



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
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San Francisco,
CA 94103-2479

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Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 23, 2016**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 434-436 Waller Street	Case No.: 2015-012455VAR
Cross Street(s): Between Steiner St & Fillmore St	Building Permit: 2015.0429.4899
Block / Lot No.: 0860 / 011A	Applicant/Agent: Thayer Hopkins
Zoning District(s): RH-3 / 40-X	Telephone: 415-660-9870
Area Plan: None	E-Mail: thayer@thayerhopkins.com

PROJECT DESCRIPTION

The proposal includes the construction of new rear egress stairs with associated landings at each unit to replace the non-complying structurally deficient two-story stair that was fire-damaged in July 2011. It also includes the legalization of a change in roof line from a butterfly and shed roof to a flat roof (addition of building volume), on the existing non-complying portion of the existing two-story-over-basement two-family dwelling.

Per Planning Code Section 134, the subject property is required to maintain a rear yard of approximately 24.6 feet based upon the average depths of the adjacent buildings. The existing building is noncomplying and encroaches into the required rear yard by approximately 14 feet. The project proposes landings and stairs projecting approximately 6.5 feet from the rear building wall to within approximately 4-feet of the rear property line. The roofline alterations that expand the building volume occur within the last 8 feet of the building (approximately), intensifying the existing noncomplying structure. The proposed landings, stairs and roofline alteration are located within the required rear yard and require a variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Colin B. Clarke, AICP** Telephone: **415-575-9184** Mail: Colin.Clarke@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2015-012455VAR.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

VARIANCE APPLICATION FOR FIRE REPAIR/REMODEL

434 & 436 WALLER STREET SAN FRANCISCO, CA 94117



GENERAL NOTES

- All dimensions are to finish surfaces unless noted otherwise. Do not scale drawings.
- Discrepancies in dimension or layout should be brought to the attention of the Architect prior to proceeding.
- Construction shall conform to all applicable codes and ordinances.
- Contractor is responsible for removal of debris and for keeping space clean on a daily basis.
- Contractor shall schedule pre-construction meeting to review: paths of materials, access, scheduling, provisions for protection of existing surfaces, security arrangements, job phone and toilet facilities, and coordination with Owner.
- After preliminary demolition is completed, Contractor shall review location of concealed piping, utilities, and structure with Architect prior to proceeding if there are conflicts with proposed work.
- General Contractor shall coordinate with Owner's security company as necessary during construction and shall give sufficient notice for scheduling and coordination of security work.
- Contractor shall install foil-faced insulation to full depth of stud cavity at existing exterior walls exposed during construction. All insulating materials shall conform to the requirements of Title 24 California Energy Code and C.E.C. listings.
- General Contractor shall coordinate scheduling of work with Owner and Building Manager during construction.
- General Contractor and Plumbing Subcontractor shall review water supply system with Owner and Architect after demolition to ascertain extent of required upgrade work.
- General Contractor and Electrical Subcontractor shall review existing electrical system including capacity of main supply. All upgrade work shall be identified and included in the Scope of Work and in the Construction Cost.
- Layout plan in field and set down plates without fastening or lightly tacked down. Schedule meeting with Owner and Architect to review dimensions prior to construction.
- All electrical work to conform to Title 24 California Energy Code requirements.
- All work shall be done Monday through Friday, between the hours of 10:00 am and 4:00pm, legal holidays excluded.
- Refer to Apartment Alteration Agreement for additional building requirements and good practice. A copy of said document must be present on site at all times for reference. It is the General Contractors responsibility to make sure their employees and all subcontractors adhere to the rules and regulations set forth by the building management.

PROJECT DESCRIPTION

Construct new single-story rear egress stair, approximately 3'-9" above grade, and a two-story rear egress spiral metal stair (stairs and decks shifted east from the pre-fire western location and the location previously approved under Building Permit Application #2012.0711.4598), with associated landings at each unit plus footing, to replace the noncomplying structurally deficient two-story wood stair severely damaged by fire in July 2011.

The project also includes legalization of a change in roof line (addition of building volume) from the prior shed roof to a flat roof within the required (25%) rear yard, a maximum change of 1'-2" at the rear façade tapering to 0 over 7'-1" horizontal distance with no additional height overall for the existing two-story-over-garage two-family dwelling, previously constructed under Building Permit Application #2012.0711.4598.

APPLICABLE CODE SUMMARY

2013 California Building Code
2013 California Electrical Code
2013 California Energy Code
2013 California Plumbing Code
2013 California Mechanical Code
2013 San Francisco Code Amendments

INDEX

PRIOR ENGINEER DRAWINGS

W001 PRIOR ENGINEER DRAWINGS - BPA 2012.07.11.4598
W002 PRIOR ENGINEER DRAWINGS - BPA 2012.07.11.4598
W003 PRIOR ENGINEER DRAWINGS - BPA 2012.07.11.4598
W004 PRIOR ENGINEER DRAWINGS - BPA 2012.07.11.4598
W005 PRIOR ENGINEER DRAWINGS - BPA 2012.07.11.4598
W006 PRIOR ENGINEER DRAWINGS - BPA 2012.07.11.4598

ARCHITECTURAL

A001 COVER SHEET
A101 SITE PLANS
A102 SITE PLANS
A201 FLOOR PLANS
A202 FLOOR PLANS
A203 ENLARGED FLOOR PLANS
A210 ROOF PLANS
A301 NORTH EXTERIOR ELEVATIONS
A302 NORTH EXTERIOR ELEVATIONS
A303 NORTH EXTERIOR ELEVATIONS
A305 EAST ELEVATION
A306 WEST ELEVATION
A401 BUILDING SECTIONS
A910 PHOTO LOCATION KEY
A911 PHOTOS
A912 PHOTOS

STRUCTURAL

S0.1 GENERAL NOTES & TYPICAL DETAILS
S2.1 FLOOR PLANS
S4.1 DETAILS

PROJECT DIRECTORY

OWNER OF RECORD
Gail Schmitt & Tom Drohan
436 Waller Street
San Francisco, CA 94117

ARCHITECT
Thayer Hopkins Architects
Contact: Thayer Hopkins
300 Montgomery Street, Suite 860
San Francisco, CA 94104
tel: 415.660-9870
email: thayer@thayerhopkins.com

PROJECT INFORMATION

BLOCK: 0860
LOT: 011A
PARCEL AREA: 1,931.25 SF
UNITS: 2 (2 Stories Over Basement)
ZONING: RH-3

PRE FIRE SQUARE FOOTAGE	3788 SQUARE FEET
CURRENT SQUARE FOOTAGE	3788 SQUARE FEET
PROPOSED SQUARE FOOTAGE	3788 SQUARE FEET

ARCHITECTURAL MATERIALS AND SYMBOLS LEGEND

	GRID		REVISION
	NORTH ARROW		PLUMBING FIXTURE / ACCESSORY
	DATUM LINE		WALL, FLOOR, CEILING FINISH NOTE
	BUILDING SECTION / ELEVATION		PROPERTY LINE
	WALL SECTION / ELEVATION		SLOPE
	DETAIL OR ENLARGED PLAN WITH TAG MARK		LEVEL MARK
	ENLARGED DRAWING		CENTER LINE
	ELEVATION TAGS		INSULATION / ACOUSTIC TILE OR BOARD
	WINDOW NUMBER		BRICK
	DOOR NUMBER		CERAMIC TILE
	KEYED SHEET NOTES		CONCRETE
			EARTH
			GLASS
			GYPSPUM BOARD

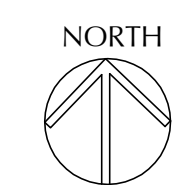
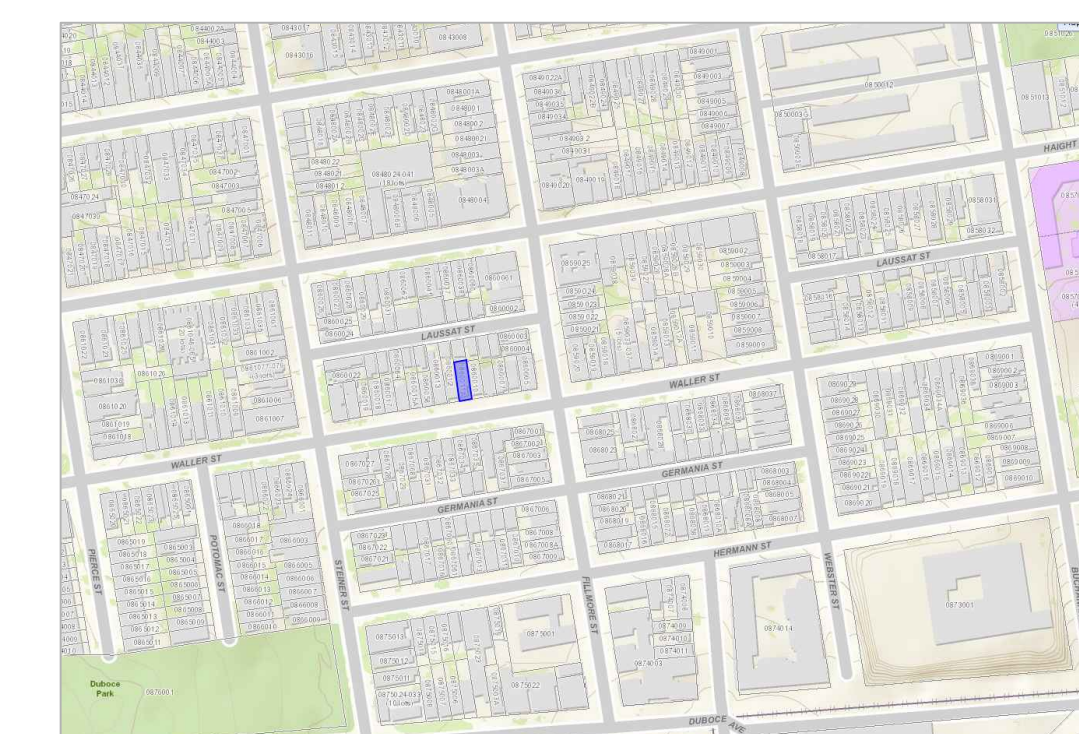
ARCHITECTURAL ABBREVIATIONS

A/C	AIR CONDITIONING	DBL	DOUBLE	GA	GAUGE
AB	ANCHOR BOLT	DEPT	DEPARTMENT	GALV	GALVANIZED
AD	AREA DRAIN	DIA	DIAMETER	GSM	GALVANIZED SHEET METAL
AFF	ABOVE FINISHED FLOOR	DIAG	DIAGONAL	GYP	GYPSPUM
AL	ALUMINUM	DM	DIMENSION	GYPBD	GYPSPUM BOARD
ALT	ALTER OR ALTERNATE	DN	DOWN	HC	HANDICAPPED
AND	AND/IZED	DR	DOOR	HORIZ	HORIZONTAL
APROX	APPROXIMATE	DS	DOWNPOUT	INT	INTERIOR
ARCH	ARCHITECTURAL	DSP	DRY STANDPIPE	JC	JANITOR'S CLOSET
ASPH	ASPHALT	DTL	DETAIL	MISC	MISCELLANEOUS
BD	BOARD	DWG	DRAWING	NTS	NOT TO SCALE
BETW	BETWEEN	EACH	EACH	OFD	OVERFLOW DRAIN
BLK	BLOCK	ECCB	EXTERIOR GYPSPUM CEILING BOARD	OS	OVERFLOW SCUPPER
BLDG	BUILDING	EJ	EXPANSION JOINT	OPND	OPENING
BLKG	BLOCKING	EL	ELEVATION	OPNG	OPENING
BM	BEAM	EMER	EMERGENCY	PT	POINT
BENT	BASEMENT	EOS	EDGE OF SLAB	R	RADIUS
CB	CATCH BASIN	EP	ELECTRIC PANELBOARD	REIN	REINFORCED OR REINFORCING
CBB	CEMENTITIOUS BACKER BOARD	EXP	EXPANSION	RO	ROUGH OPENING
CEM	CEMENT	EXT	EXTERIOR	SCHED	SCHEDULE
CER	CERAMIC	FIN	FINISH	SUNT	SEALANT
CJ	CONTROL JOINT	FIXT	FIXTURE	SSD	SEE STRUCTURAL DRAWING
CLS	CEILING	FD	FLOOR DRAIN	STRUC	STRUCTURE OR STRUCTURAL
CMU	CONCRETE MASONRY UNIT	FLR	FLOOR	TD	TRENCH DRAIN
CL	COLUMN	FND	FOUNDATION	TO	TOP OF
COMP	COMPARTMENT	FO	FACE OF	TOC	TOP OF CURB
CONC	CONCRETE	FC	FACE OF CONCRETE	TOS	TOP OF SLAB
CONT	CONTINUOUS	FF	FACE OF FINISH	TYP	TYPICAL
COORD	COORDINATE	FM	FACE OF MASONRY	UN	UNLESS OTHERWISE NOTED
CORR	CORRIDOR	FOS	FACE OF STUDS	VF	VERIFY IN FIELD
CT	CERAMIC TILE	FT	FOOT OR FEET	WPN	WINDOW
CTR	CENTER	FLRR	FLOORING OR FURRED		

