UNIT/PORTION ON SIDE OF (E) BUILDING W/ 3 BEDROOMS, 3 BATHS & ROOF DECK



DRAWING INDEX

ARCHITECTURAL

A-0.1	COVER SHEET
C-0.1	SURVEY
A-1.1	EXISTING SITE PLAN
A-1.2	PROPOSED SITE PLAN
A-2.0	EXISTING FIRST & SECOND FLOOR PLANS
A-2.1	REAR BLDG PROPOSED BASEMENT FLOOR PLAN
A-2.2	PROPOSED FIRST FLOOR PLAN
A-2.3	PROPOSED SECOND FLOOR PLAN
A-2.4	PROPOSED THIRD FLOOR PLAN
A-2.5	PROPOSED FOURTH FLOOR PLAN
A-2.6	PROPOSED ROOF PLAN
A-3.1-1	FRONT & SIDE BLDG FRONT ELEVATIONS
A-3.1-2	REAR BLDG FRONT ELEVATIONS
A-3.2-1	FRONT & SIDE BLDG LEFT ELEVATIONS
A-3.2-2	REAR BLDG LEFT ELEVATIONS
A-3.3-1	FRONT & SIDE BLDG RIGHT ELEVATIONS
A-3.3-2	REAR BLDG RIGHT ELEVATIONS
A-3.4-1	FRONT & SIDE BLDG REAR ELEVATIONS
A-3.4-2	REAR BLDG REAL ELEVATIONS
A-3.5-1	FRONT & SIDE BLDG. ISOMETRIC VIEWS
A-3.5-2	FRONT & SIDE BLDG. ISOMETRIC VIEWS
A-3.5-3	REAR BLDG ISOMETRIC VIEWS
A-4.1	SECTION A
A-4.2	SECTION B
A-4.3	GENERAL NOTES & TYPICAL DETAILS
G-0.1	GREEN BUILDING CHECKLIST

PROJECT NAME

**676 Capp St - FRONT
 SAN FRANCISCO, CA**



SIA CONSULTING CORPORATION
 1256 HOWARD STREET
 SAN FRANCISCO CA 94103
 TEL: (415) 741.1292
 FAX: (415) 849.1252
 WWW.SIACONSULT.COM

SHEET TITLE

Cover Sheet

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

DATE 08/06/2015

REVISED DATE 05/22/2017

JOB NO. 15-1671

SHEET NO.

A-0.1

ABBREVIATION

#	POUND OR NUMBER	H.C.	HANDICAPPED
&	AND	HI	HIGH
@	AT	HM	HOLLOW METAL
ABV	ABOVE	HP	HIGH POINT
ACT	ACOUSTIC CEILING TILE	HR	HOUR
AD	AREA DRAIN	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
AFF	ABOVE FINISHED FLOOR	IRGWB	IMPACT RESISTANT GYPSUM WALLBOARD
ALUM	ALUMINUM	ILO	IN LIEU OF
APPROX	APPROXIMATE	INSUL	INSULATED
ANOD	ANODIZED	INT	INTERIOR
ASPH	ASPHALT	LO	LOW
BD	BOARD	MAX	MAXIMUM
BLDG	BUILDING	MECH	MECHANICAL
BLKG	BLOCKING	MEMBR	MEMBRANE
BOT	BOTTOM	MIN	MINIMUM
BSMT	BASEMENT	MO	MASONRY OPENING
BST	BOTTOM OF STAIRS	MTL	METAL
BYND	BEYOND	(N)	NEW
CIP	CAST IN PLACE	NIC	NOT IN CONTRACT
CHNL	CHANNEL	NO	NUMBER
CJ	CONTROL JOINT	NOM	NOMINAL
CLG	CEILING	N.T.S.	NOT TO SCALE
CLO	CLOSET	O.C.	ON CENTER
CLR	CLEAR	OFF	OFFICE
CNTR	COUNTER	OH	OPPOSITE HAND
CMU	CONCRETE MASONRY UNIT	OZ	OUNCE
COL	COLUMN	PCC	PRE-CAST CONCRETE
COMPR	COMPRESSIBLE	P.L.	PROPERTY LINE
CONC	CONCRETE	PLUMB	PLUMBING
CONT	CONTINUOUS	PLYD	PLYWOOD
CORR	CORRIDOR	PT	PRESSURE TREATED
CPT	CARPET	PNT	PAINT/PAINTED
CT	CERAMIC TILE	PVC	POLYVINYL CHLORIDE
CTR	CENTER	RBR	RUBBER
CTYD	COURTYARD	RCP	REFLECTED CEILING PLAN
DBL	DOUBLE	RD	ROOF DRAIN
DEMO	DEMOLISH	RDWD	REDWOOD
DET	DETAIL	REQD	REQUIRED
D.F.	DRINKING FOUNTAIN	RM	ROOM
DIA	DIAMETER	S.F.	SQUARE FOOT
DIMS	DIMENSIONS	SIM	SIMILAR
DN	DOWN	SPEC	SPECIFIED OR SPECIFICATION
DR	DOOR	SPK	SPRINKLER
DWG	DRAWING	SSTL	STAINLESS STEEL
(E)	EXISTING	STC	SOUND TRANSMISSION COEFFICIENT
EA	EACH	STD	STANDARD
EL	ELEVATION	STL	STEEL
ELEC	ELECTRICAL	STRUCT	STRUCTURAL
ELEV	ELEVATOR/ELEVATION	SO.	SQUARE
EQ	EQUAL	T&G	TONGUE AND GROOVE
EXCL	EXCLUDE	TC	TOP OF CURB
EXP JT	EXPANSION JOINT	TELE	TELEPHONE
EXT	EXTERIOR	TLT	TOILET
F.D.	FLOOR DRAIN	TO	TOP OF
FEC	FIRE EXTINGUISHER CABINET	TOC	TOP OF CONCRETE
FIXT	FIXTURE	TOS	TOP OF STEEL
FLR	FLOOR	TP	TOILET PAPER DISPENSER
FLUOR	FLUORESCENT	T/D	TELEPHONE/DATA
FM	FILLED METAL	TST	TOP OF STAIRS
FND	FOUNDATION	TYP	TYPICAL
FO	FACE OF	U.N.O.	UNLESS NOTED OTHERWISE
F.O.F.	FACE OF FINISH	U/S	UNDERSIDE
FURR	FURRING	V.I.F.	VERIFY IN FIELD
GA	Gauge	VP	VISION PANEL
GALV	GALVANIZED	W	WITH
G.B.	GRAB BAR	WD	WOOD
GND	GROUND	W.H.	WATER HEATER
GRP	GROUP		
GWB	GYPSUM WALL BOARD		
GYP	GYPSUM		

PROJECT NAME

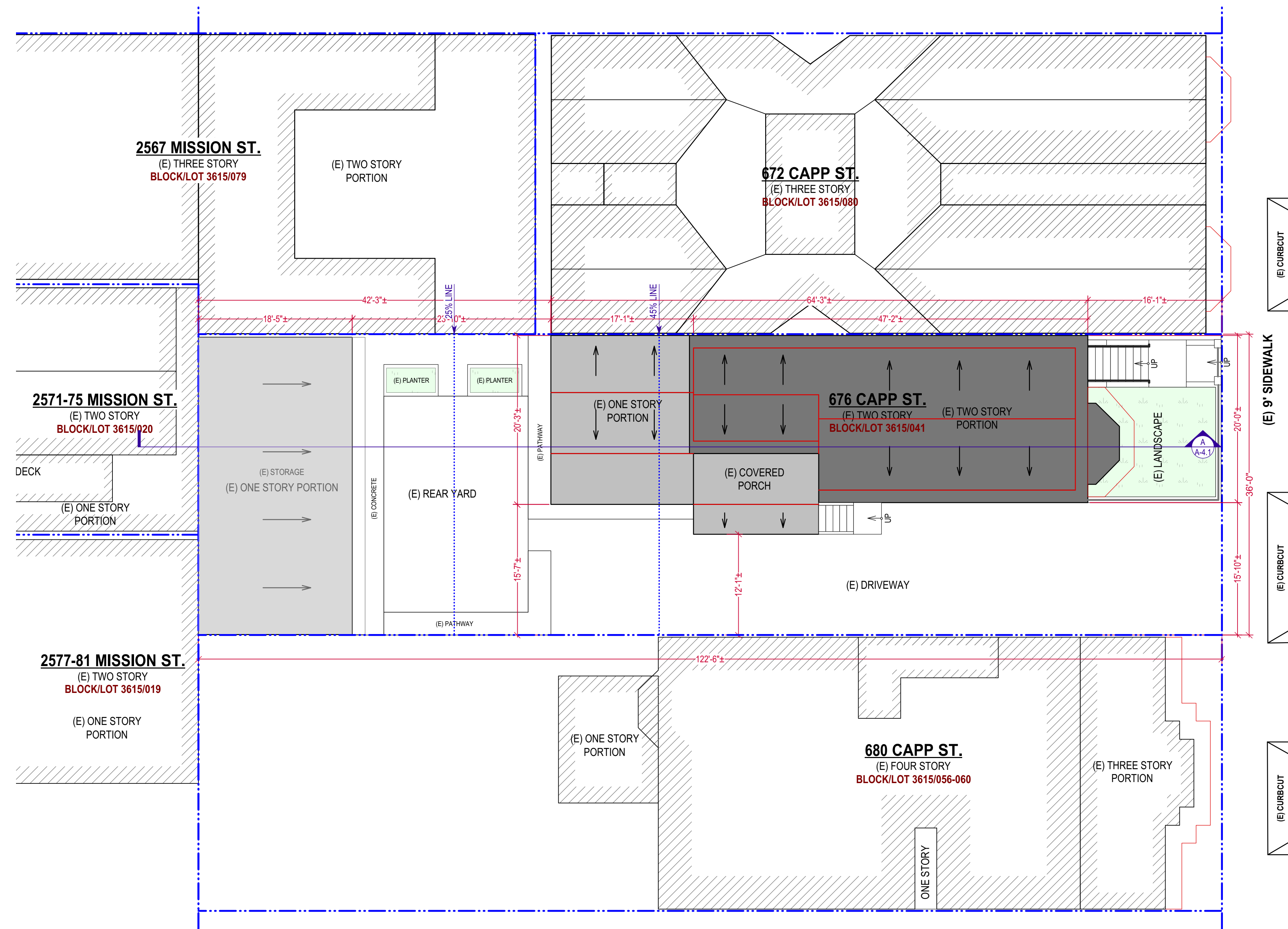
676 Capp St - FRONT
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

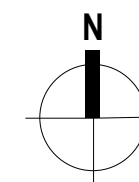
SHEET TITLE

Existing Site Plan



Existing Site Plan

1/8"=1'-0"



NOTE:
SITE PLAN HAS BEEN PREPARED BY LOCATIONS OF BUILDING & ADJACENT PROPERTIES SHOWN ON SURVEY. PLEASE REFER TO SURVEY FOR MORE DETAILS.

BLOCK & LOT: 3615/041	
PROPERTY LINE:	
OUTLINE OF ROOF:	
OUTLINE OF SUBJECT BLDG.:	
OUTLINE OF NEIGHBORS:	

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

DATE 08/06/2015

REVISED DATE 05/22/2017

JOB NO. 15-1671

SHEET NO.

A-1.1



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

Proposed Site Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

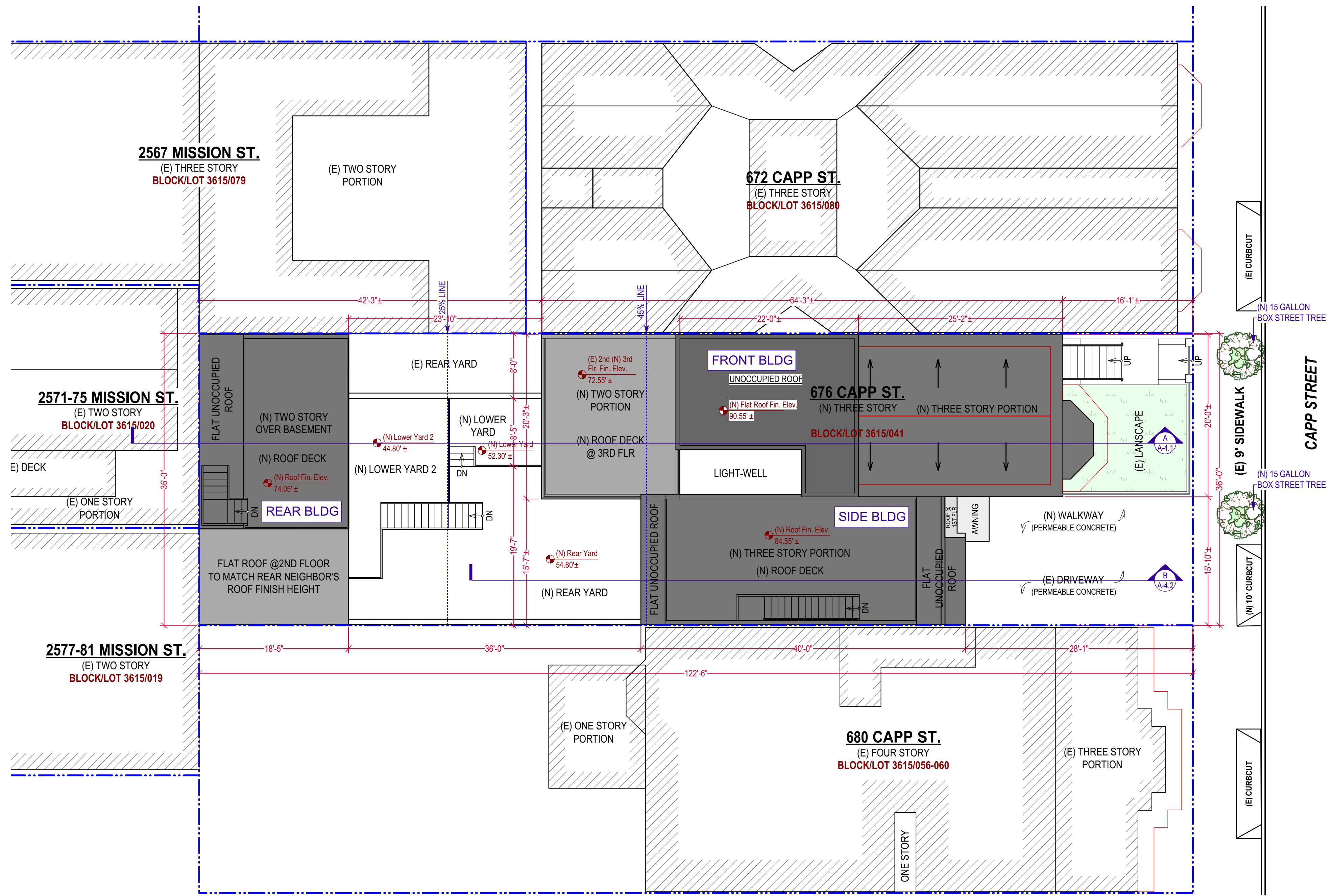
DATE 08/06/2015

REVISED DATE 05/22/2017

JOB NO. 15-1671

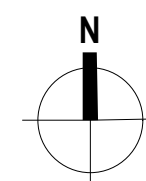
SHEET NO.