DRAWING ISSUES

ORIGINAL PERMIT APPLICATION 201109285654	SEPTEMBER 28, 2011
PERMIT DRAWING REVISION/ADDENDUM 201207114598	JULY 11, 2012
PERMIT ADDENDUM	JUNE 19, 2013
PERMIT ADDENDUM	AUGUST 26, 2013
VARIANCE APPLICATION	APRIL 28, 2015

VICINITY MAP



AVN 0860 | 011A

RENOVATION TO
434/436 WALLER STREET
SAN FRANCISCO, CA 94117

Drawing Issue / Date

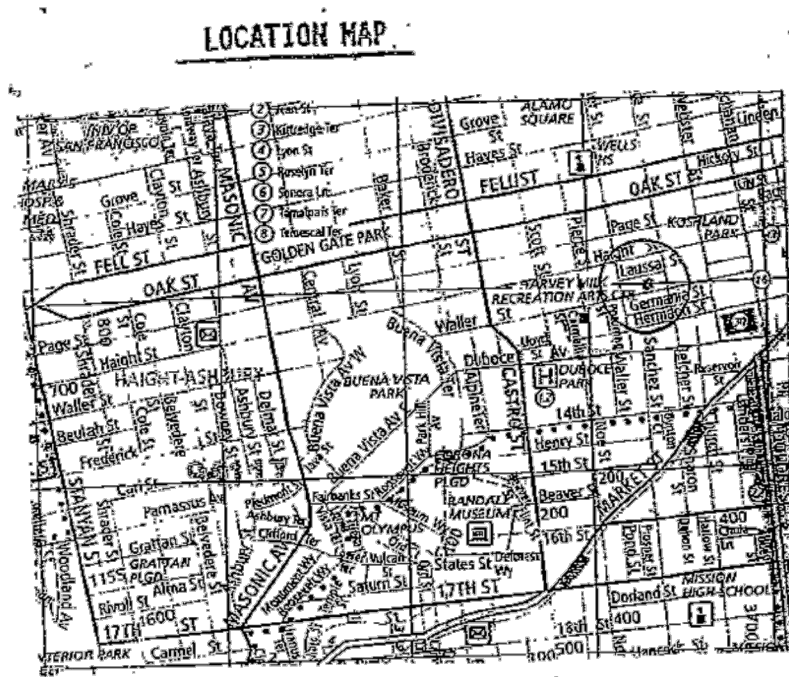
VARIANCE APPLICATION
SEPTEMBER 9, 2015
UPDATE
MARCH 2, 2016

PERMIT ADDENDUM
JUNE 19, 2013
PERMIT ADDENDUM
AUGUST 26, 2013
VARIANCE APPLICATION
APRIL 28, 2015

Drawing Title

COVER
SHEET
Scale AS NOTED
Drawn By TNS
Drawing Number

A001



DRAWING INDEX

1. General Notes
2. Existing Site Plan
3. Proposed Site Plan
4. Proposed Rear Elevation
5. Existing 1st Floor
6. Proposed 1st Floor
7. Existing 2nd Floor
8. Proposed 2nd Floor
9. Existing 3rd Floor
10. Proposed 3rd Floor
11. Existing Roof
12. Proposed Roof



GENERAL NOTES

1. All construction shall conform to 2010 California Building Code and City of San Francisco Building Code requirements
2. Design and placement of concrete shall be in accordance with the American Concrete Institute Code AC1318
3. All conditions and dimensions to be verified in the field by the contractor prior to commencement of work.
4. Contractor shall provide all necessary shoring / protection during construction.
5. Structural Steel A36 Fy = 36,000 psi, A50 Fg = 50,000
6. Reinforcing steel to be ASTM 69, Grade 60.
7. Concrete Fc = 2500 psi.
8. Lumber D.F # 1 Fb = 1000 psi, Fv = 95 psi
9. All hardware and nails in contact with pressure treated material shall be zinc coated hot dipped galvanized or stainless steel.
10. Construction inspection shall be carried out by a registered Engineer and a City Building official.
11. Construction Occupancy Use - Residential Duplex

SCOPE OF WORK

- * 1. Interior Remodel (2 units)
2. Install Roof Deck At Rear Of Building & Re-Model Rear Stairs

* REMOVE INTERIOR STAIRS LOWER UNIT TO GARAGE - ADD STORAGE IN GARAGE.
RE-CONFIGURE KITCHEN/LAUNDRY AREAS - UPPER & LOWER UNIT.

TO COMPLY TO NOV 2012 38041
4 REVISION TO PLAN # 201109285654
4 PLAN # 2012-04-25-9086

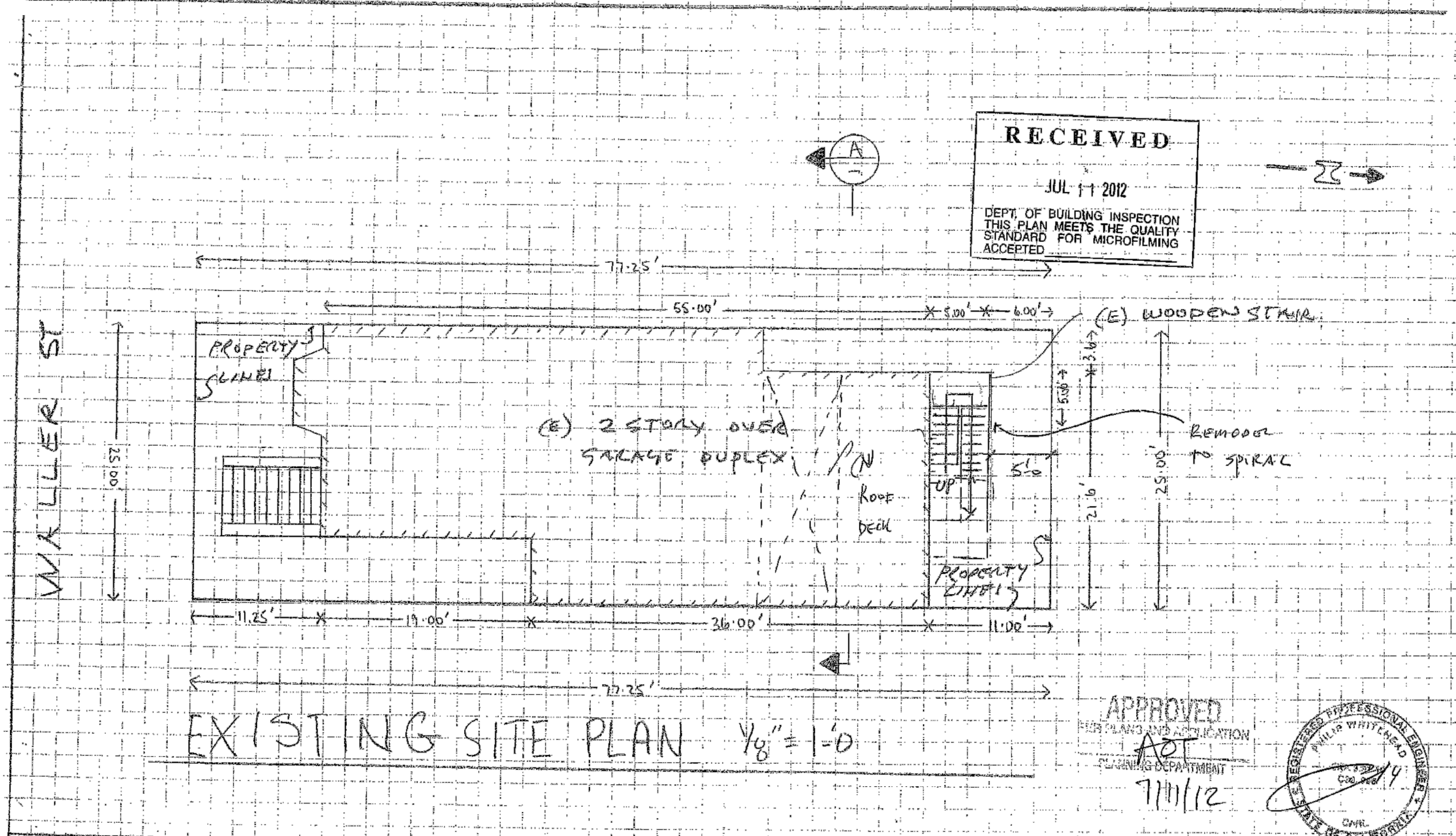
Route any changes in Building dimensions, Exterior Materials, Window Location, Size or Material, or Use to Planning Department for reapproval.



SYMBOLS

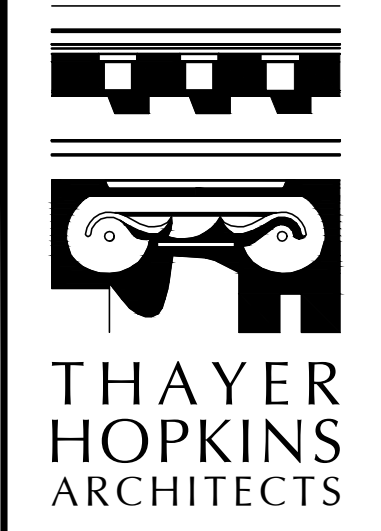
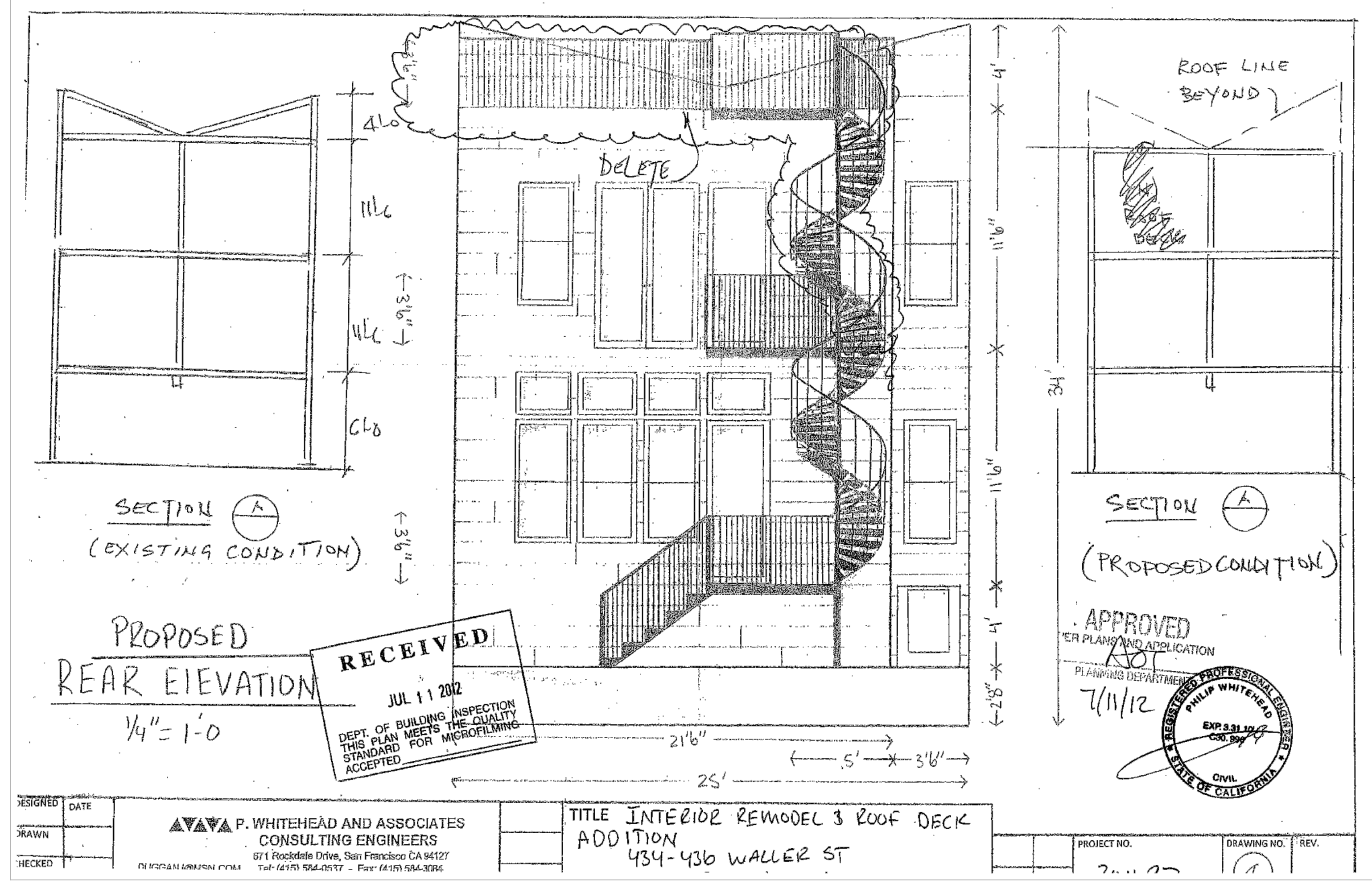
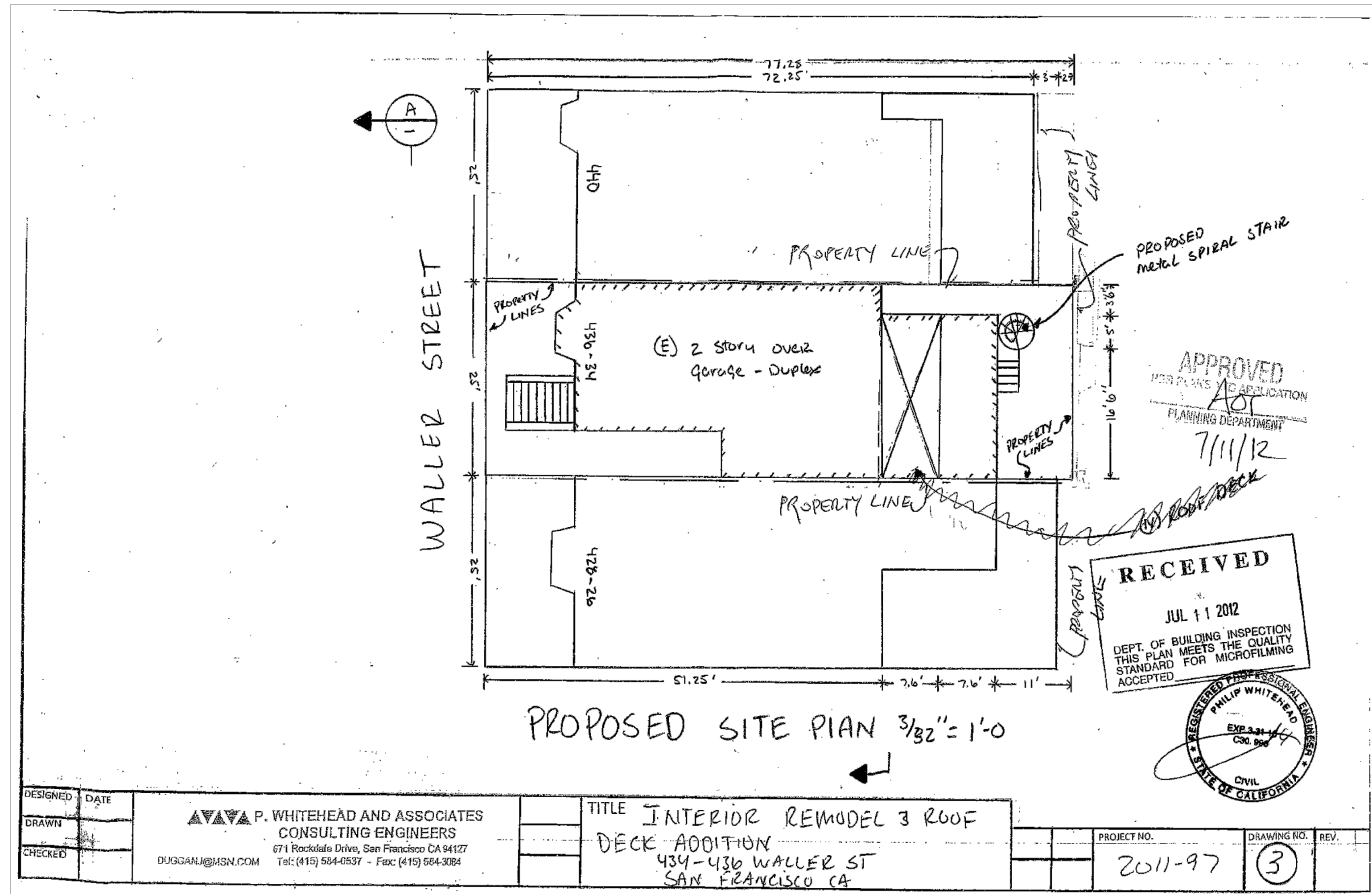
- SECTION/DETAIL (A) SECTION/DETAIL NUMBER
- SECTION/DETAIL (B) DRAWING WHERE SECTION/DETAIL IS LOCATED OR DRAWING ON WHICH SECTION IS CUT.
- SECTION/DETAIL (C) SECTION/DETAIL LOCATED ON SAME DRAWING

DESIGNED	DATE	P. WHITEHEAD AND ASSOCIATES CONSULTING ENGINEERS 671 Rockdale Drive, San Francisco CA 94127 Tel: (415) 584-0537 - Fax: (415) 584-3064	TITLE Interior REMODEL & ROOF DECK ADDITION 434-436 WALLER ST. SAN FRANCISCO CA	PROJECT NO.	2011-97	DRAWING NO.	1	REV.	
DRAWN									
CHECKED									



DESIGNED	DATE	P. WHITEHEAD AND ASSOCIATES CONSULTING ENGINEERS 671 Rockdale Drive, San Francisco CA 94127 Tel: (415) 584-0537 - Fax: (415) 584-3064	TITLE Interior REMODEL & ROOF DECK ADDITION 434-436 WALLER ST. SAN FRANCISCO CA	PROJECT NO.	2011-97	DRAWING NO.	2	REV.	
DRAWN									
CHECKED									





300 MONTGOMERY STREET
SAN FRANCISCO
CALIFORNIA
94104
TEL: 415-660-9870



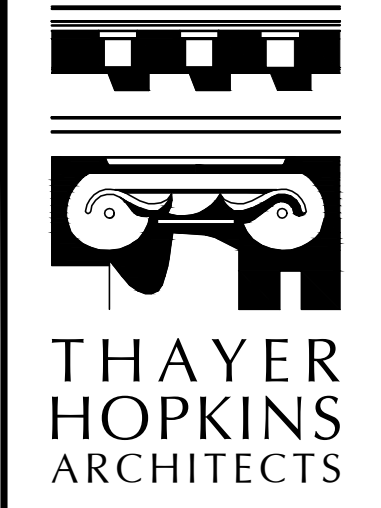
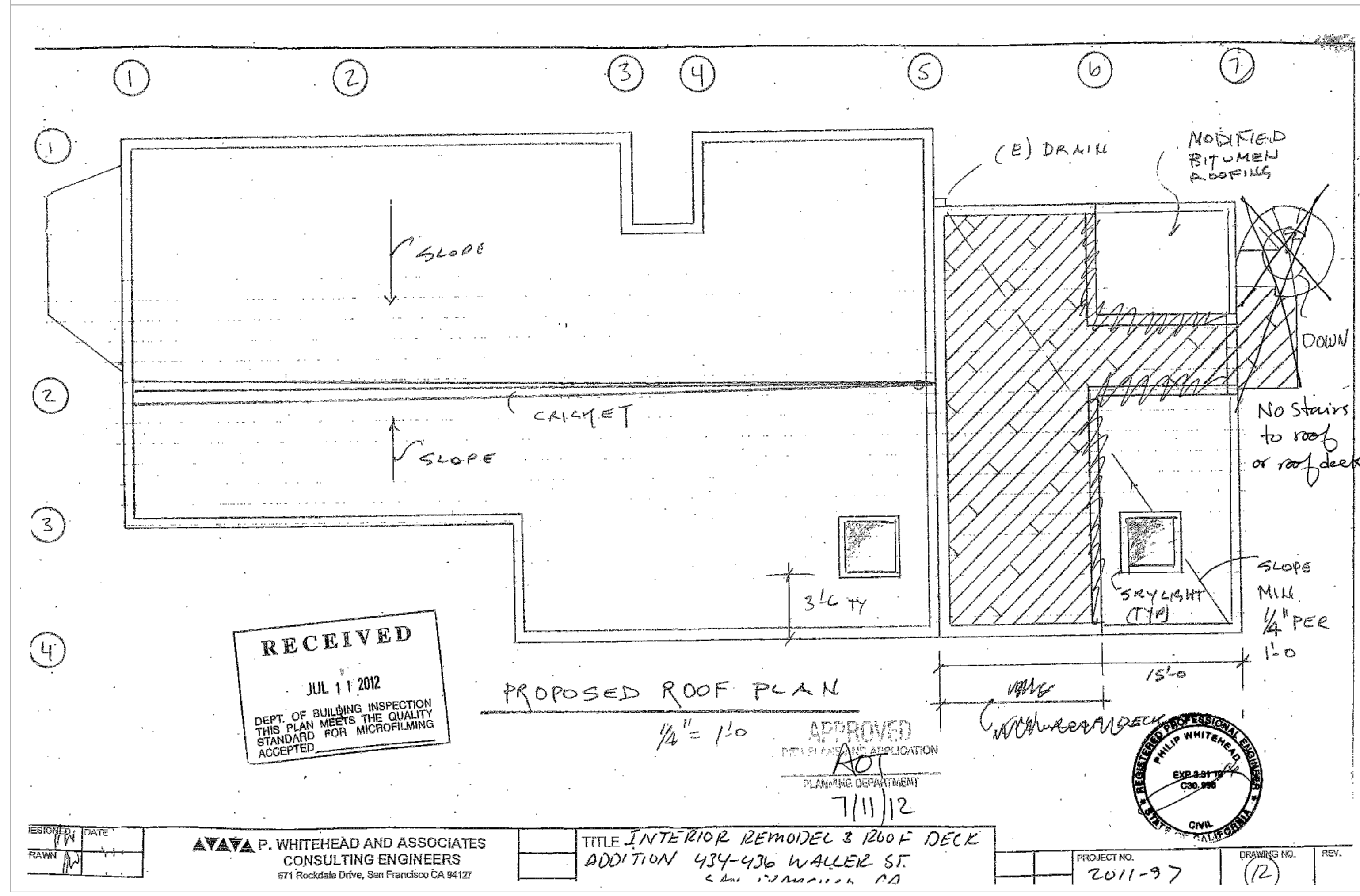
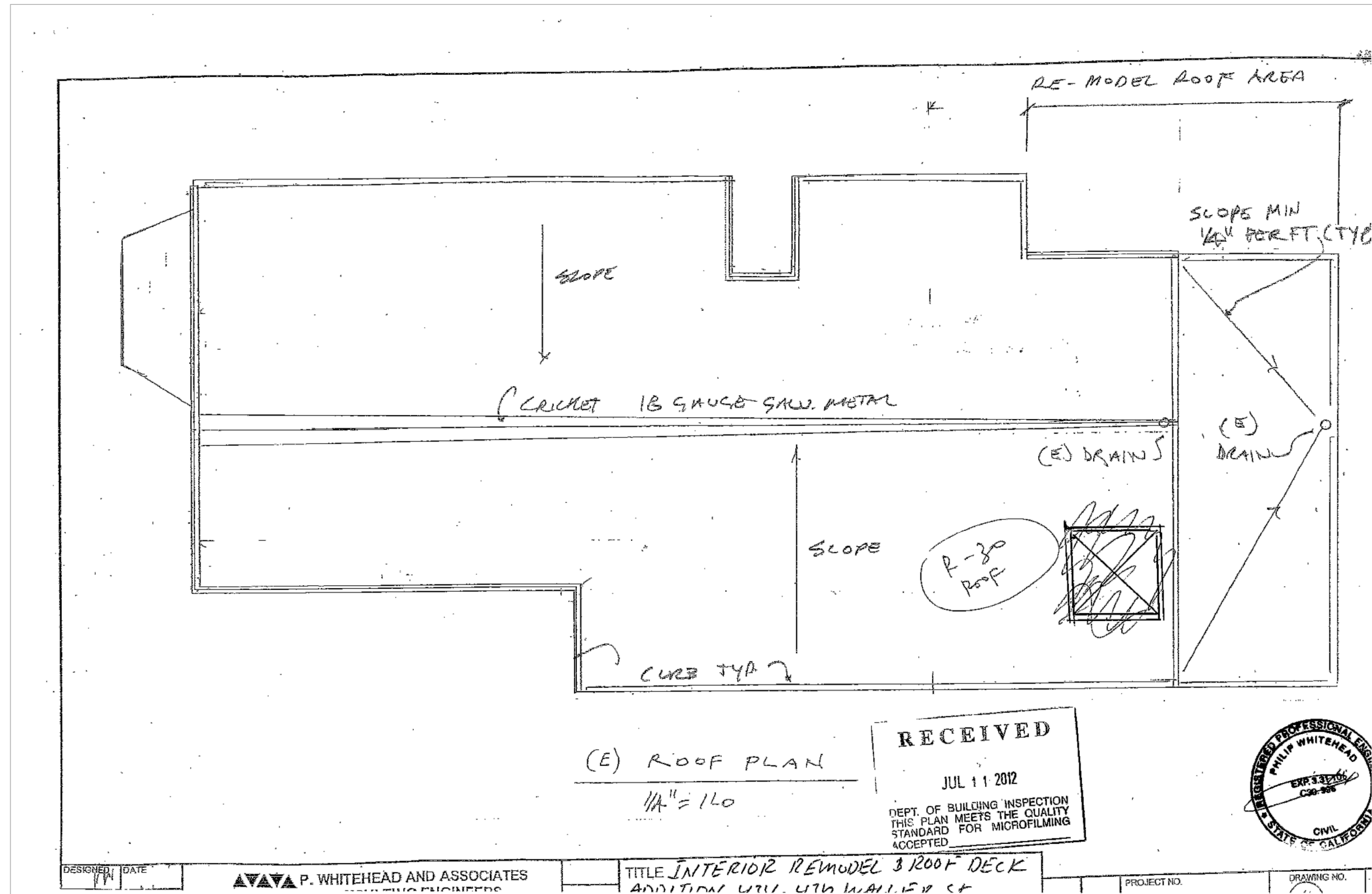
APN 0860 | 011A