A-1.2



Proposed Site Plan

1/8"=1'-0"



NOTE:
SITE PLAN HAS BEEN PREPARED BY LOCATIONS OF BUILDING & ADJACENT PROPERTIES SHOWN ON SURVEY. PLEASE REFER TO SURVEY FOR MORE DETAILS.

BLOCK & LOT: 3615/041	
PROPERTY LINE:	
OUTLINE OF ROOF:	
OUTLINE OF SUBJECT BLDG.:	
OUTLINE OF NEIGHBORS:	



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

Existing First & Second Floor Plans

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

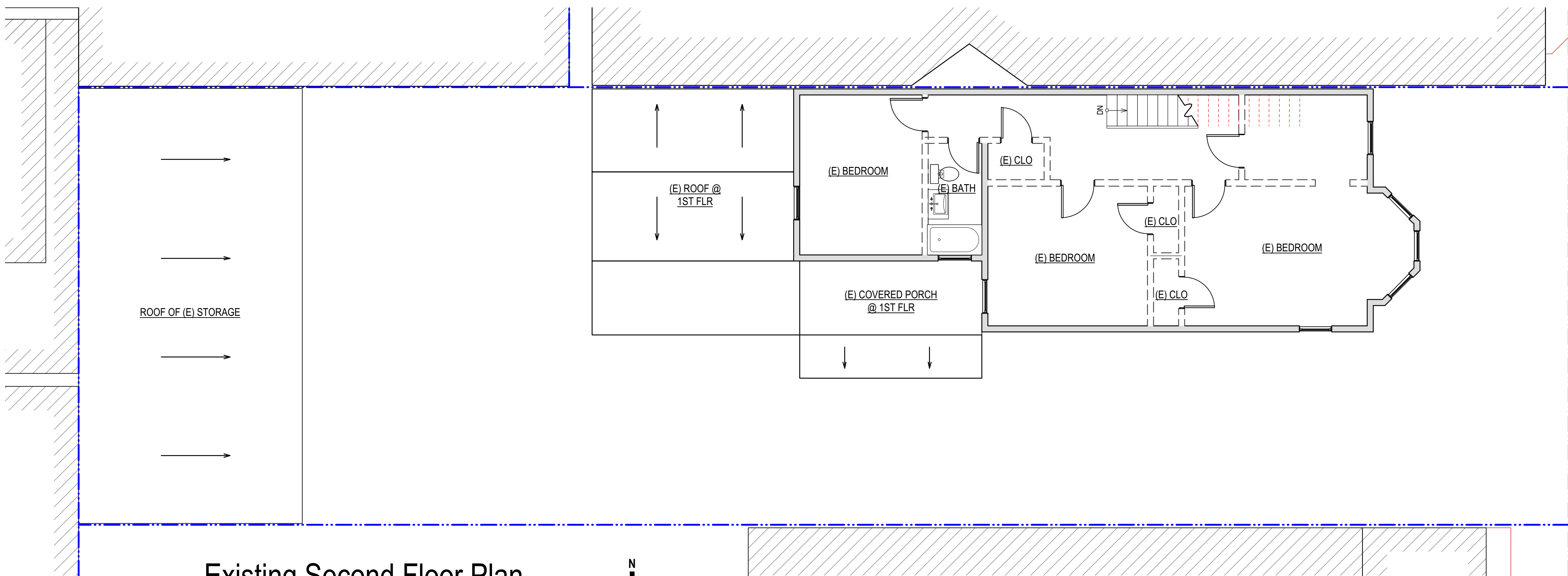
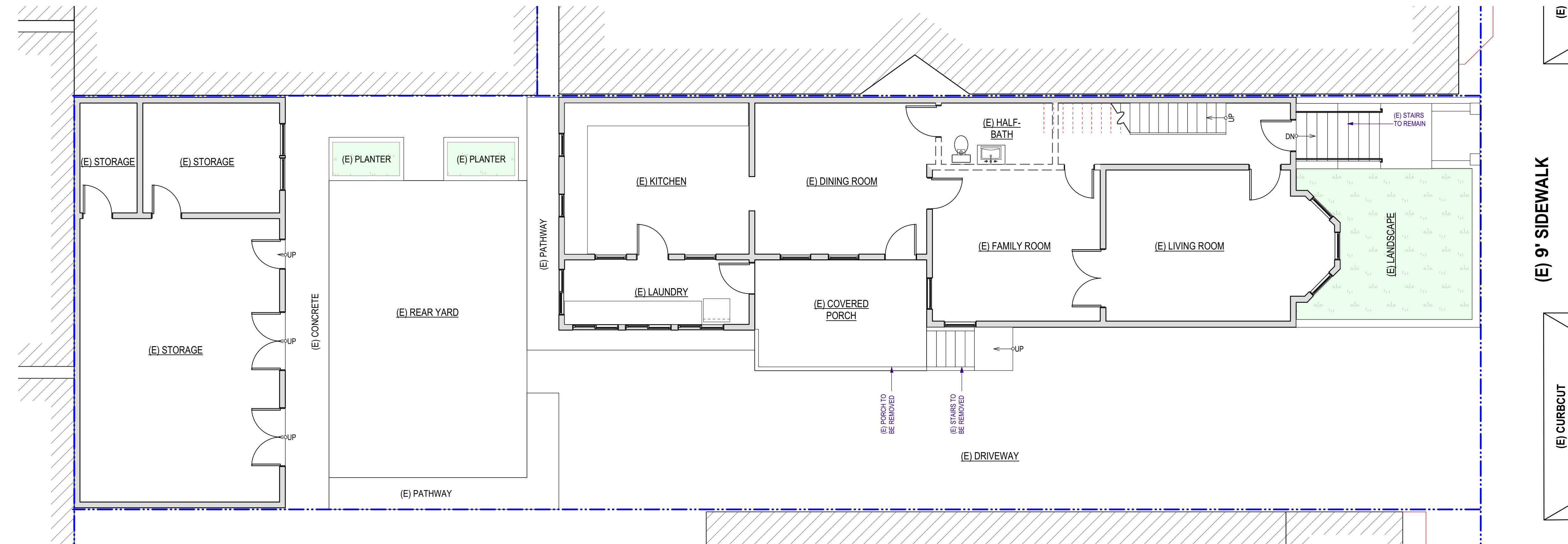
DATE 08/06/2015

REVISED DATE 05/22/2017

JOB NO. 15-1671

SHEET NO.

A-2.0



	PROPERTY LINE
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED

CD	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
SD	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
---	(N) WALL TO BE CONSTRUCTED
---	(N) WALL TO BE 1-HR. FIRE RATED
---	(N) CONCRETE WALL TO BE CONSTRUCTED

PROJECT NAME

676 Capp St - REAR
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

**Rear Bldg
Proposed
Basement
Floor Plan**

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

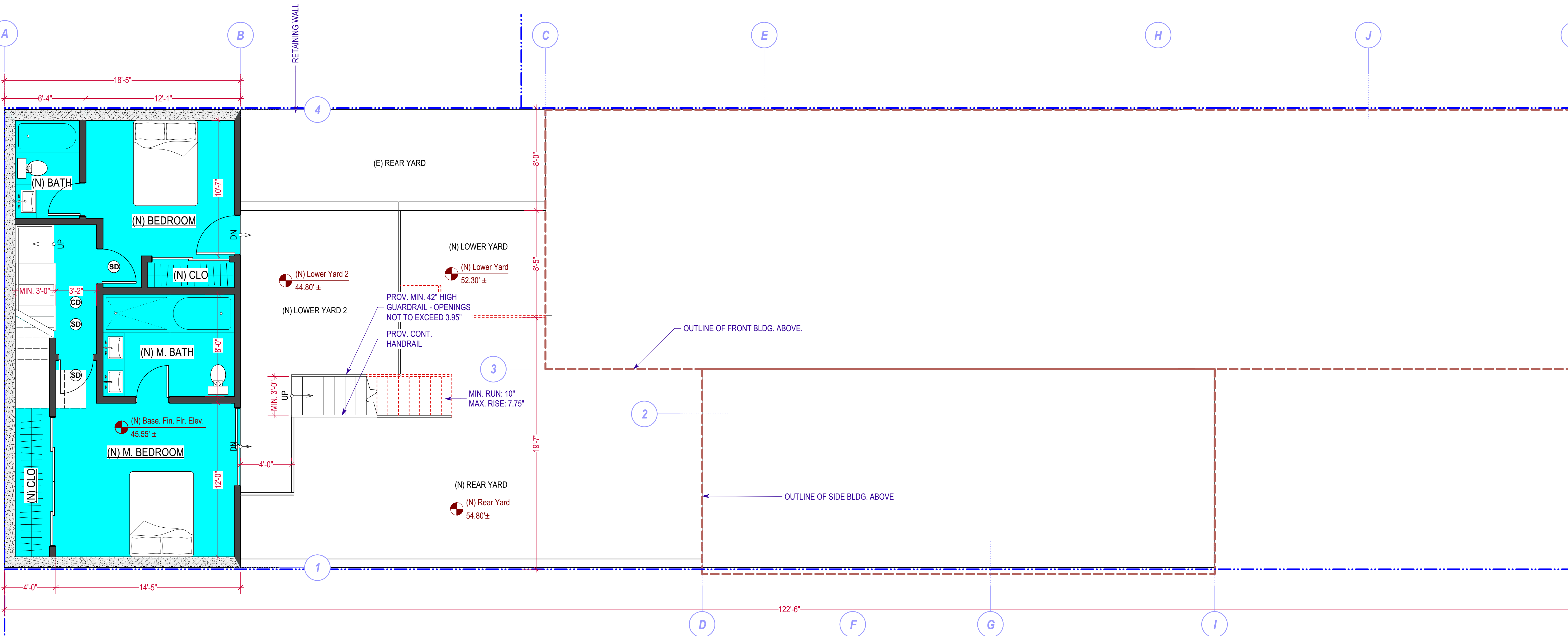
DATE 08/06/2015

REVISED DATE 05/22/2017

JOB NO. 15-1671

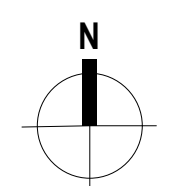
SHEET NO.

A-2.1



Proposed Basement Floor Plan

1/4"=1'-0"





SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

Proposed First Floor Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

DATE 08/06/2015

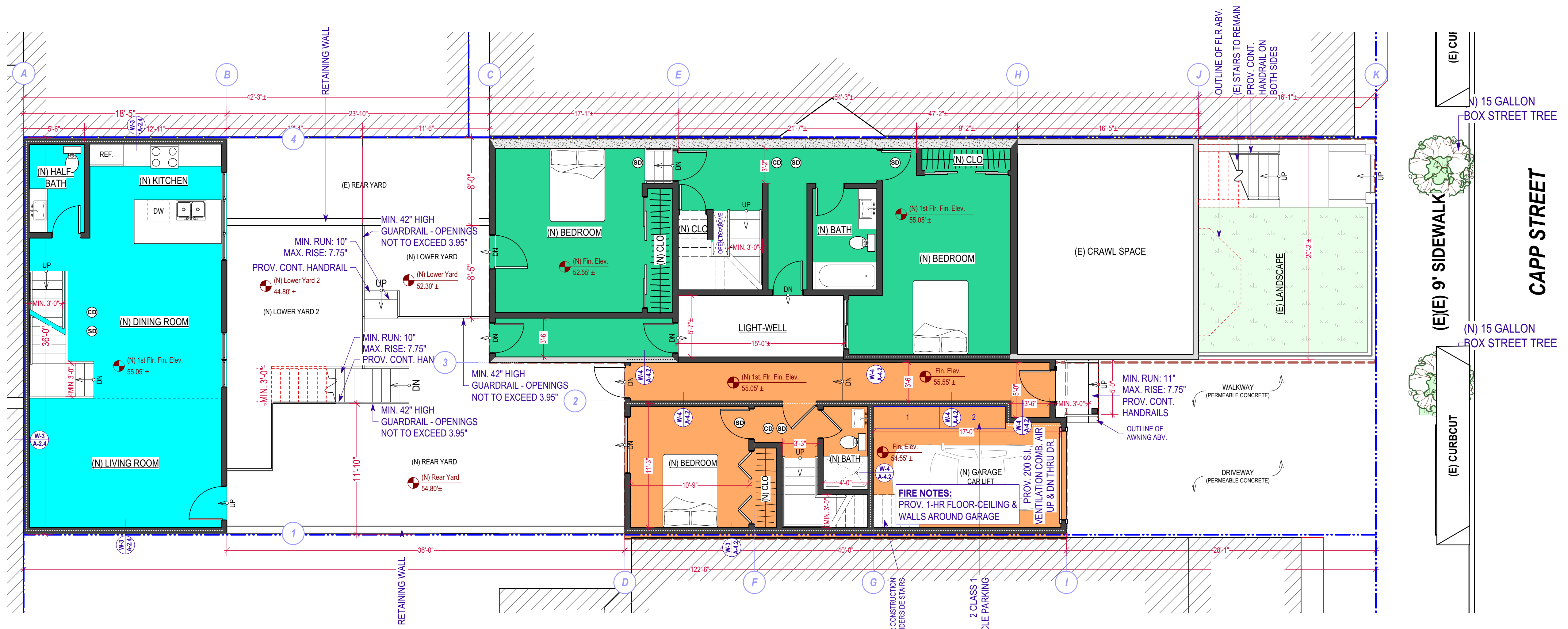
REVISED DATE 05/22/2017

JOB NO. 15-1671

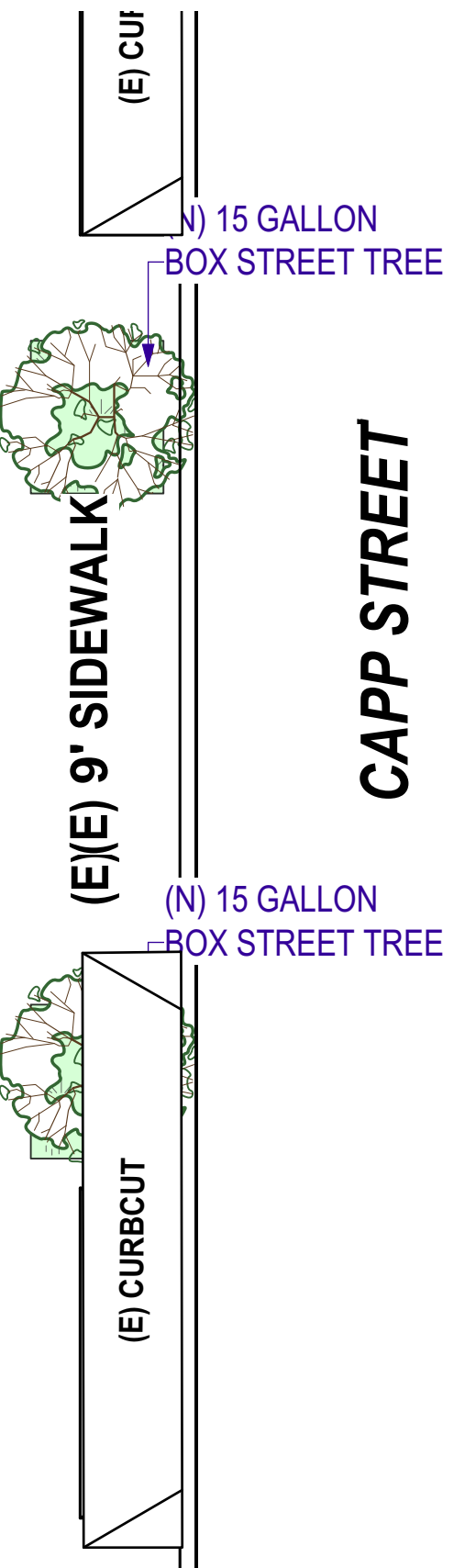
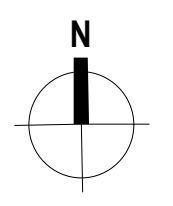
SHEET NO.

A-2.2

CD	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
SD	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
---	(N) WALL TO BE CONSTRUCTED
---	(N) WALL TO BE 1-HR. FIRE RATED
---	(N) CONCRETE WALL TO BE CONSTRUCTED



Proposed First Floor Plan
3/16"=1'-0"



(CD)	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
(SD)	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
---	(N) WALL TO BE CONSTRUCTED
---	(N) WALL TO BE 1-HR. FIRE RATED

PROJECT NAME

676 Capp St - FRONT
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

Proposed Second
Floor Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

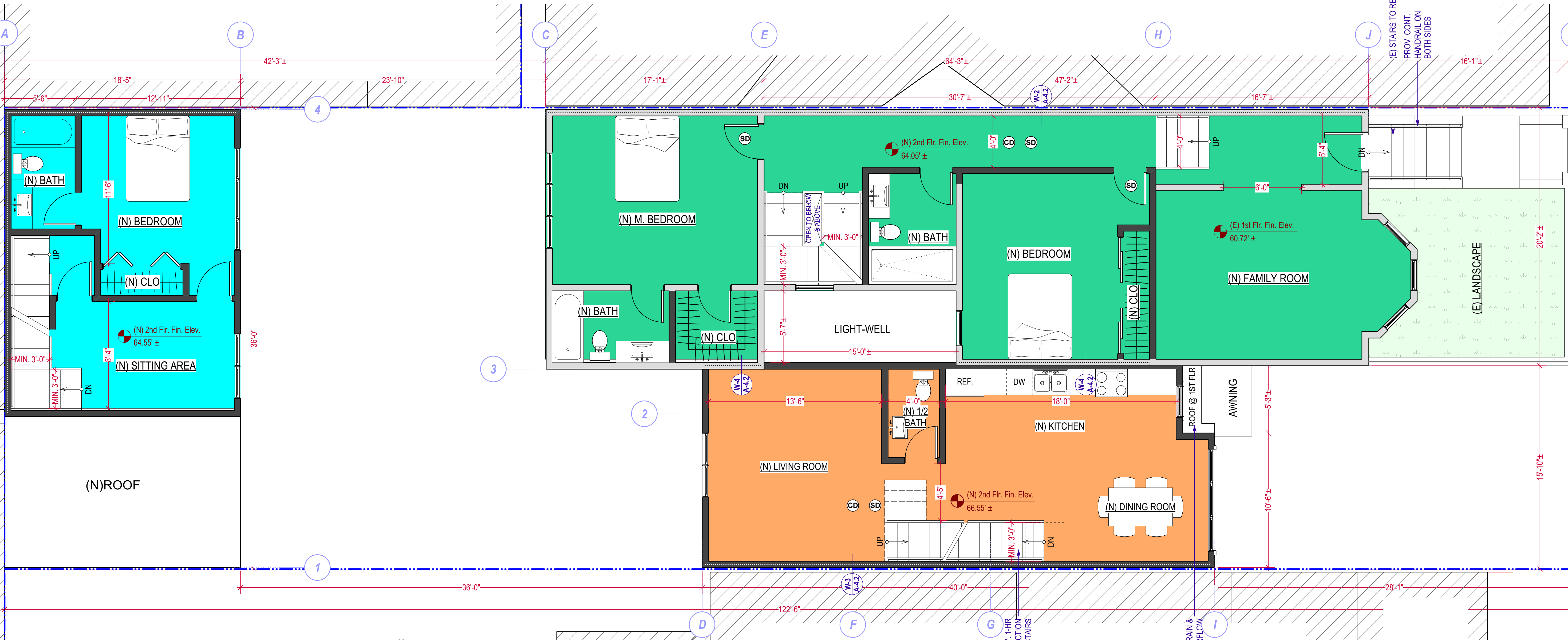
DATE 08/06/2015

REVISED DATE 05/22/2017

JOB NO. 15-1671

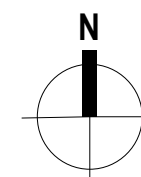
SHEET NO.

A-2.3



Proposed Second Floor Plan

1/4"=1'-0"



PROV. 1-HR CONSTRUCTION UNDERSIDE STAIRS

PROV. DRAIN & OVERFLOW



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

Proposed Third Floor Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

DATE 08/06/2015

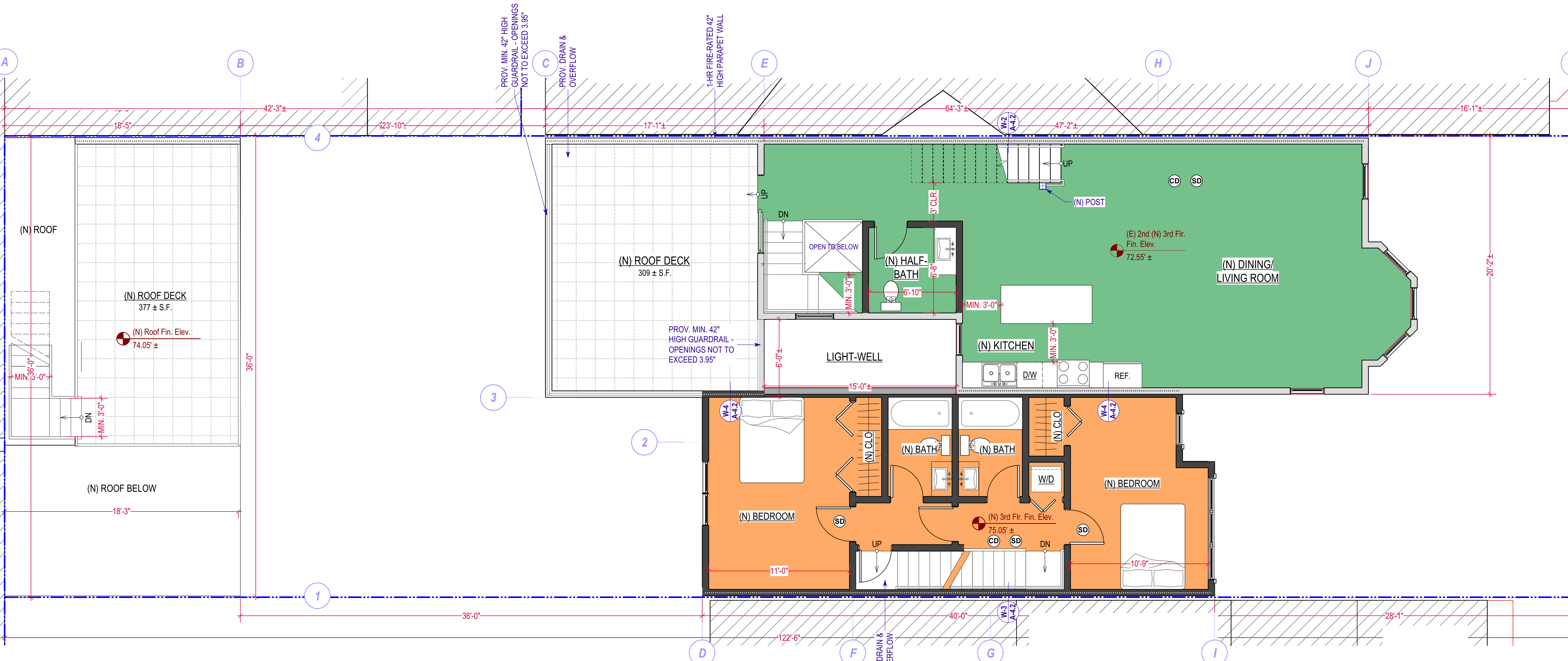
REVISED DATE 05/22/2017

JOB NO. 15-1671

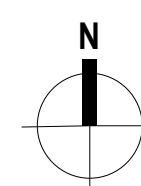
SHEET NO.

A-2.4

CD	CARBON MONOXIDE DETECTOR/ALARM IN ALL BEDROOMS
SD	SMOKE DETECTOR, 110-V INTERCONNECTED WITH BATTERY BACKUP
---	PROPERTY LINE
---	(E) WALL TO BE REMOVED
---	(E) WALL TO REMAIN
---	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
---	(N) WALL TO BE CONSTRUCTED
---	(N) WALL TO BE 1-HR. FIRE RATED
---	(N) PARAPET WALL TO BE 1-HR. FIRE RATED



Proposed Third Floor Plan
1/4"=1'-0"





SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

Proposed Fourth Floor Plan

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

DATE 08/06/2015

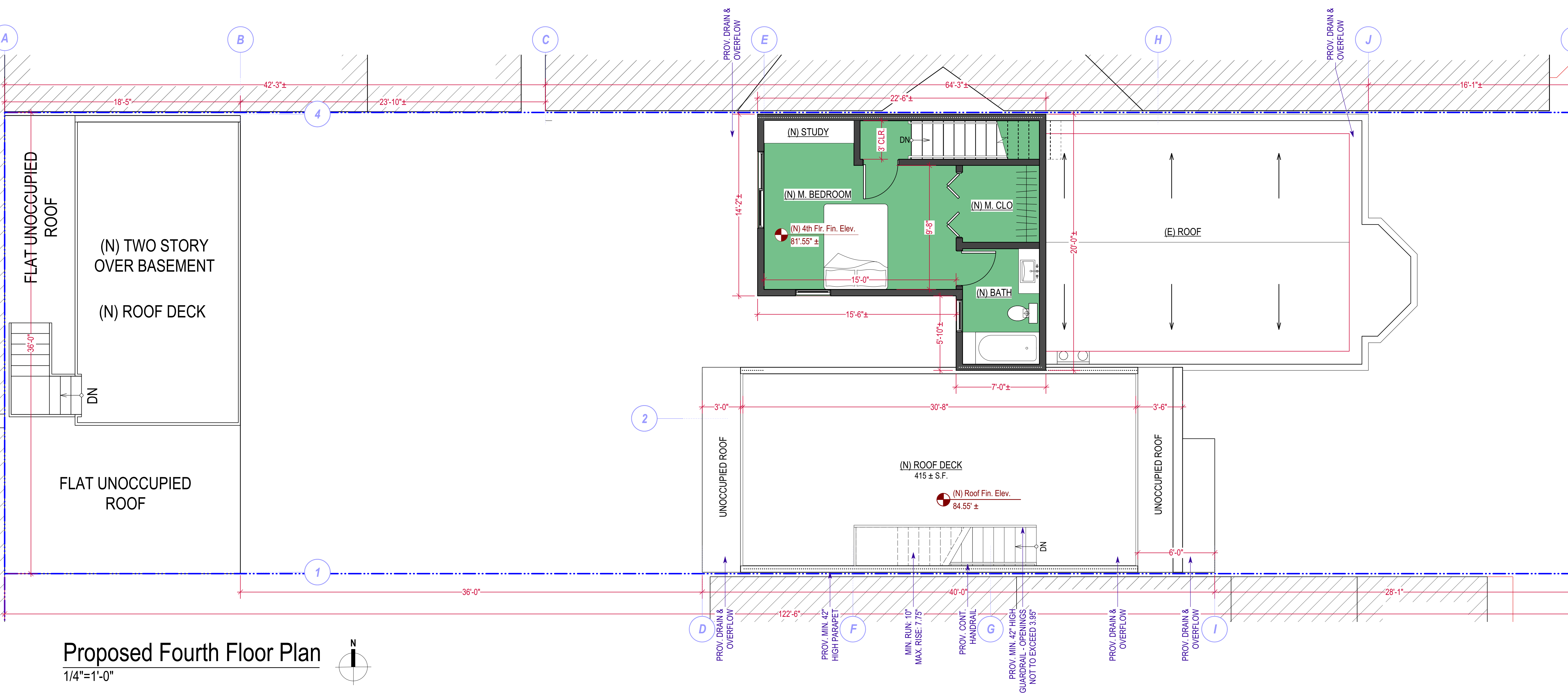
REVISED DATE 05/22/2017

JOB NO. 15-1671

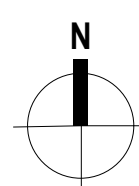
SHEET NO.