RENOVATION TO
434/436 WALLER STREET
SAN FRANCISCO, CA 94117

Drawing Issue / Date
ISSUE
FEBRUARY 23, 2016

Drawing Title
PRIOR
ENGINEER SET
Scale NONE
Drawn By BA
Drawing Number

W002



THAYER HOPKINS ARCHITECTS
 300 MONTGOMERY STREET
 SAN FRANCISCO
 CALIFORNIA
 94104
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APN 0860 | 011A

RENOVATION TO
 434/436 WALLER STREET
 SAN FRANCISCO, CA 94117

Drawing Issue / Date

ISSUE
 FEBRUARY 23, 2016

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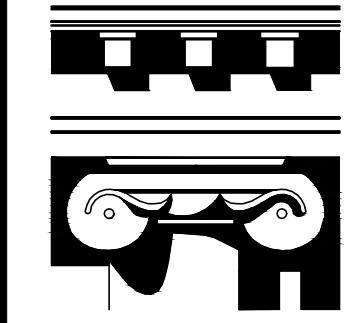
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Drawing Number

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THAYER HOPKINS ARCHITECTS

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SAN FRANCISCO
CALIFORNIA
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APN 0860 | 011A

RENOVATION TO
434/436 WALLER STREET
SAN FRANCISCO, CA 94117

Drawing Issue / Date

UPDATE
MARCH 2, 2016

Drawing Title

SITE
PLANS

Scale AS NOTED

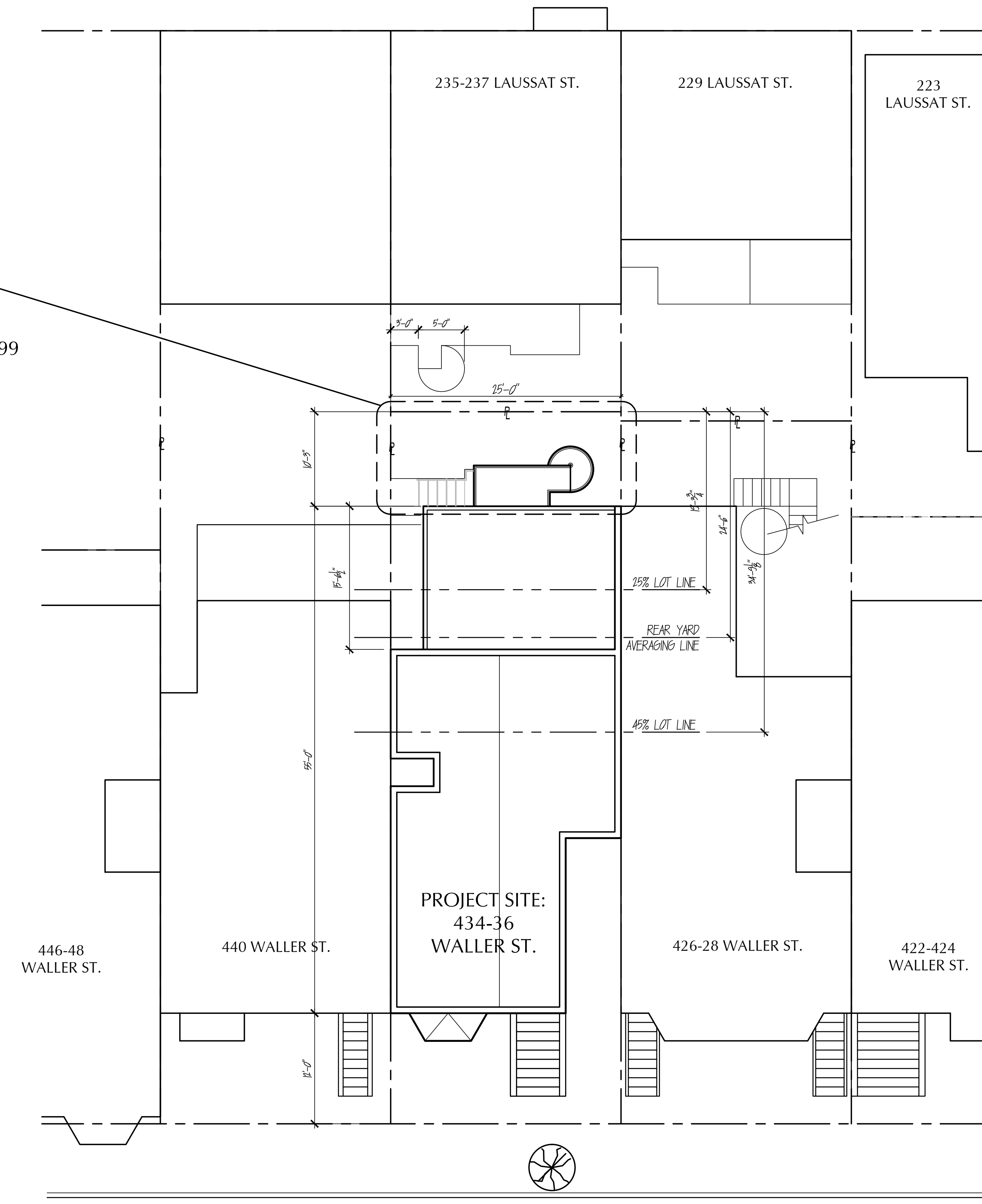
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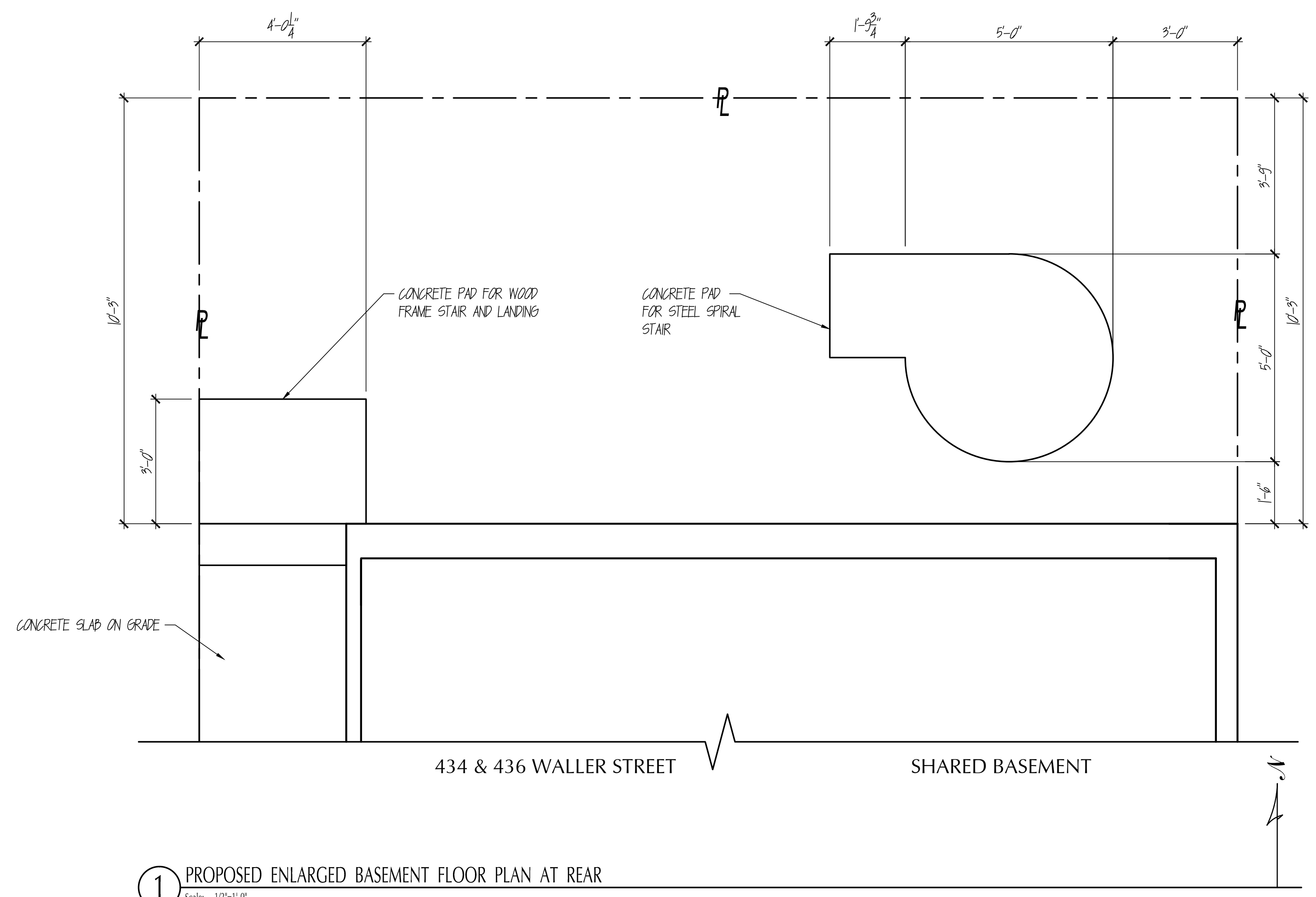
LAUSSAT STREET