A-2.5

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED
	(N) PARAPET WALL TO BE 1-HR. FIRE RATED



Proposed Fourth Floor Plan
1/4"=1'-0"



	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(E) WALL TO BE RETROFITTED TO 1-HR. FIRE RATED
	(N) WALL TO BE CONSTRUCTED
	(N) WALL TO BE 1-HR. FIRE RATED
	(N) PARAPET WALL TO BE 1-HR. FIRE RATED

PROJECT NAME

676 Capp St - FRONT
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

**Proposed
Roof Plan**

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

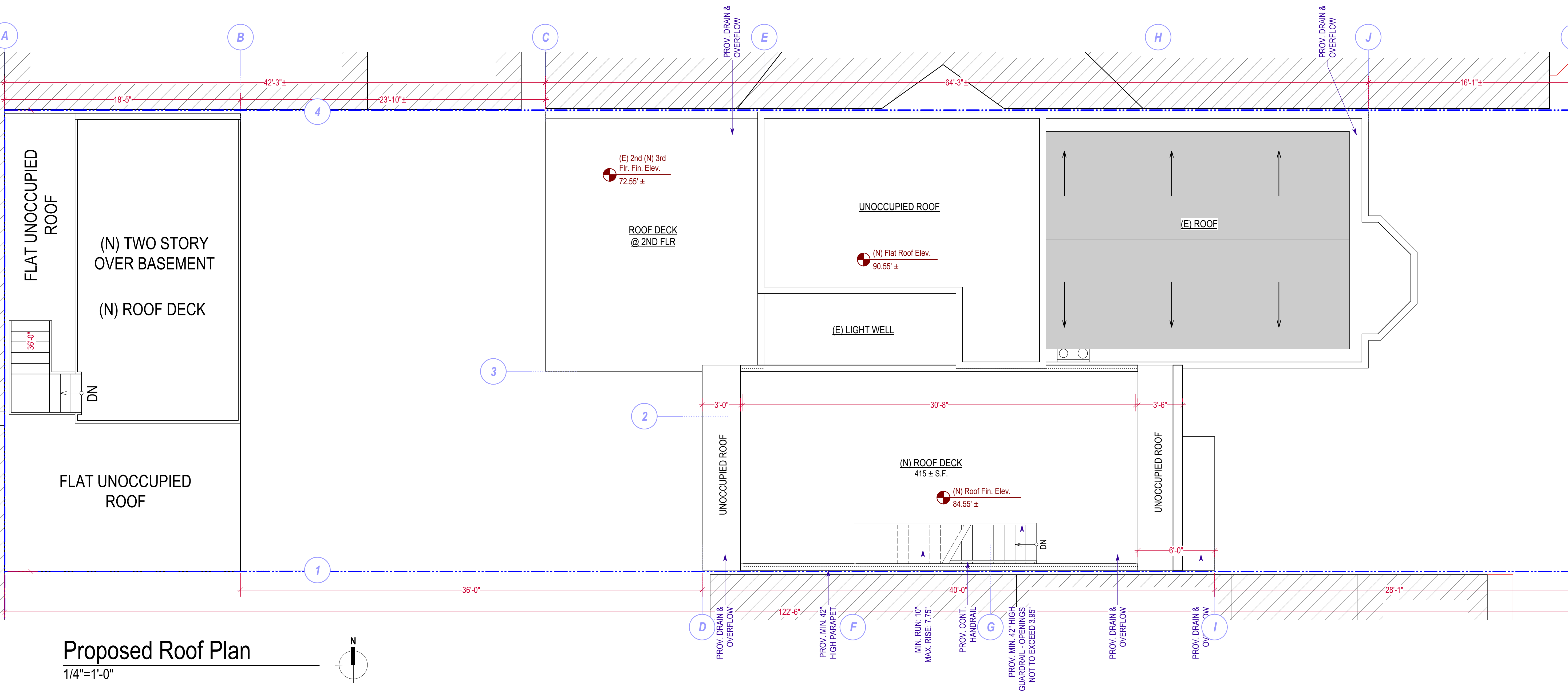
DATE 08/06/2015

REVISED DATE 05/22/2017

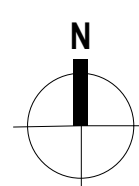
JOB NO. 15-1671

SHEET NO.

A-2.6



Proposed Roof Plan
1/4"=1'-0"





SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

Front&Side Bldg
Front Elevations

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO. DATE DESCRIPTION

DRAWN A.A

CHECKED R.K.

DATE 08/06/2015

REVISED DATE 05/22/2017

JOB NO. 15-1671

SHEET NO.

A-3.1-1

Existing Front Elevation (East)

1/4"=1'-0"

Proposed Front Elevation (East)

1/4"=1'-0"





SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

Rear Bldg
Front Elevations

These documents are property of SIA CONSULTING
and are not to be produced changed or copied
without the expressed written consent of SIA
CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

DATE 08/06/2015

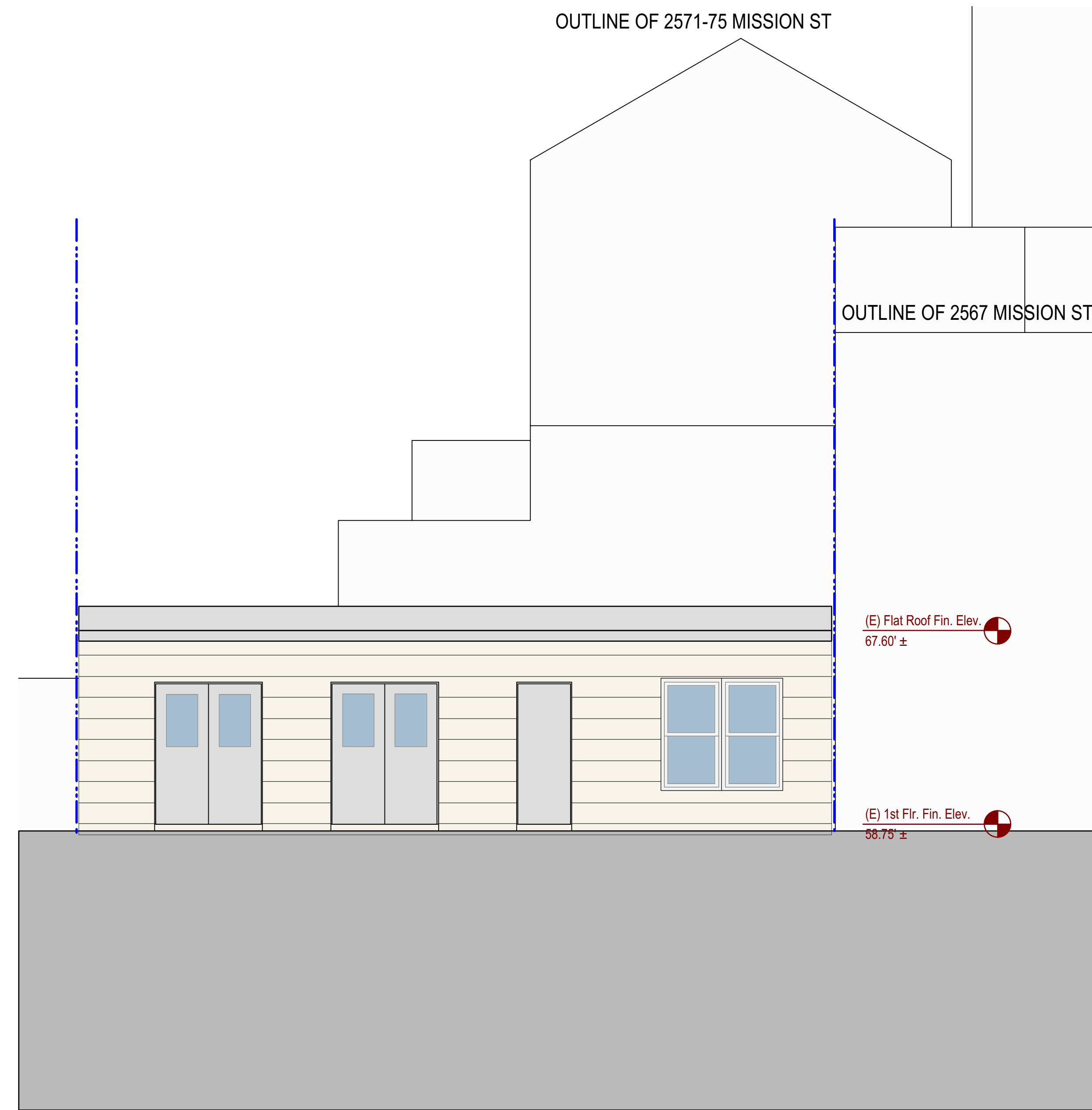
REVISED DATE 05/22/2017

JOB NO. 15-1671

SHEET NO.

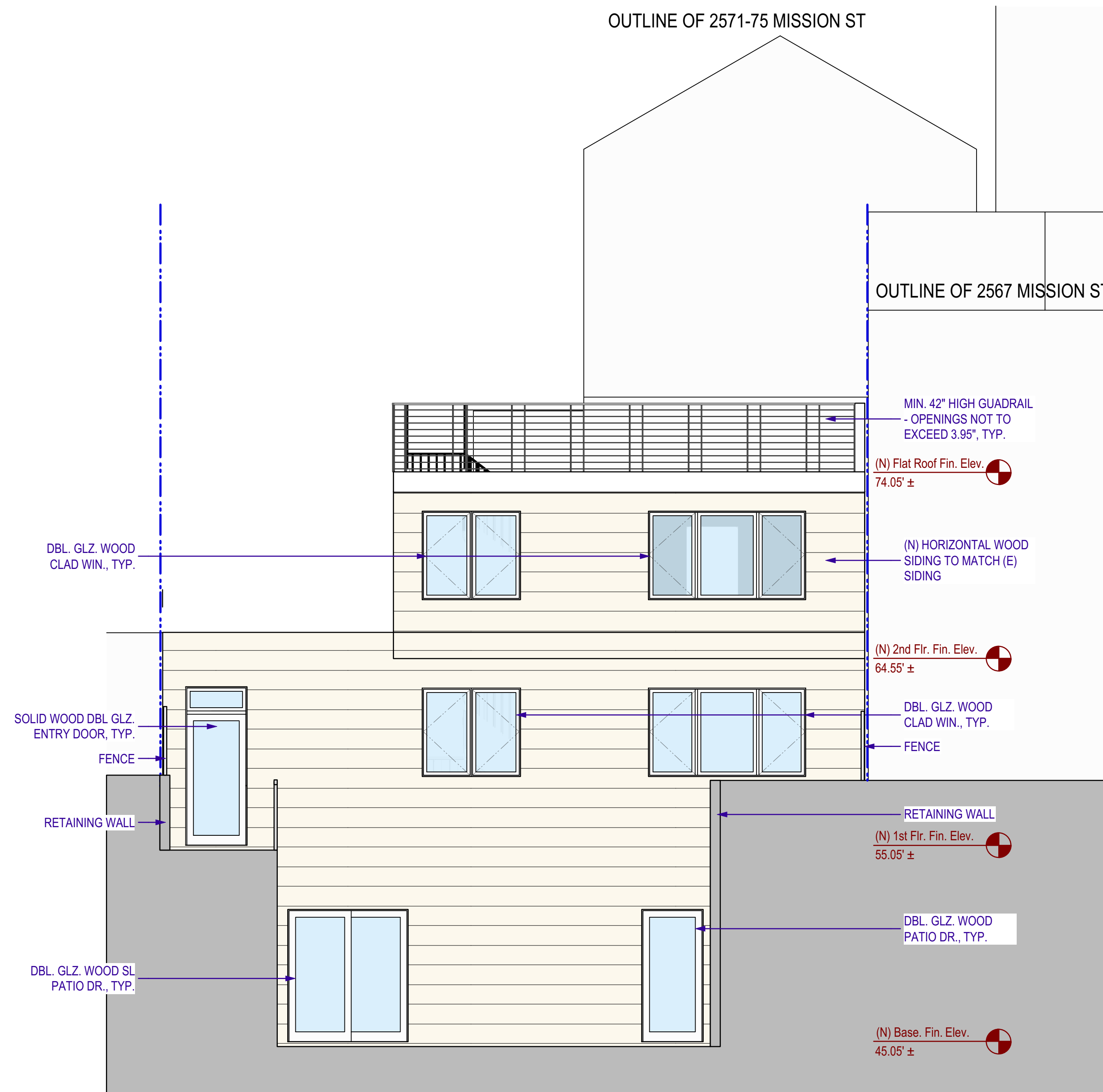
A-3.1-2

PROPERTY LINE



Existing Front Elevation of Rear Bldg (East)

1/4"=1'-0"



Proposed Front Elevation of Rear Bldg (East)

1/4"=1'-0"



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

Front&Side Bldg
Left Elevations

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO. DATE DESCRIPTION

DRAWN A.A

CHECKED R.K.