PROPOSED
AREA OF
WORK
BPA-2015.0429.4899

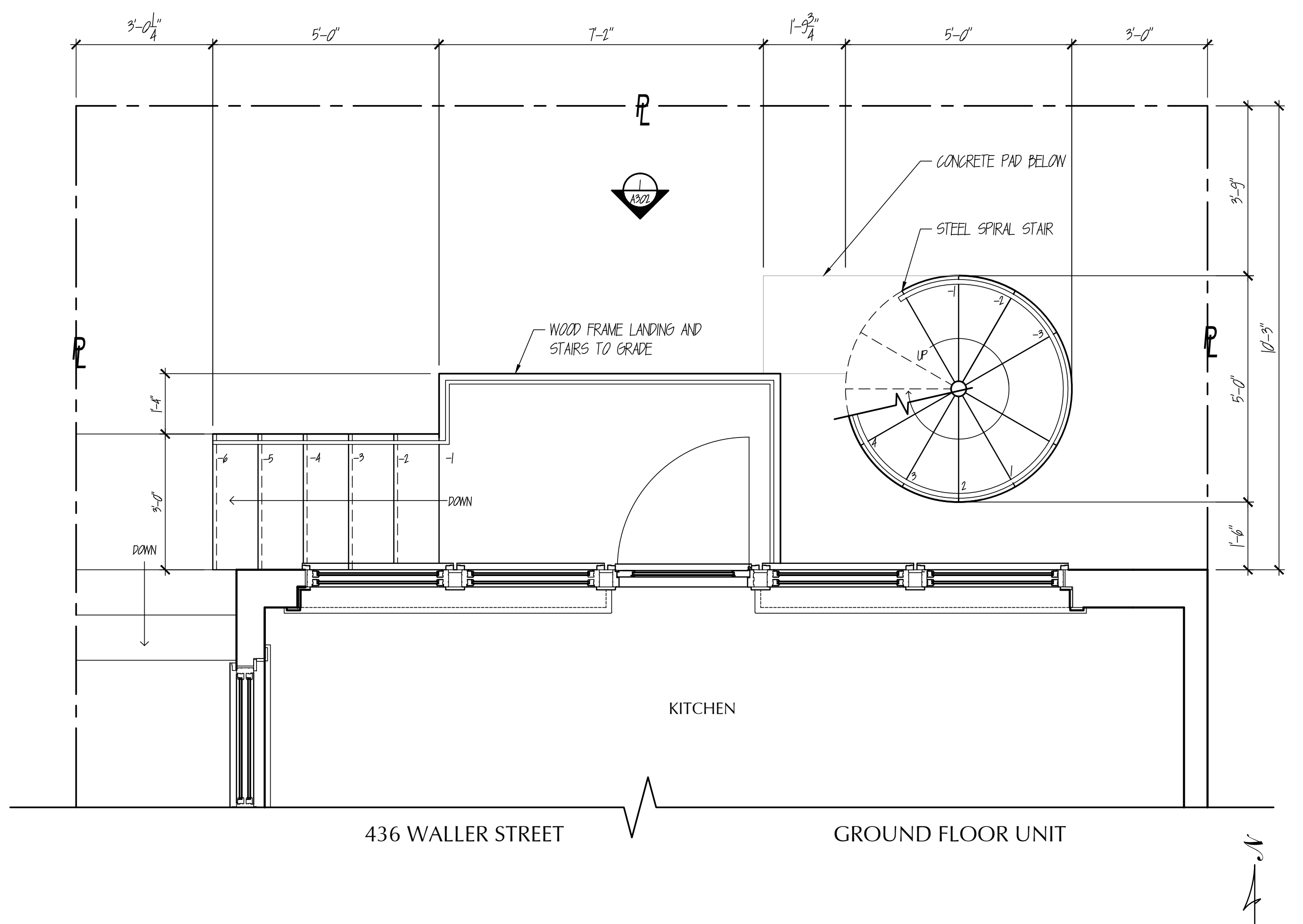


WALLER STREET

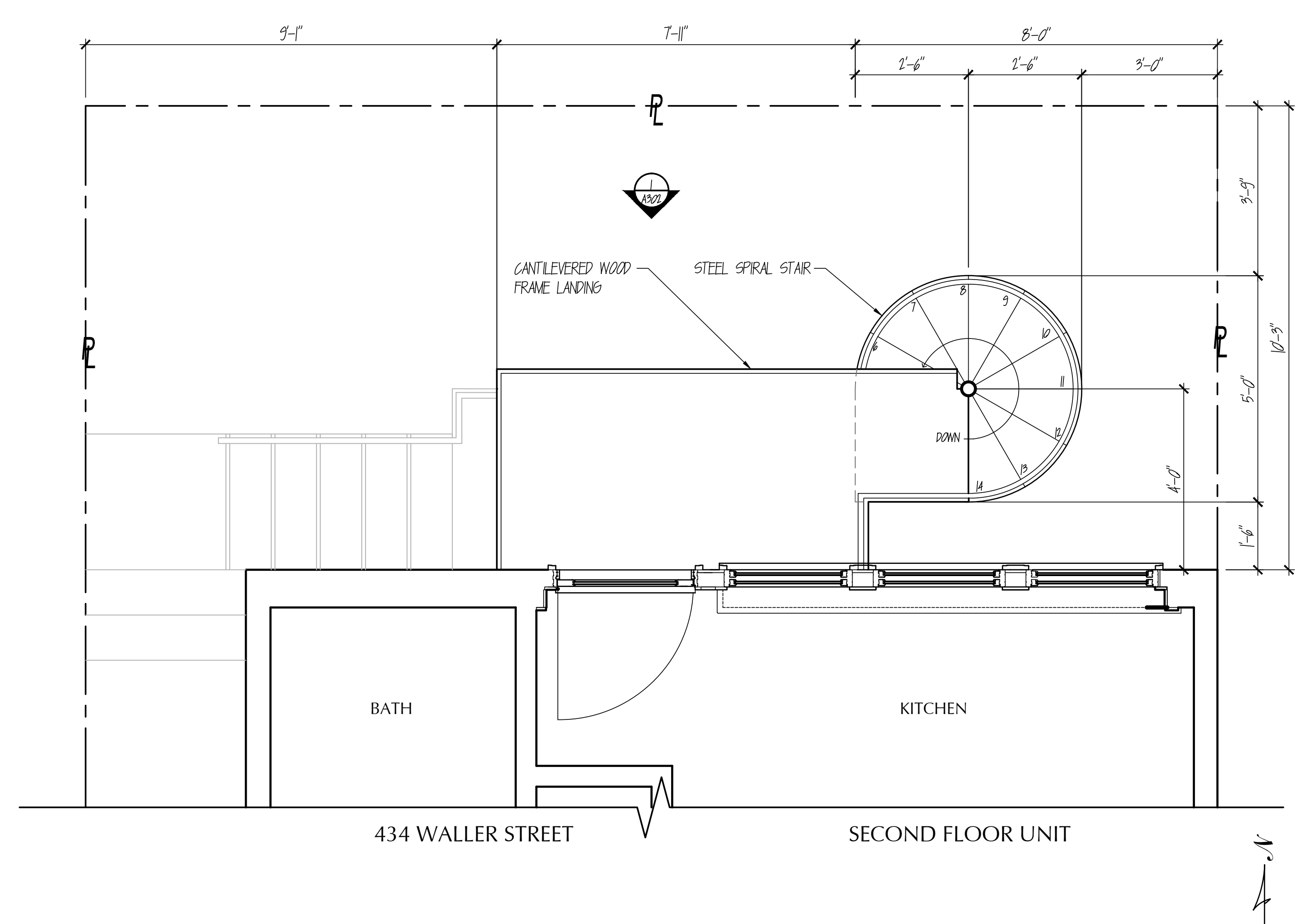
1 PROPOSED SITE PLAN
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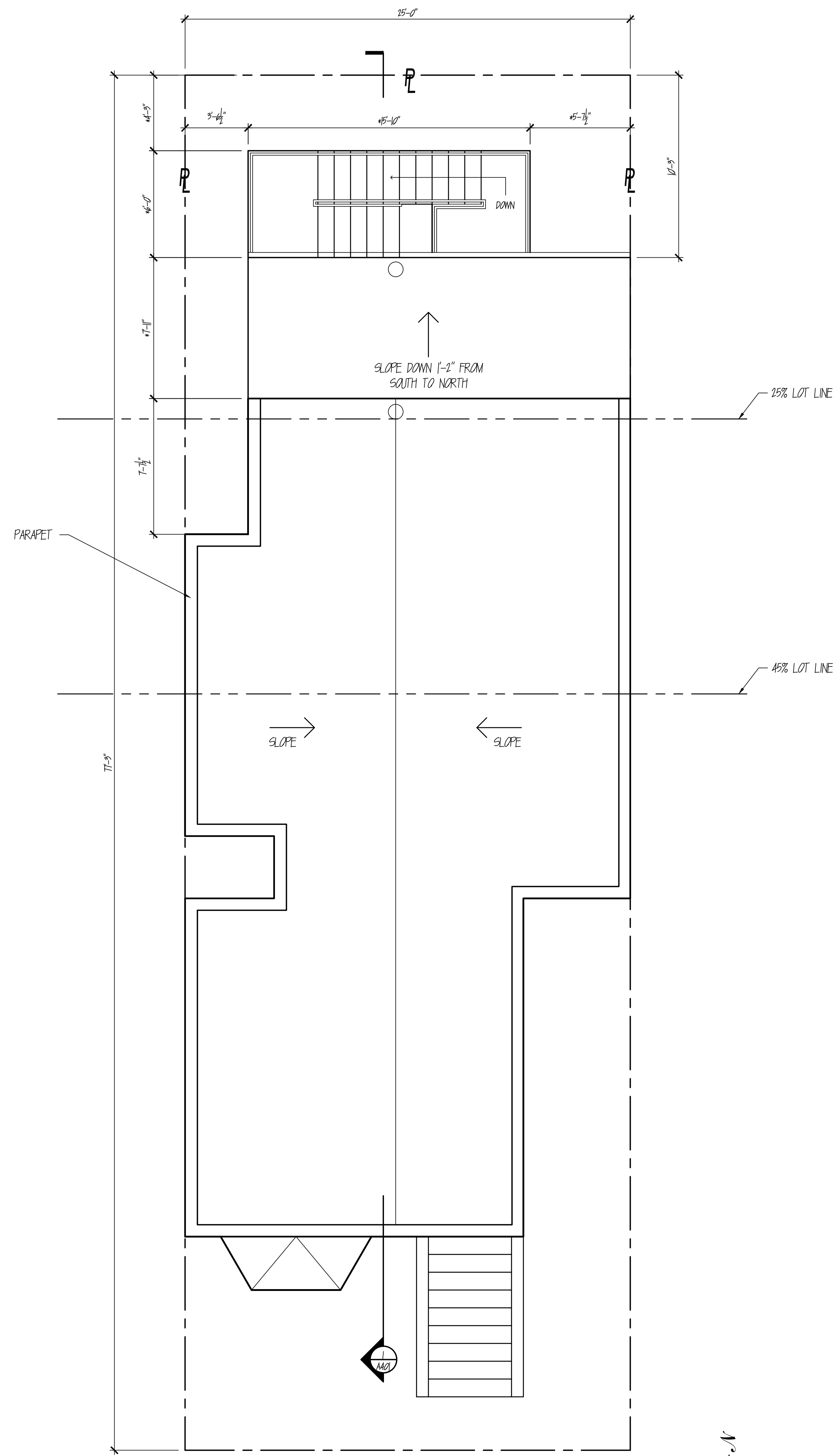
1 PROPOSED ENLARGED BASEMENT FLOOR PLAN AT REAR
Scale: 1/2"=1'-0"



2 PROPOSED ENLARGED GROUND FLOOR PLAN AT REAR
Scale: 1/2"=1'-0"



3 PROPOSED ENLARGED SECOND LEVEL FLOOR PLAN AT REAR
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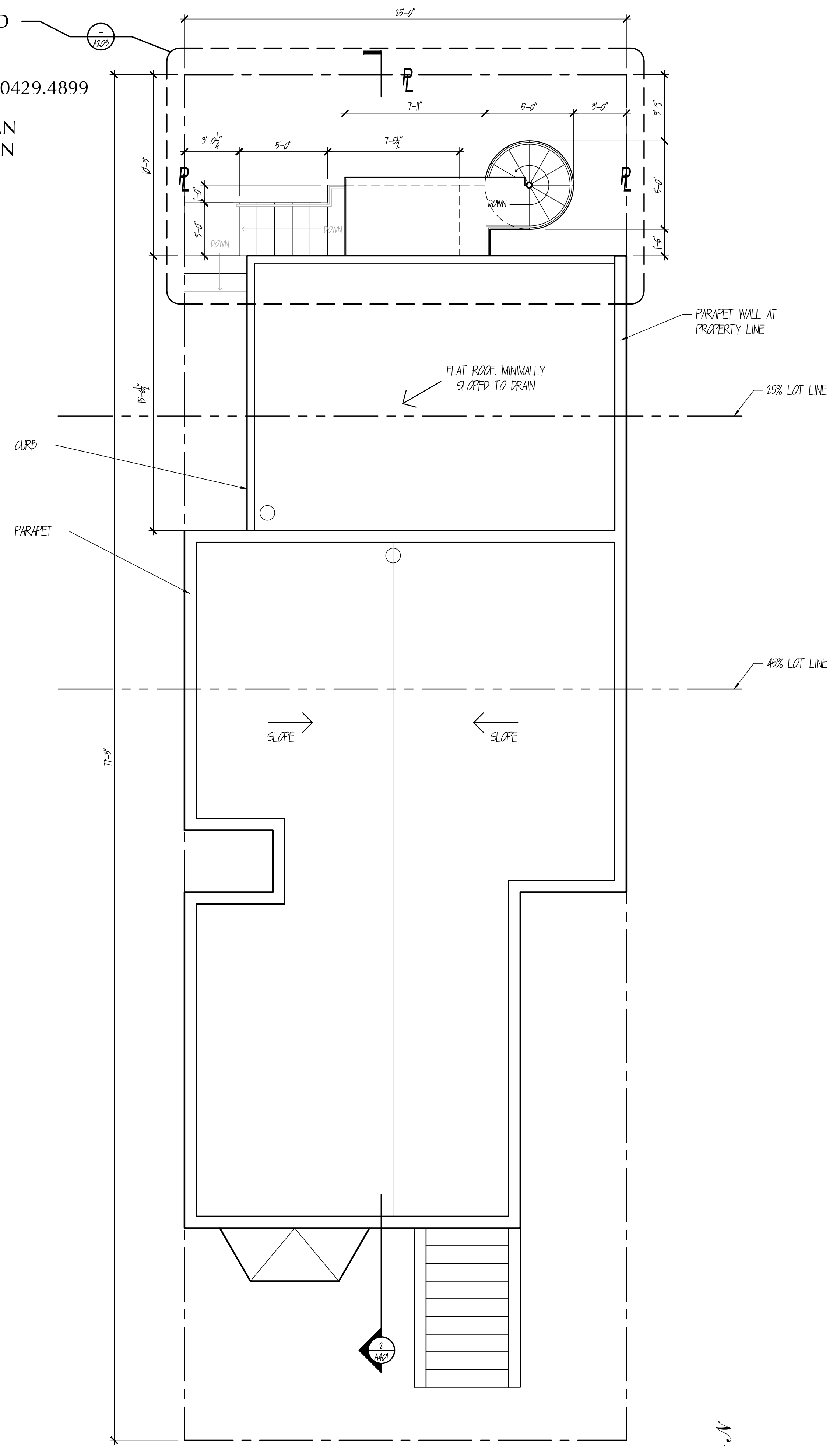


1 PRE-FIRE ROOF PLAN
Scale: 1/4"=1'-0"

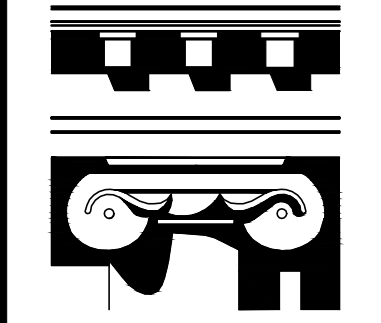
* : DIMENSIONS ARE APPROXIMATE -
PRE-FIRE RECORDS DO NOT EXIST

PROPOSED
AREA OF
WORK
BPA-2015.0429.4899

ROOF PLAN
TO REMAIN
AS IS

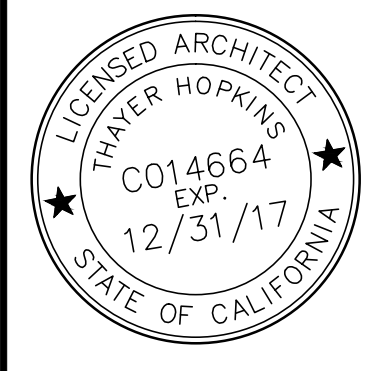


2 CURRENT ROOF PLAN WITH PROPOSED REAR STAIRS
Scale: 1/4"=1'-0"



THAYER
HOPKINS
ARCHITECTS

300 MONTGOMERY STREET
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TEL: 415-660-9870



APN 0860 | 011A

RENOVATION TO
434/436 WALLER STREET
SAN FRANCISCO, CA 94117

Drawing Issue / Date

UPDATE
FEBRUARY 29, 2016

Drawing Title

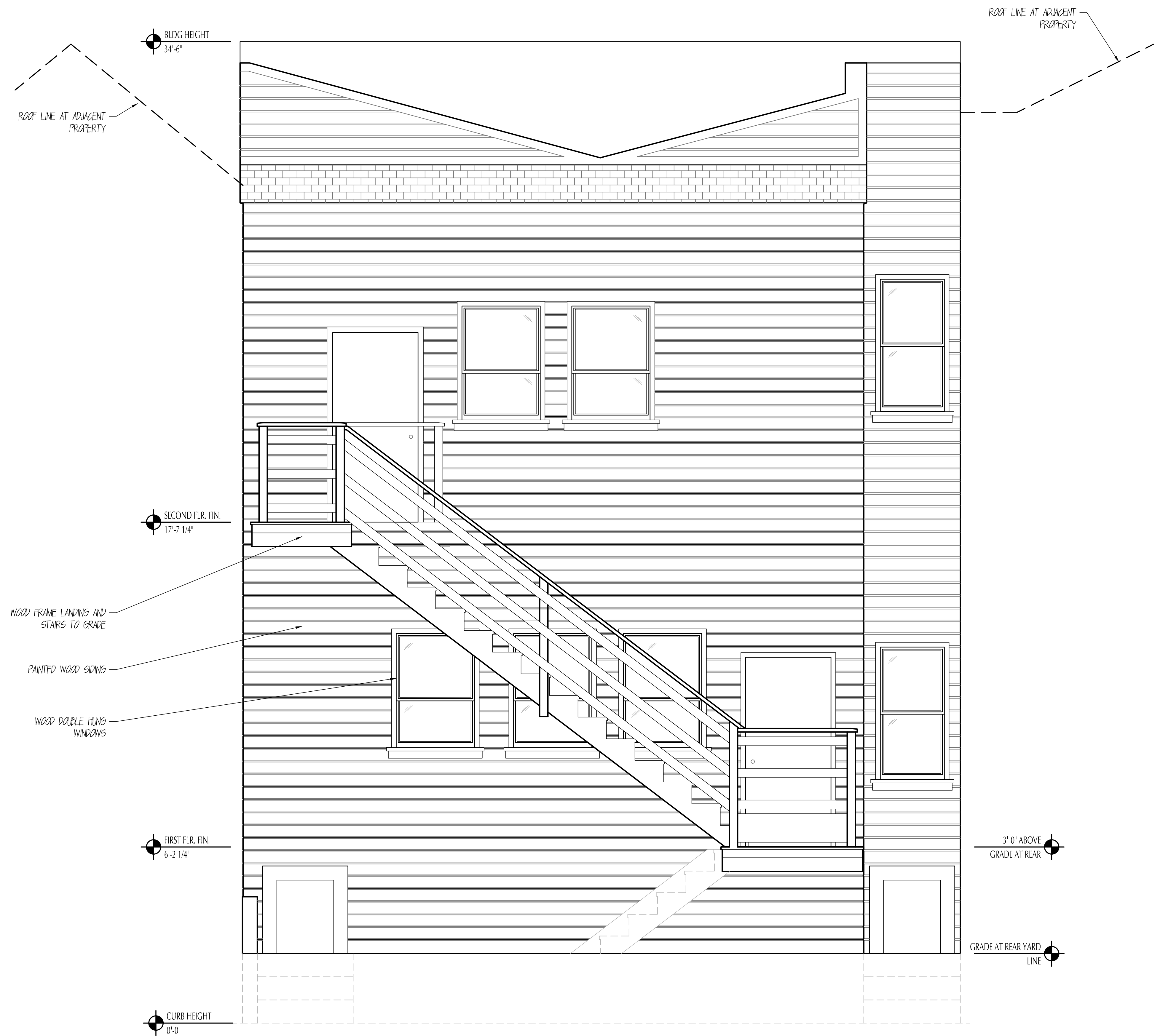
ROOF
PLANS

Scale AS NOTED

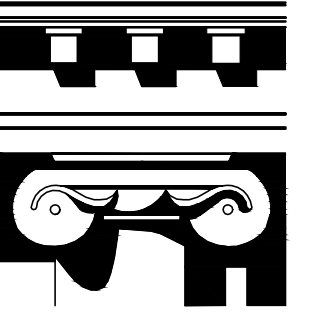
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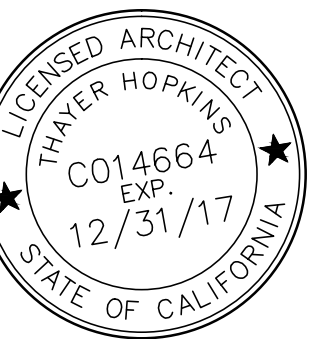


1 PRE-FIRE NORTH ELEVATION
Scale: 1/2"=1'-0"



THAYER
HOPKINS
ARCHITECTS

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94104
TEL: 415-660-9870



APN 0860 | 011A

RENOVATION TO
434/436 WALLER STREET
SAN FRANCISCO, CA 94117

Drawing Issue / Date

UPDATE
FEBRUARY 29, 2016

Drawing Title

EXTERIOR
ELEVATIONS

Scale AS NOTED

Drawn By BA

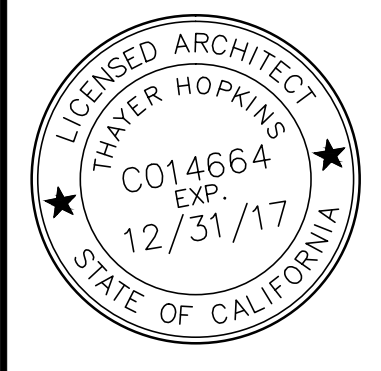
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THAYER HOPKINS ARCHITECTS

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APN 0860 | 011A

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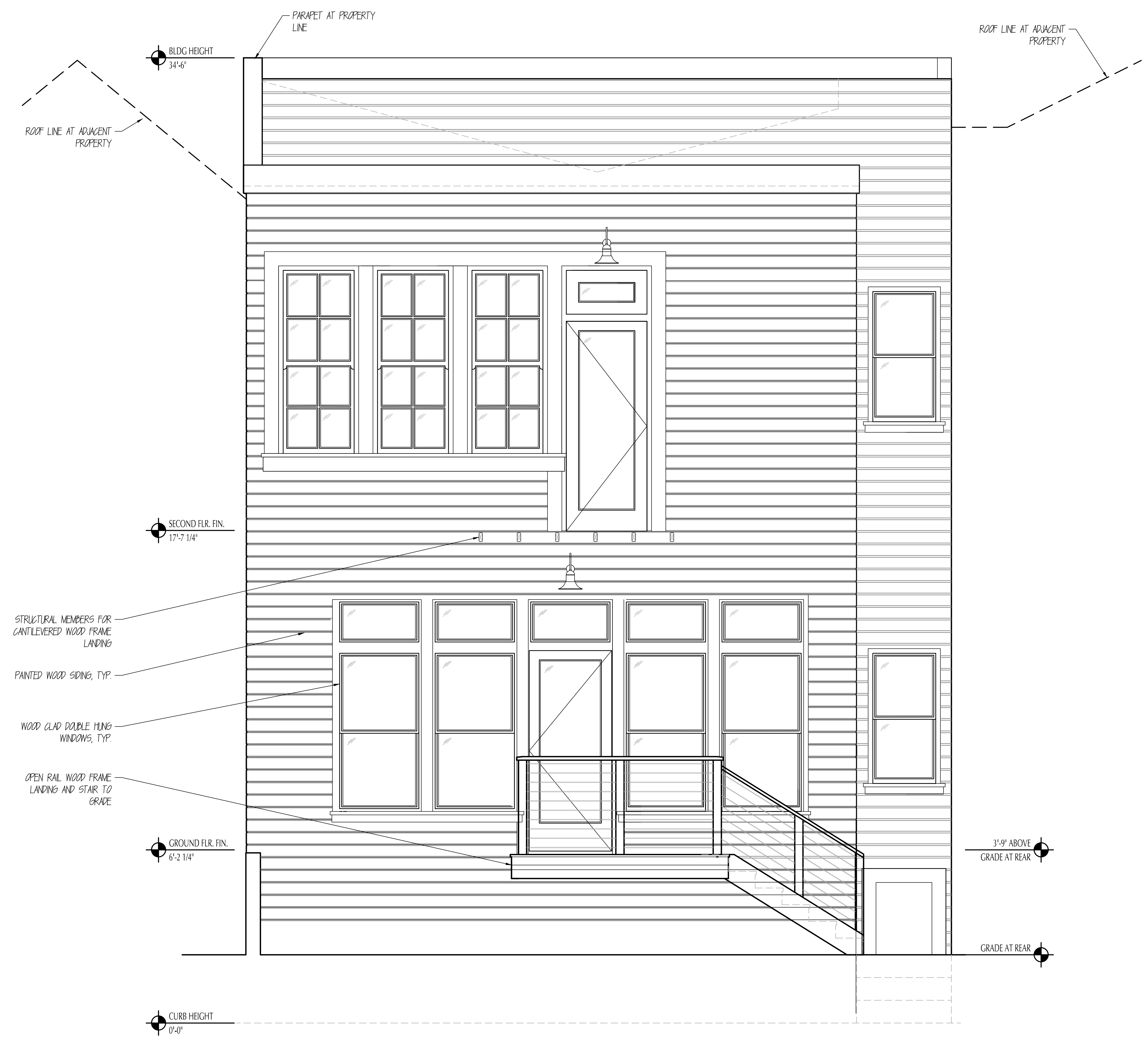
EXTERIOR
ELEVATIONS