DATE 08/06/2015

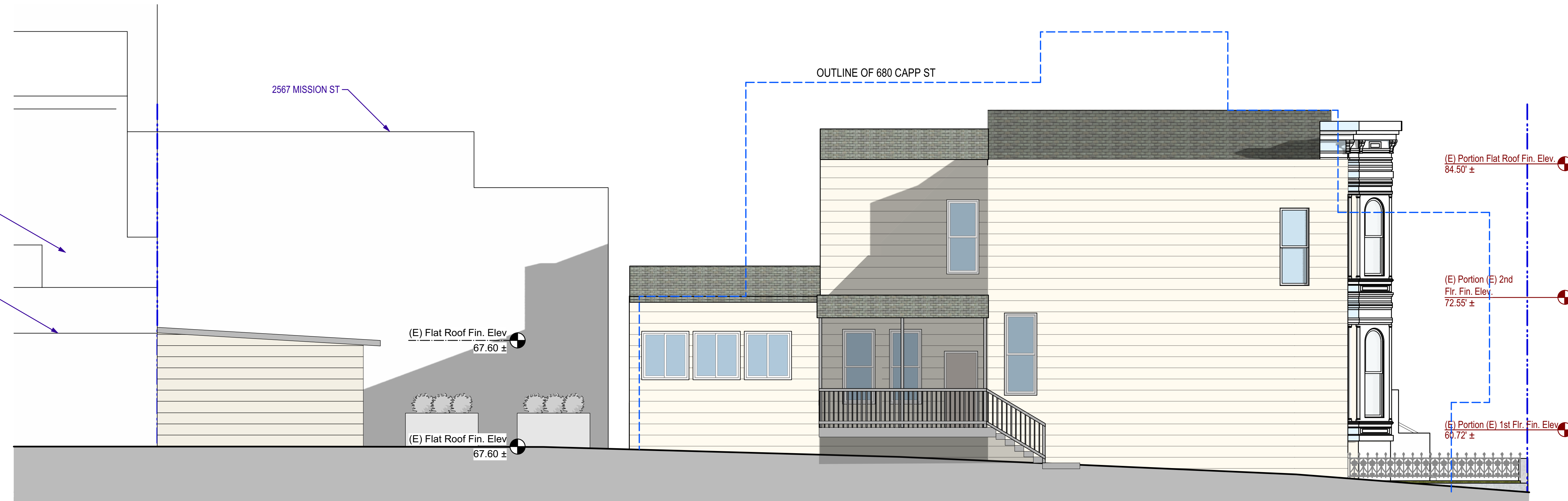
REVISED DATE 05/22/2017

JOB NO. 15-1671

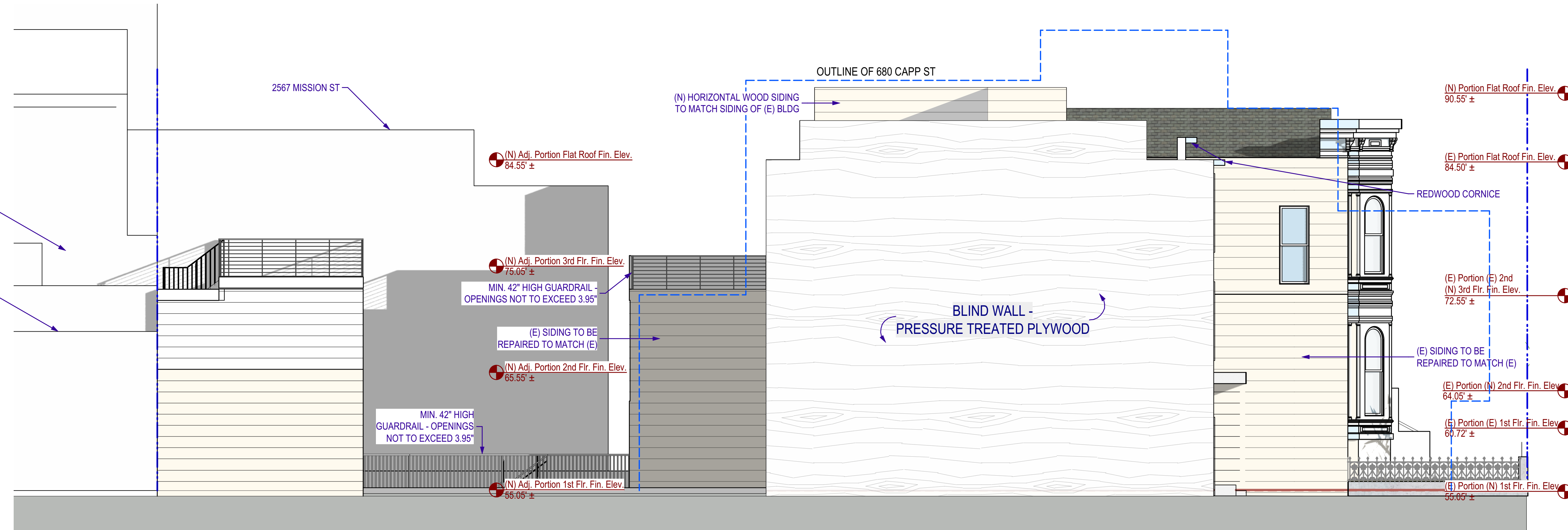
SHEET NO.

A-3.2-1

PROPERTY LINE



Existing Left Elevation (South)
3/16"=1'-0"



Proposed Left Elevation (South)
3/16"=1'-0"

---+--- PROPERTY LINE

PROJECT NAME

676 Capp St - REAR
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

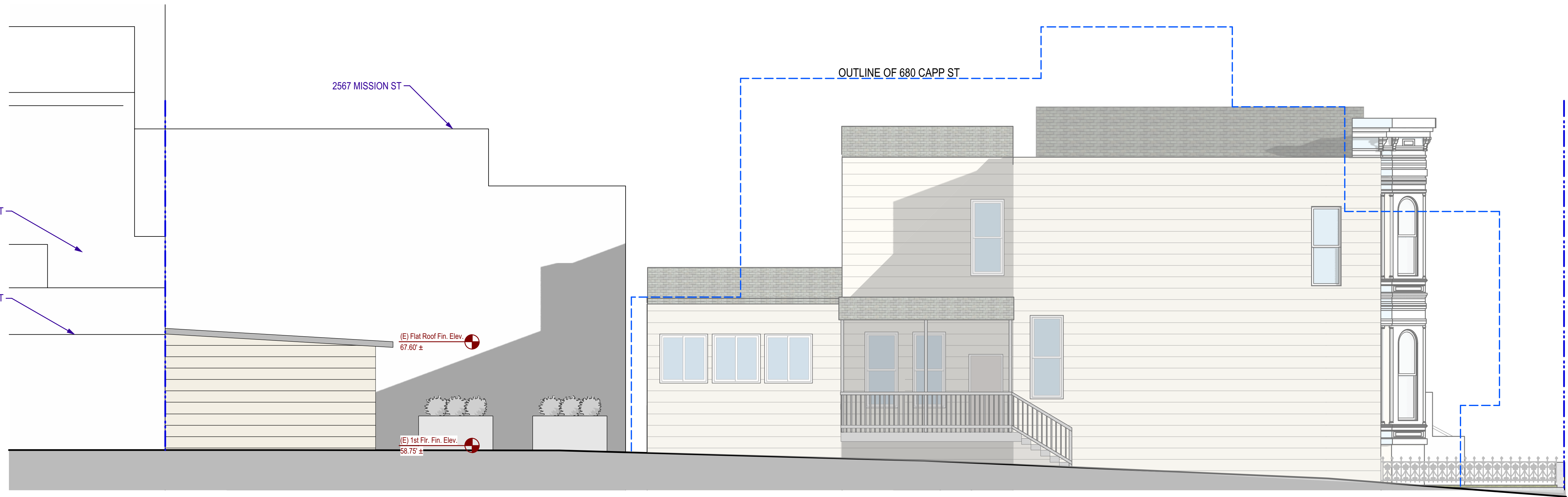
**Rear Bldg
Left Elevations**

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

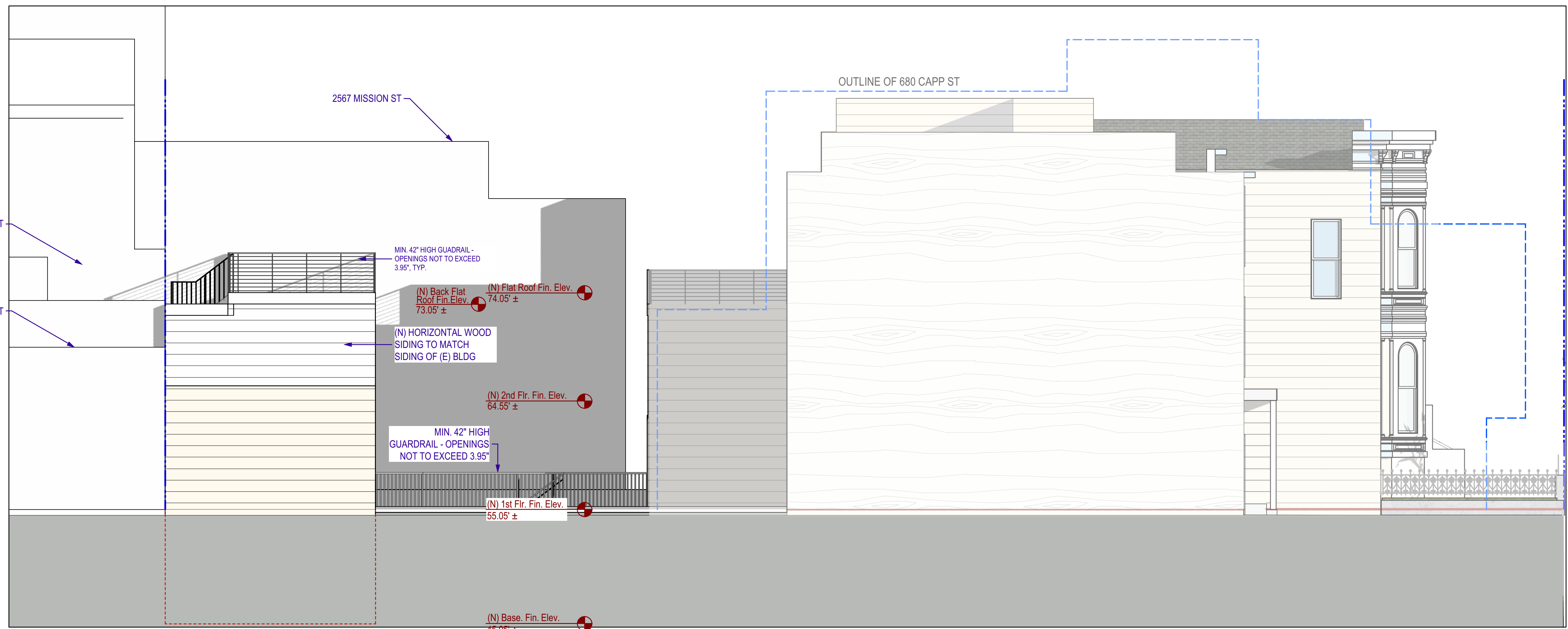
ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
DRAWN	A.A	
CHECKED	R.K.	
DATE	08/06/2015	
REVISED DATE	05/22/2017	
JOB NO.	15-1671	