Scale AS NOTED

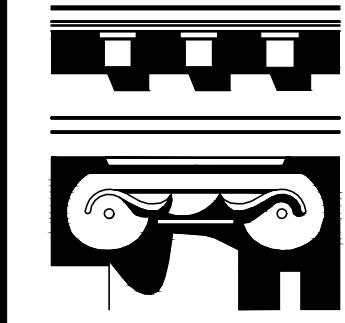
Drawn By TNS

Drawing Number

A302



1 CURRENT NORTH ELEVATION
Scale: 1/2"=1'-0"



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APN 0860 | 011A

RENOVATION TO
434/436 WALLER STREET
SAN FRANCISCO, CA 94117

Drawing Issue / Date

UPDATE
FEBRUARY 29, 2016

Drawing Title

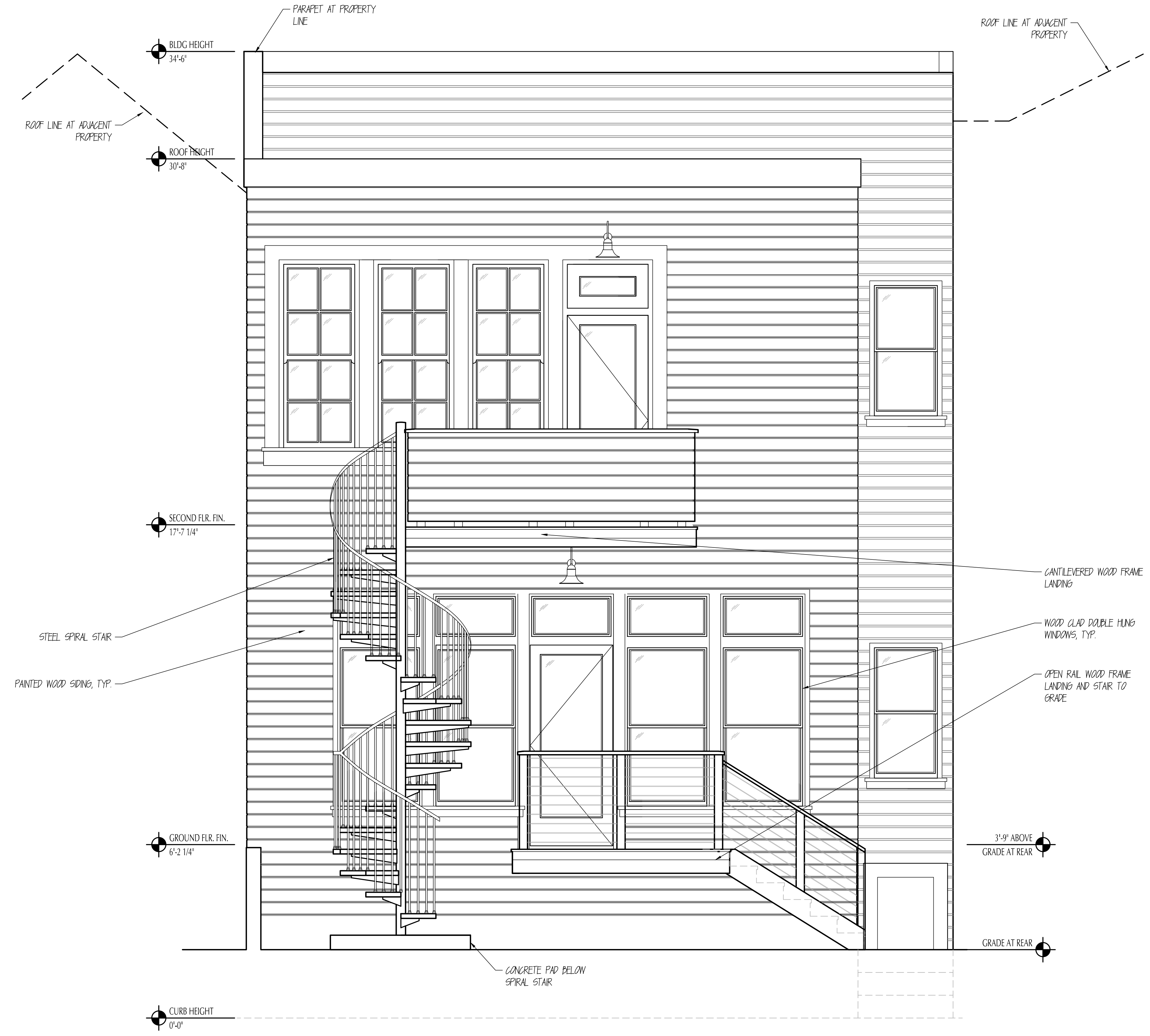
EXTERIOR
ELEVATIONS

Scale AS NOTED

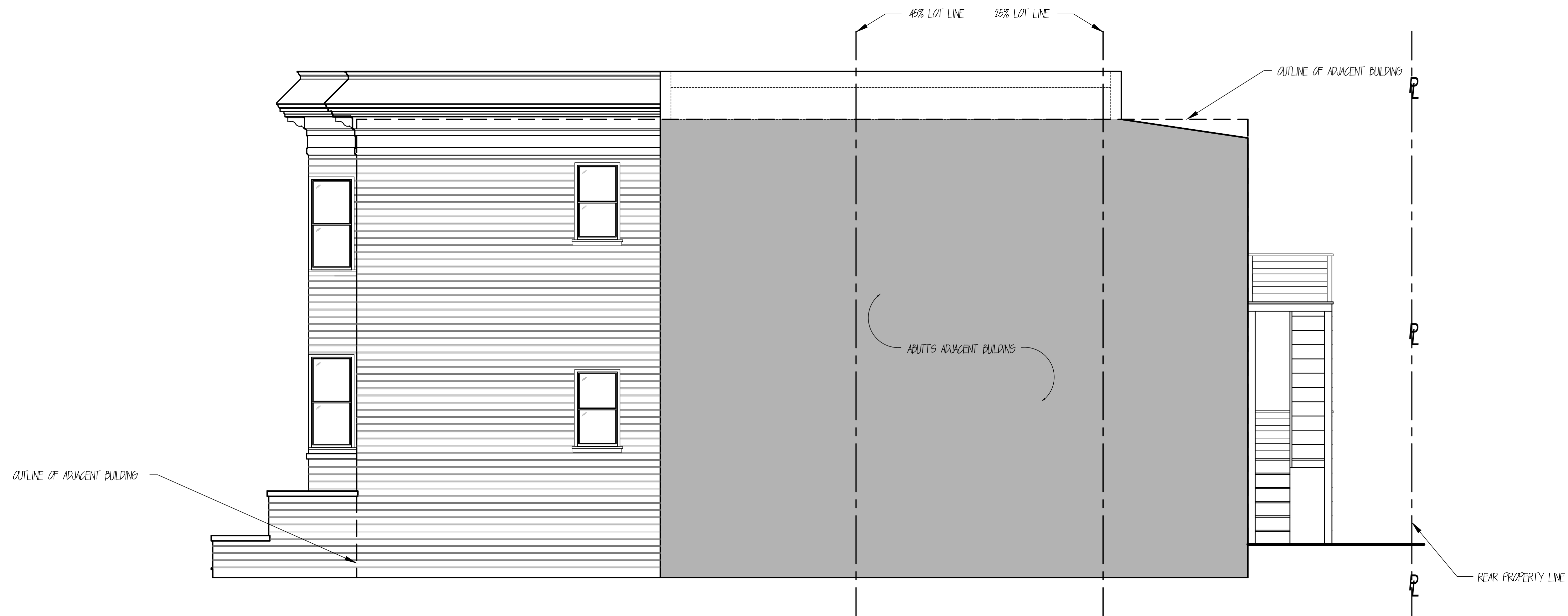
Drawn By TNS

Drawing Number

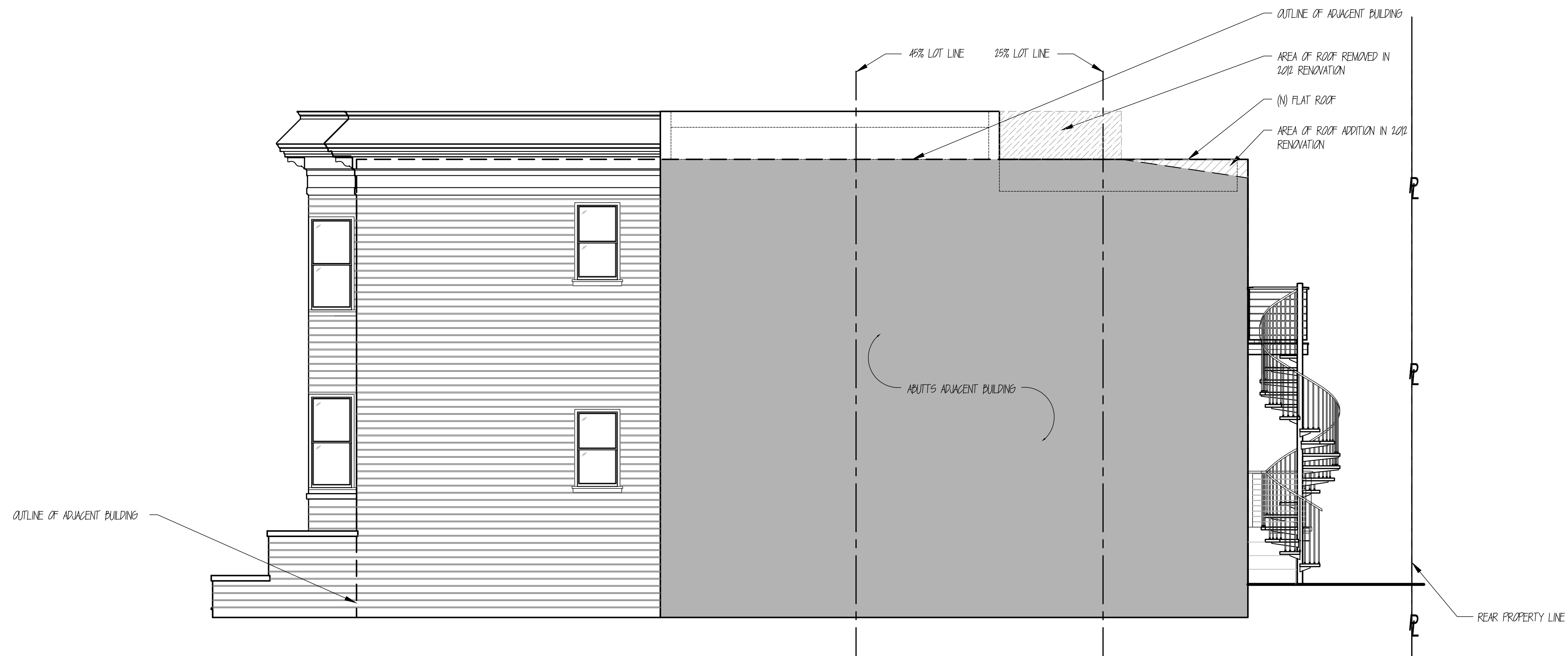
A303



1 PROPOSED NORTH ELEVATION
Scale: 1/2"=1'-0"



1 PRE-FIRE EAST ELEVATION
Scale: 1/4"=1'-0"



2 PROPOSED EAST ELEVATION
Scale: 1/4"=1'-0"



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Drawing Issue / Date

UPDATE
MARCH 2, 2016

Drawing Title

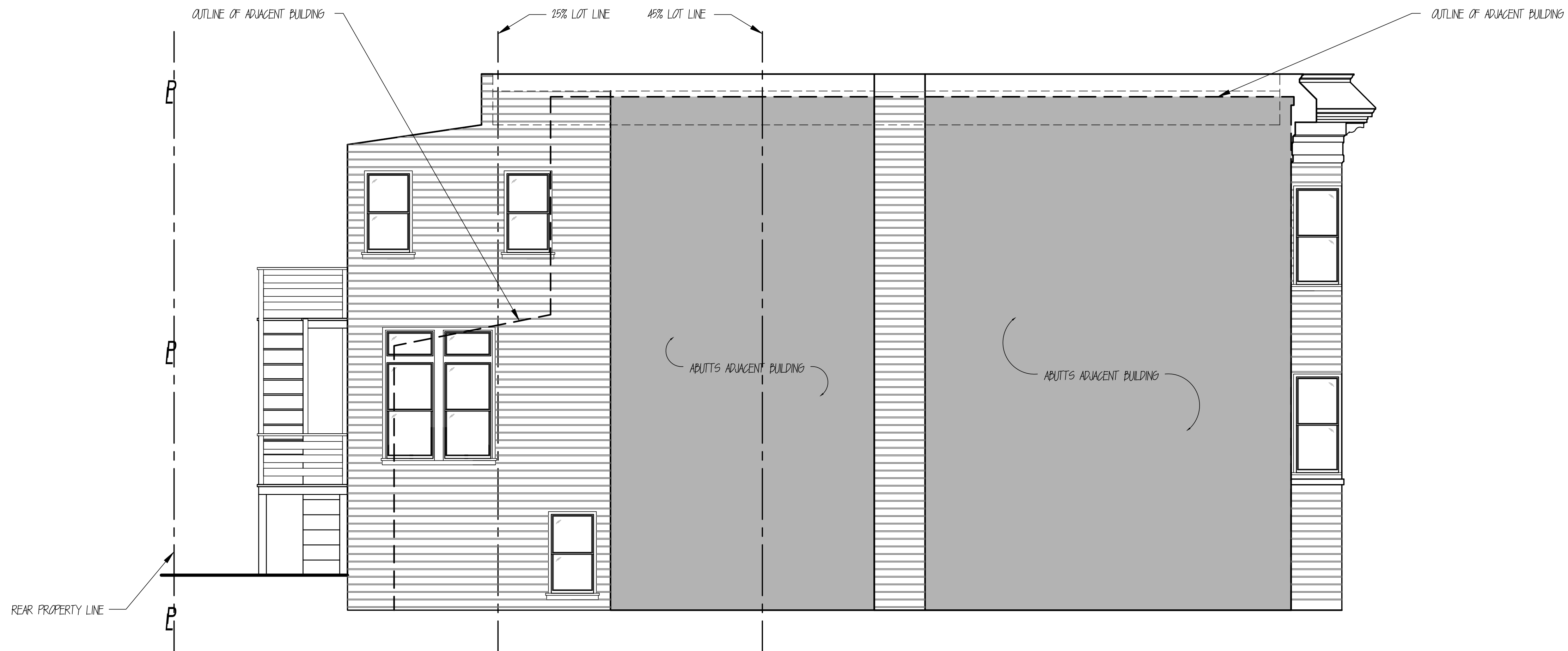