A
B
C
D
E
F

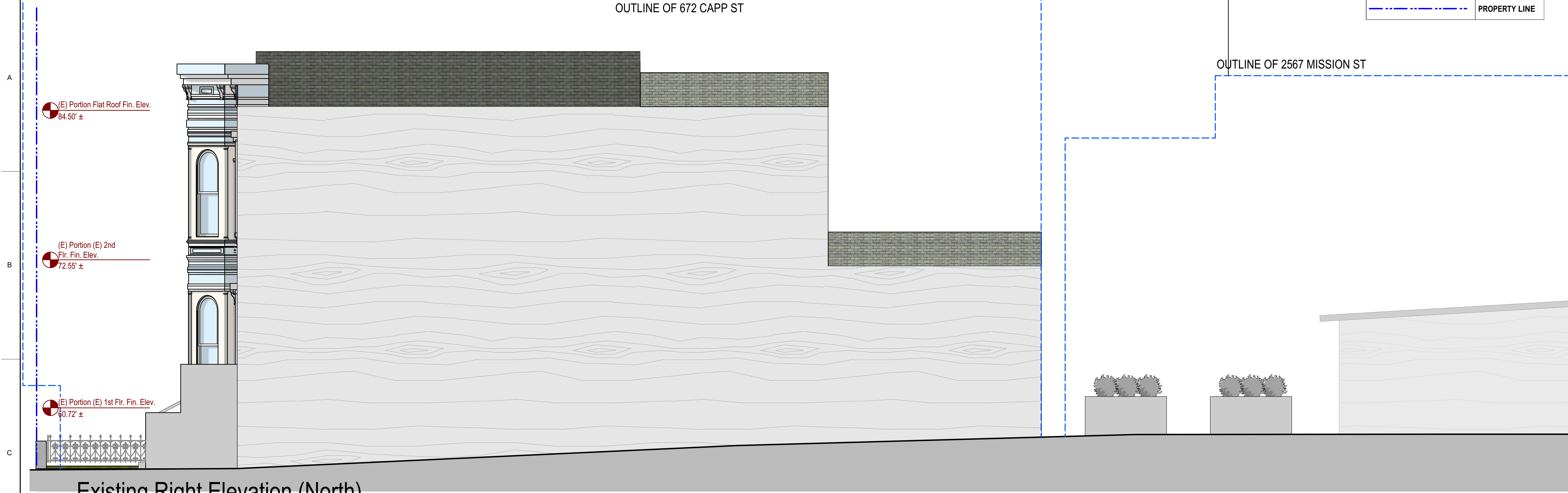


Existing Left Elevation of Rear Bldg (South)
3/16"=1'-0"



Proposed Left Elevation of Rear Bldg (South)
3/16"=1'-0"

A-3.2-2



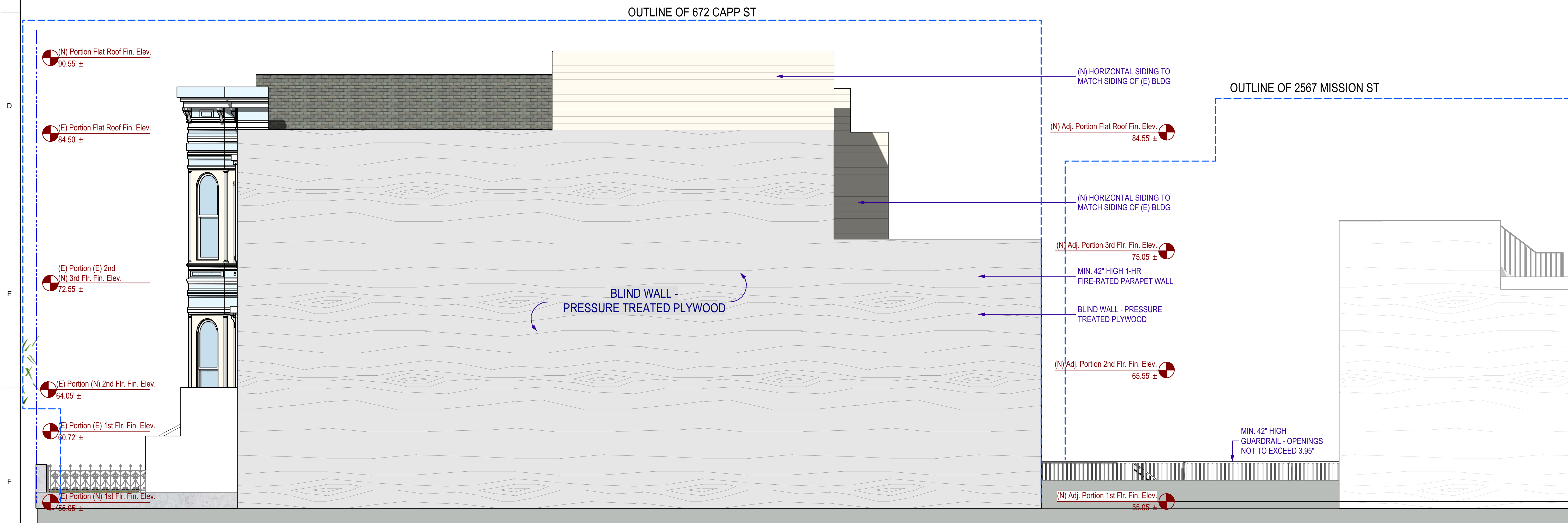
PROJECT NAME

676 Capp St - FRONT
SAN FRANCISCO, CA



SHEET TITLE

Front & Side Bldg
Right Elevations



These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

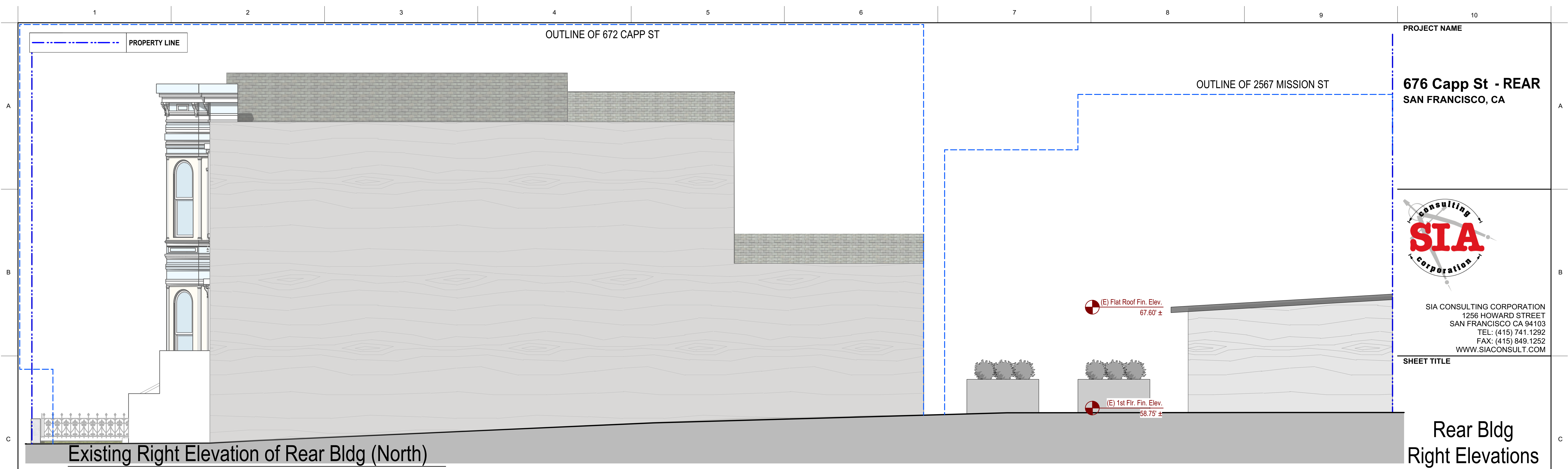
CHECKED R.K.

DATE 08/06/2015

REVISED DATE 05/22/2017

JOB NO. 15-1671

SHEET NO. A-3.3-1



Existing Right Elevation of Rear Bldg (North)

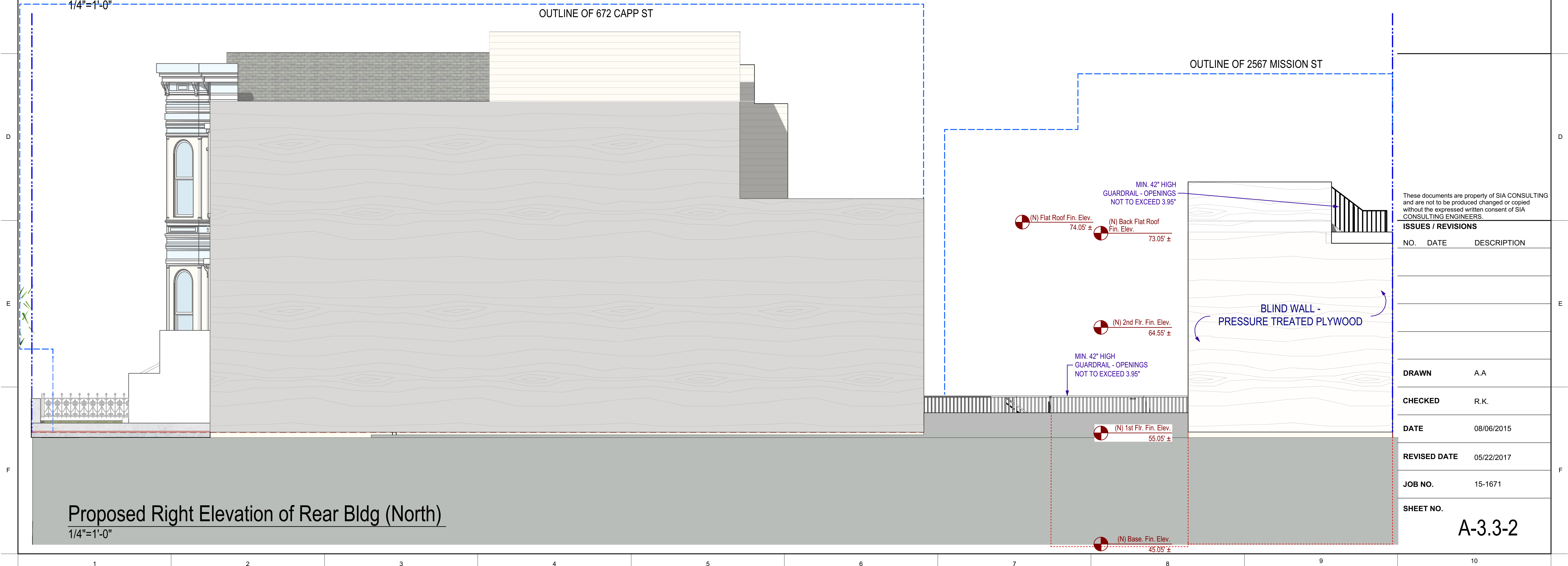
1/4"=1'-0"

PROJECT NAME
676 Capp St - REAR
 SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
 1256 HOWARD STREET
 SAN FRANCISCO CA 94103
 TEL: (415) 741.1292
 FAX: (415) 849.1252
 WWW.SIACONSULT.COM

SHEET TITLE
**Rear Bldg
 Right Elevations**



Proposed Right Elevation of Rear Bldg (North)

1/4"=1'-0"

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN	A.A
CHECKED	R.K.
DATE	08/06/2015
REVISED DATE	05/22/2017
JOB NO.	15-1671

SHEET NO.
A-3.3-2



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

**Front&Side Bldg
Rear Elevations**

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

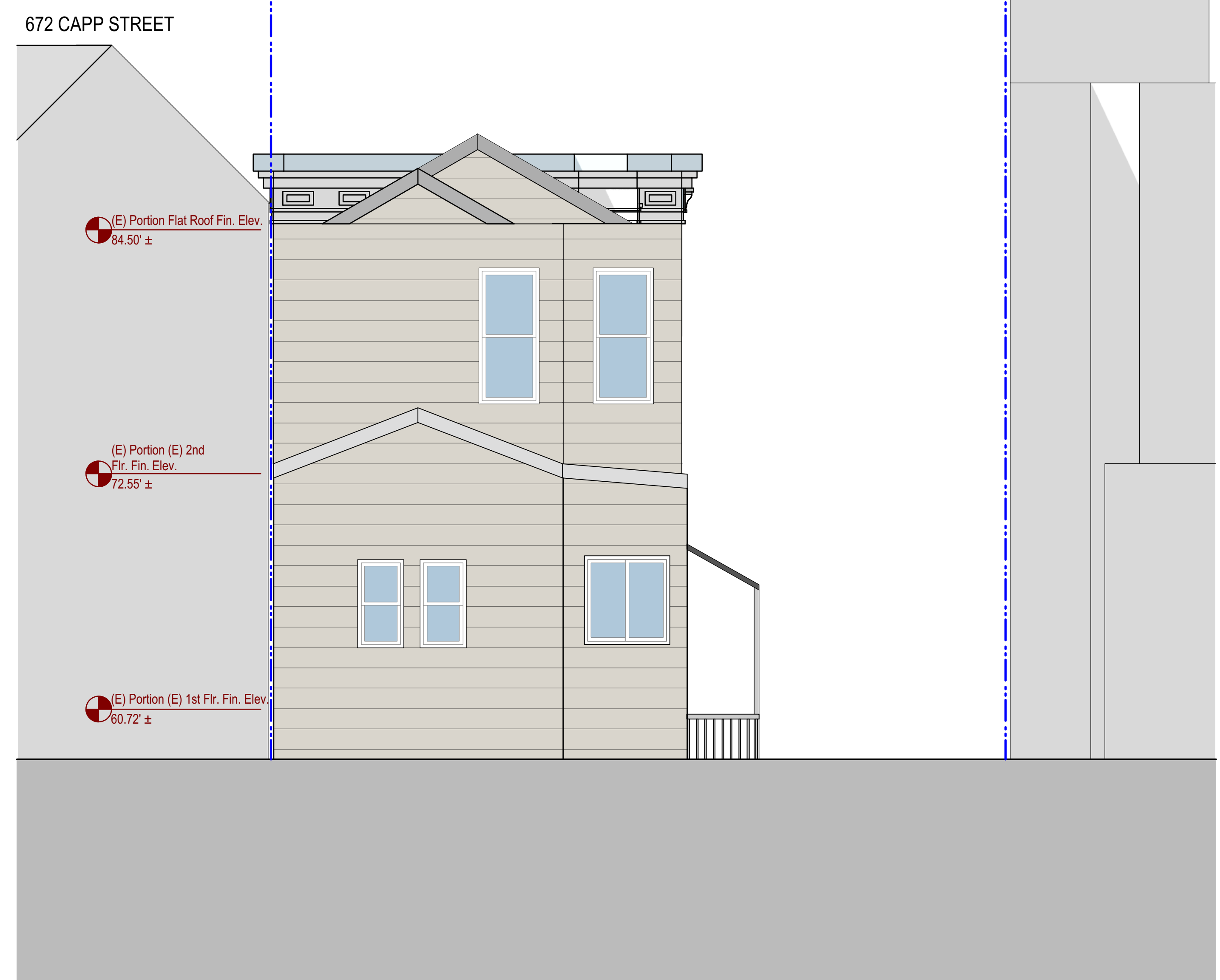
DATE 08/06/2015

REVISED DATE 05/22/2017

JOB NO. 15-1671

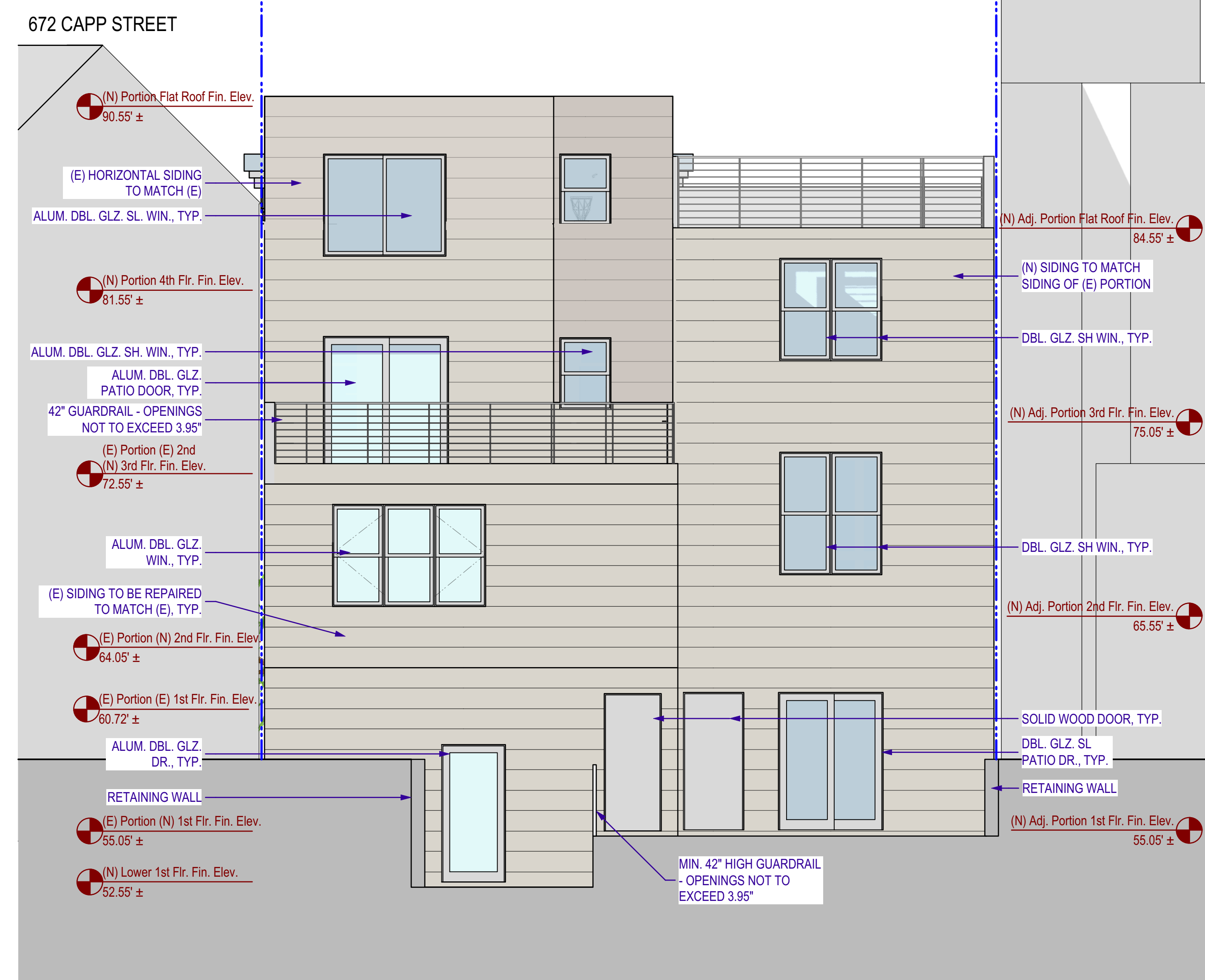
SHEET NO.

A-3.4-1



Existing Rear Elevation (West)

1/4"=1'-0"



Proposed Rear Elevation (West)

1/4"=1'-0"



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

Rear Bldg
Rear Elevations

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

DATE 08/06/2015

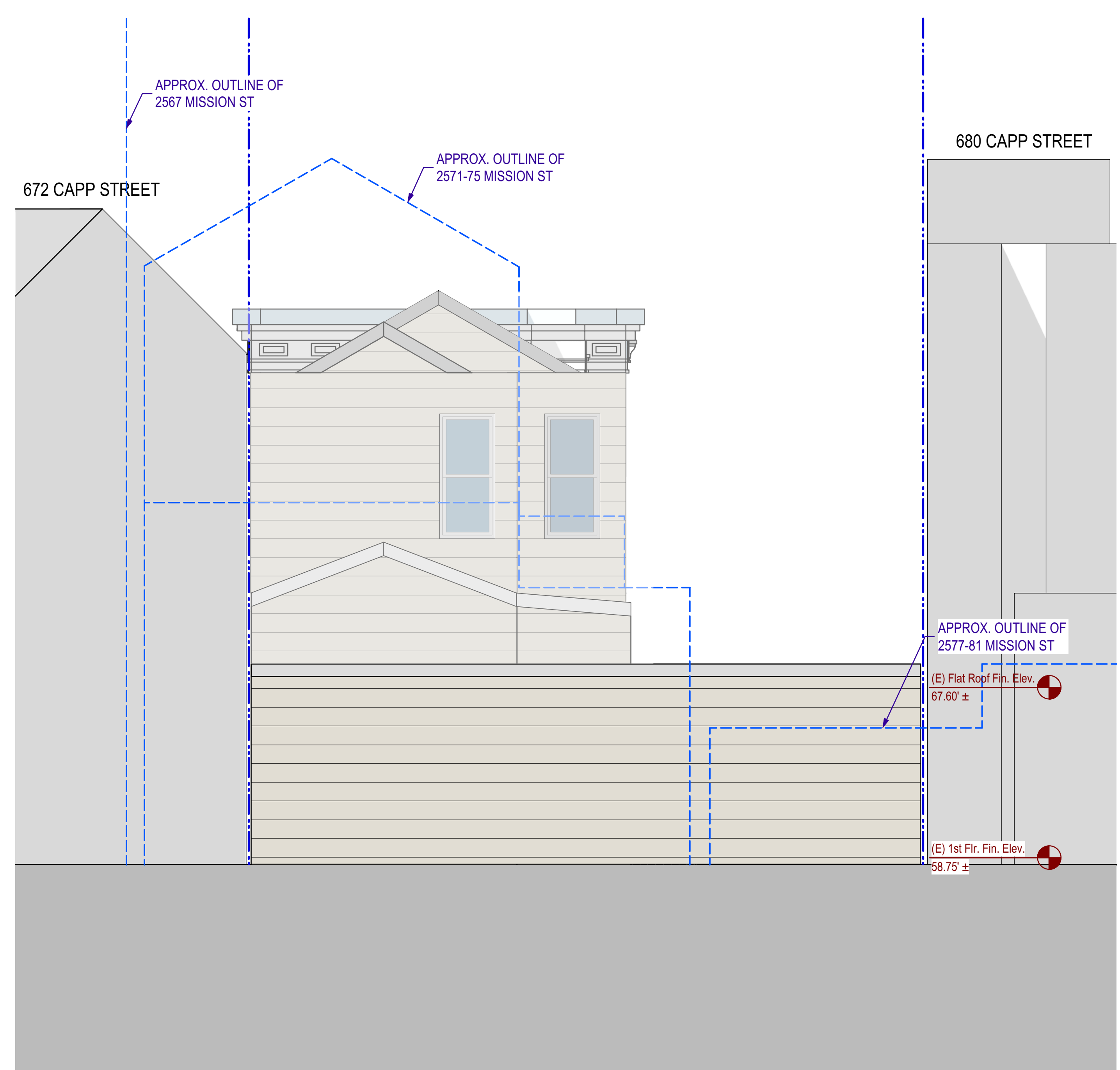
REVISED DATE 05/22/2017

JOB NO. 15-1671

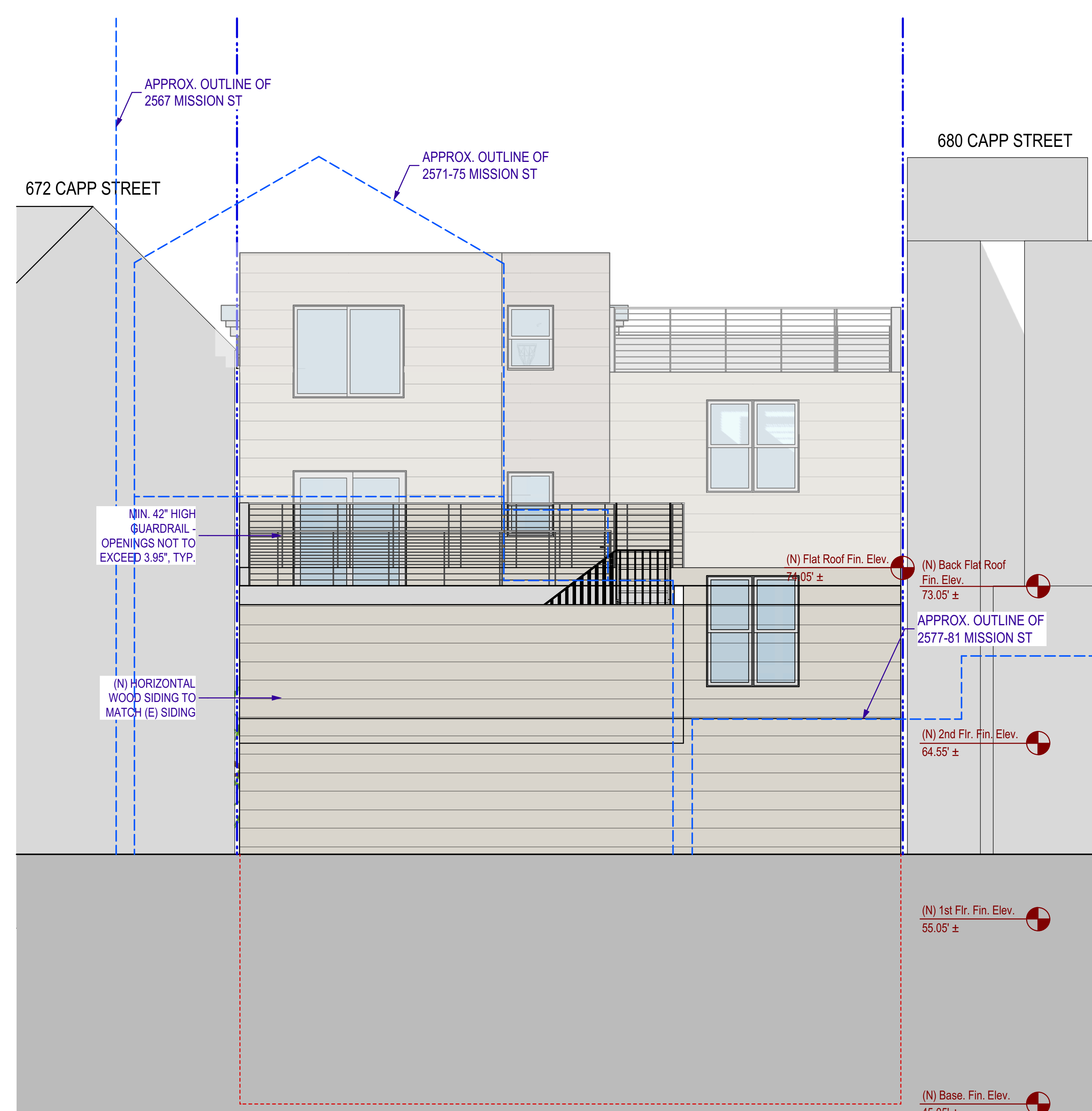
SHEET NO.

A-3.4-2

PROPERTY LINE



Existing Rear Elevation of Rear Bldg (West)
1/4"=1'-0"



Proposed Rear Elevation of Rear Bldg (West)
1/4"=1'-0"

PROJECT NAME

676 Capp St - FRONT
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

Front&Side Bldg
Isometric Views

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

DRAWN A.A

CHECKED R.K.

DATE 08/06/2015

REVISED DATE 05/22/2017

JOB NO. 15-1671

SHEET NO.

A-3.5-1





PROJECT NAME

676 Capp St - FRONT
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
 1256 HOWARD STREET
 SAN FRANCISCO CA 94103
 TEL: (415) 741.1292
 FAX: (415) 849.1252
 WWW.SIACONSULT.COM

SHEET TITLE

Front&Side Bldg
Isometric Views

These documents are property of SIA CONSULTING
 and are not to be produced, changed or copied
 without the expressed written consent of SIA
 CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN	A.A
--------------	-----

CHECKED	R.K.
----------------	------

DATE	08/06/2015
-------------	------------

REVISED DATE	05/22/2017
---------------------	------------

JOB NO.	15-1671
----------------	---------

SHEET NO.

A-3.5-2

PROJECT NAME

676 Capp St - REAR
SAN FRANCISCO, CA



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

**Rear Bldg
Isometric Views**

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

DATE 08/06/2015

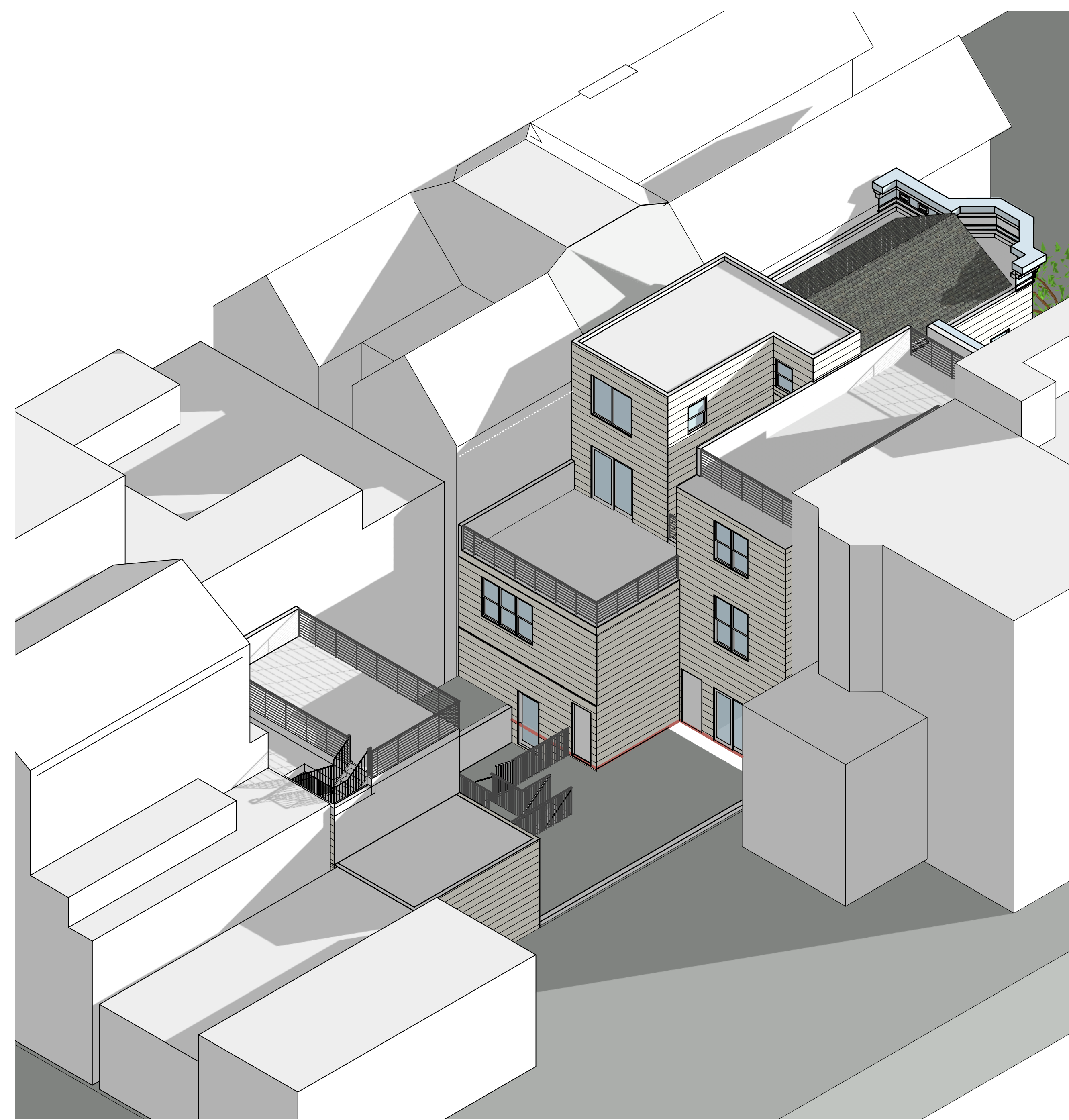
REVISED DATE 05/22/2017

JOB NO. 15-1671

SHEET NO.

A-3.5-3

A
B
C
D
E
F



	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED

PROJECT NAME

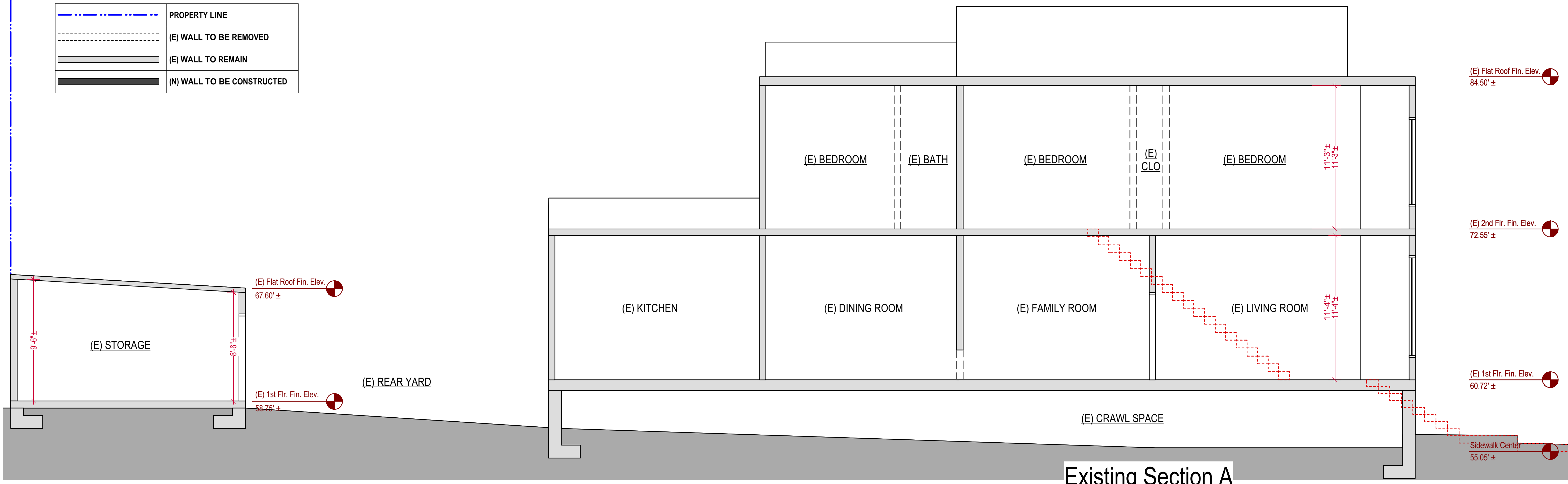
676 Capp St - FRONT
SAN FRANCISCO, CA



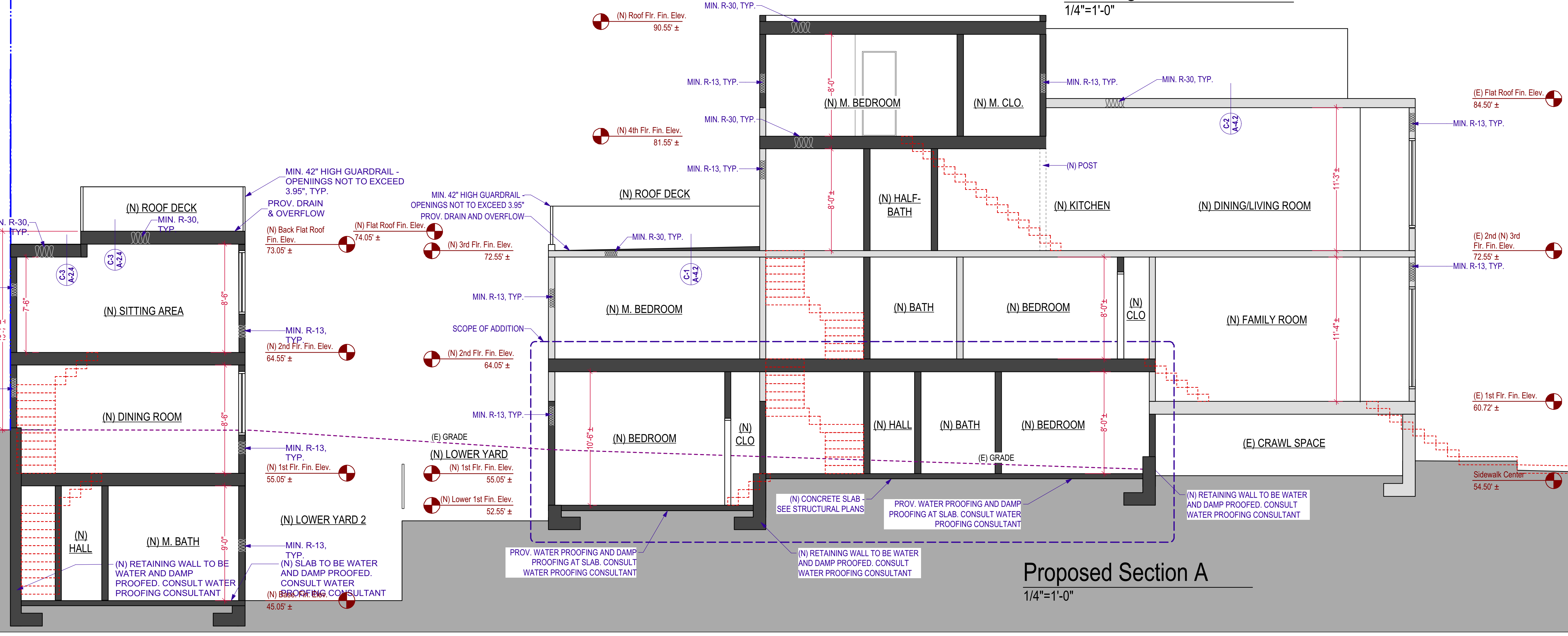
SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

SHEET TITLE

Section A



Existing Section A
1/4"=1'-0"



Proposed Section A
1/4"=1'-0"

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN	A.A
CHECKED	R.K.
DATE	08/06/2015
REVISED DATE	05/22/2017
JOB NO.	15-1671
SHEET NO.	A-4.1



SIA CONSULTING CORPORATION
1256 HOWARD STREET
SAN FRANCISCO CA 94103
TEL: (415) 741.1292
FAX: (415) 849.1252
WWW.SIACONSULT.COM

Section B

These documents are property of SIA CONSULTING and are not to be produced changed or copied without the expressed written consent of SIA CONSULTING ENGINEERS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

DRAWN A.A

CHECKED R.K.

DATE 08/06/2015

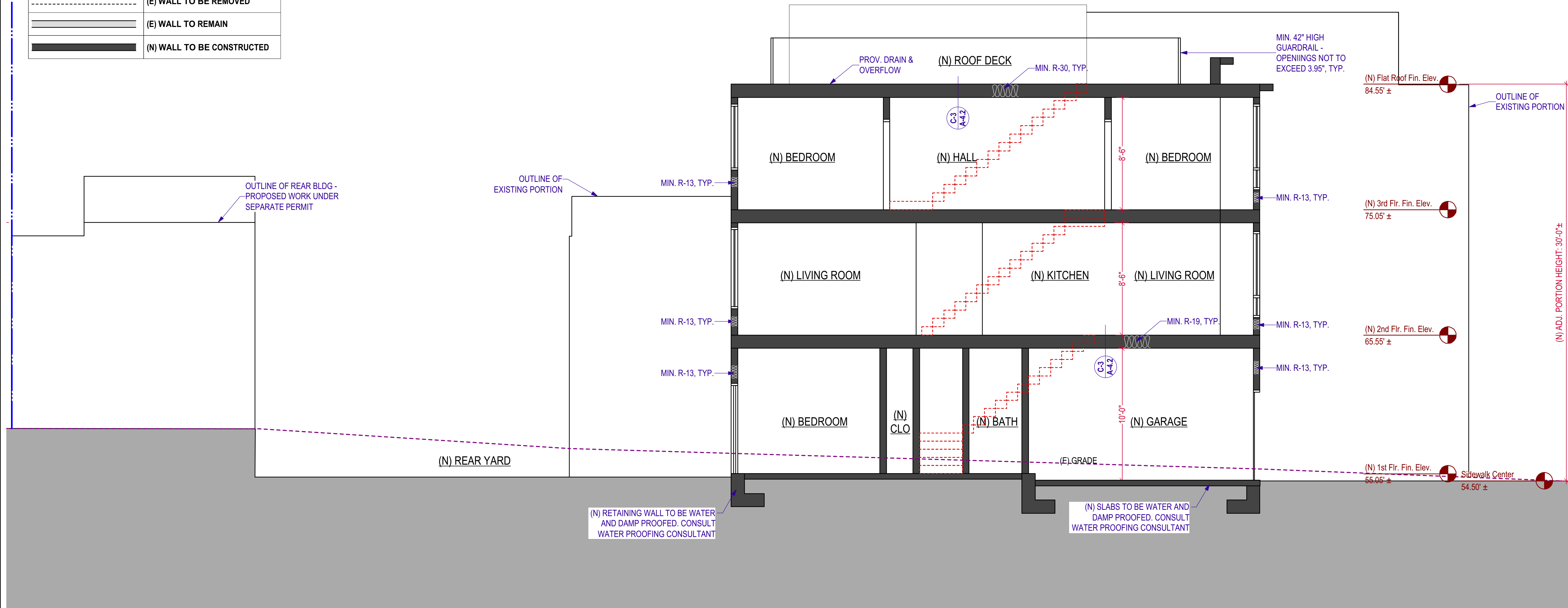
REVISED DATE 05/22/2017

JOB NO. 15-1671

SHEET NO.

A-4.2

	PROPERTY LINE
	(E) WALL TO BE REMOVED
	(E) WALL TO REMAIN
	(N) WALL TO BE CONSTRUCTED



Proposed Section B (Adjacent Portion)

1/4"=1'-0"