EXTERIOR
ELEVATIONS

Scale AS NOTED

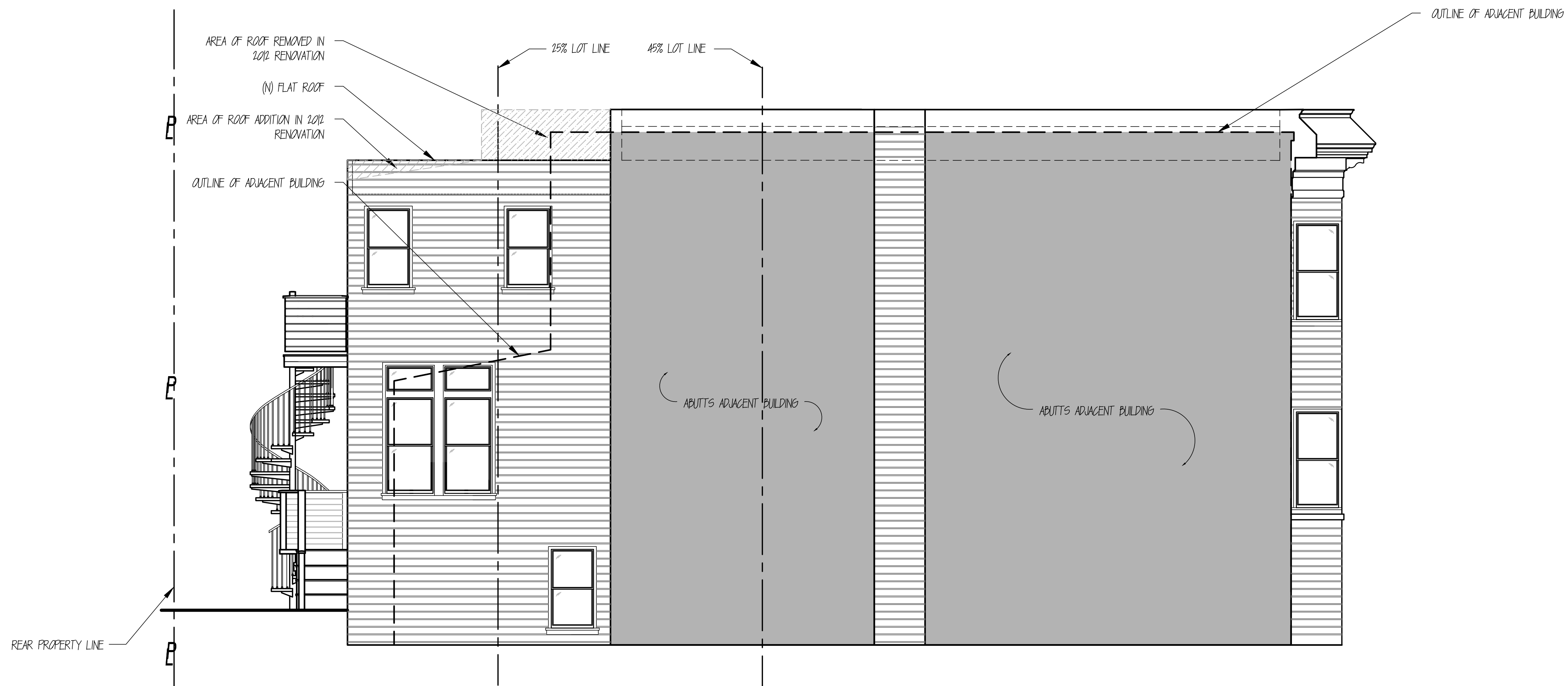
Drawn By TNS

Drawing Number

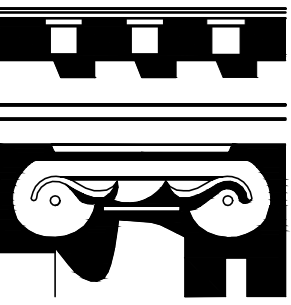
A305



① PRE-FIRE WEST ELEVATION
Scale: 1/4"=1'-0"



② PROPOSED WEST ELEVATION
Scale: 1/4"=1'-0"



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SAN FRANCISCO, CA 94117

Drawing Issue / Date

UPDATE
MARCH 2, 2016

Drawing Title

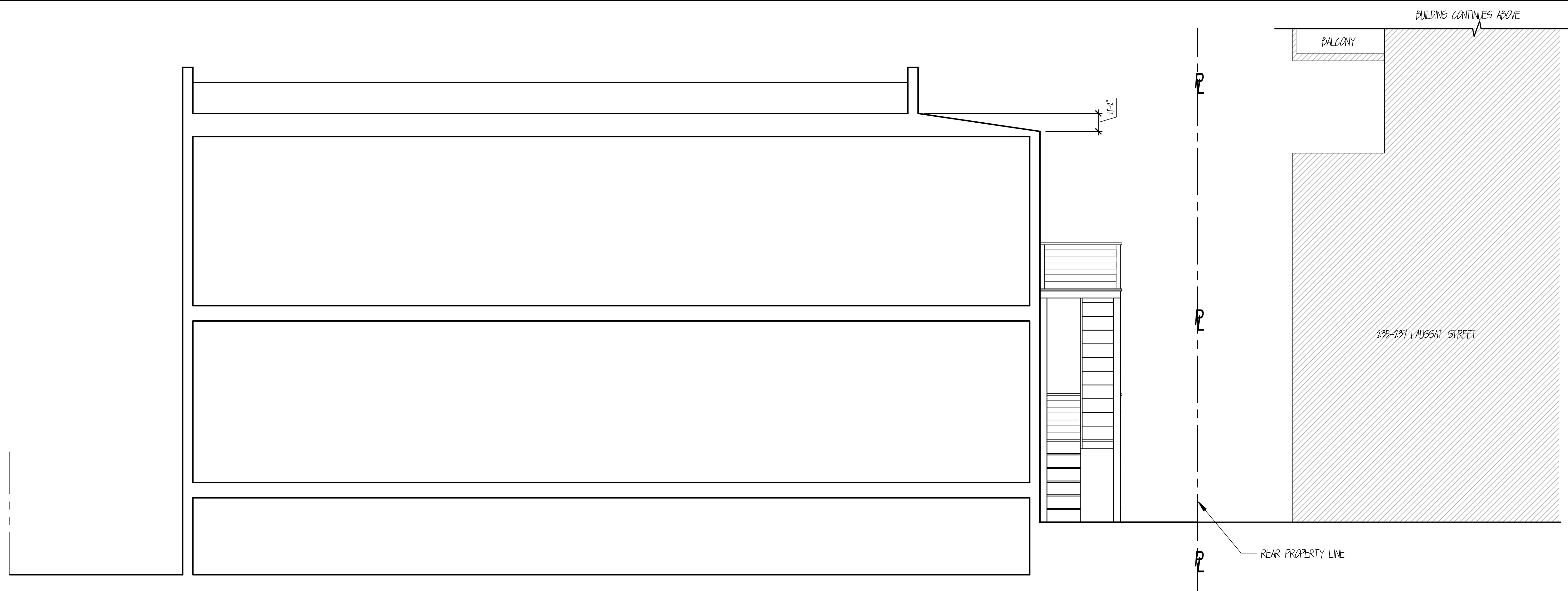
EXTERIOR
ELEVATIONS

Scale AS NOTED

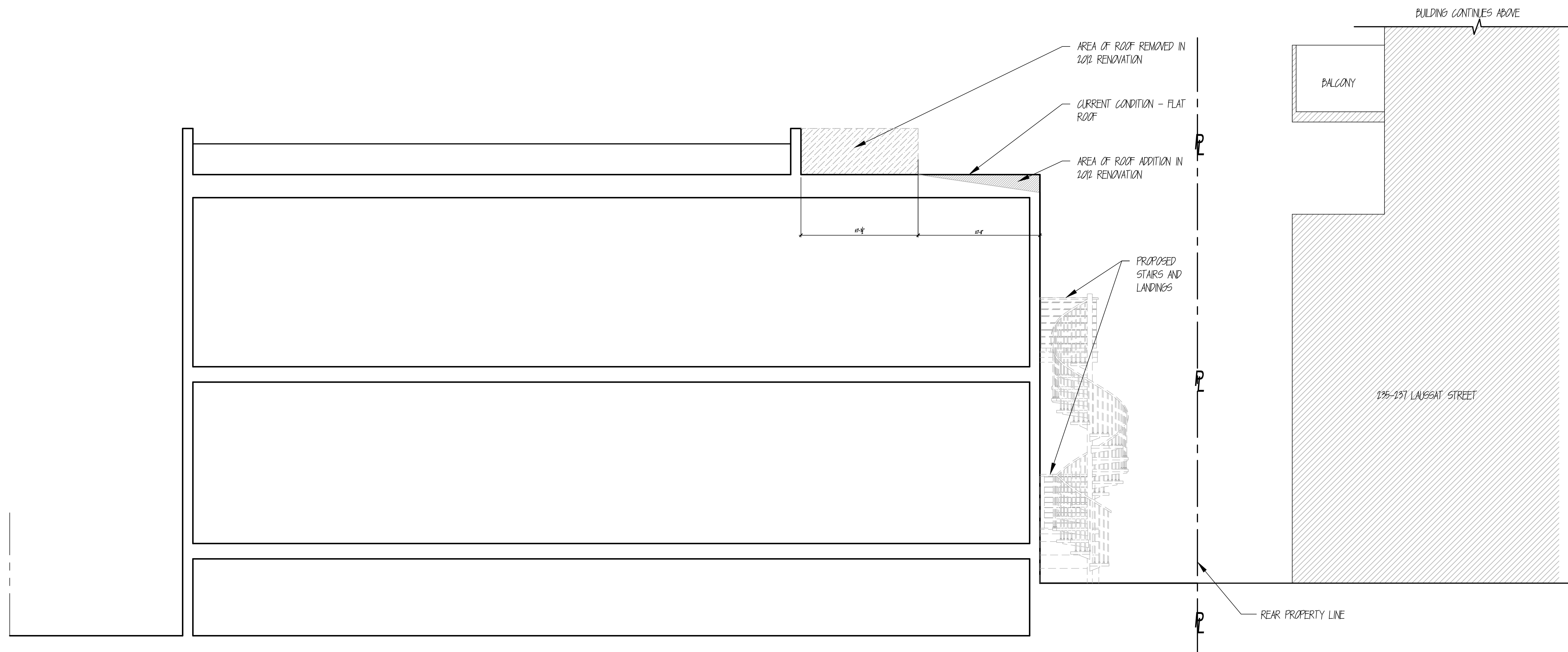
Drawn By TNS

Drawing Number

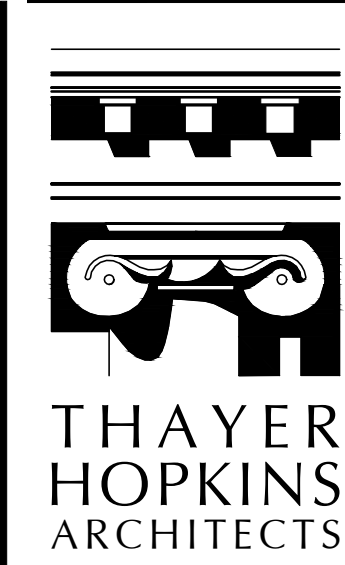
A306



1 PRE-FIRE BUILDING SECTION
Scale: 1/4"=1'-0"



2 CURRENT BUILDING SECTION
Scale: 1/4"=1'-0"



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Drawing Issue / Date

UPDATE
FEBRUARY 29, 2016

Drawing Title

BUILDING
SECTIONS

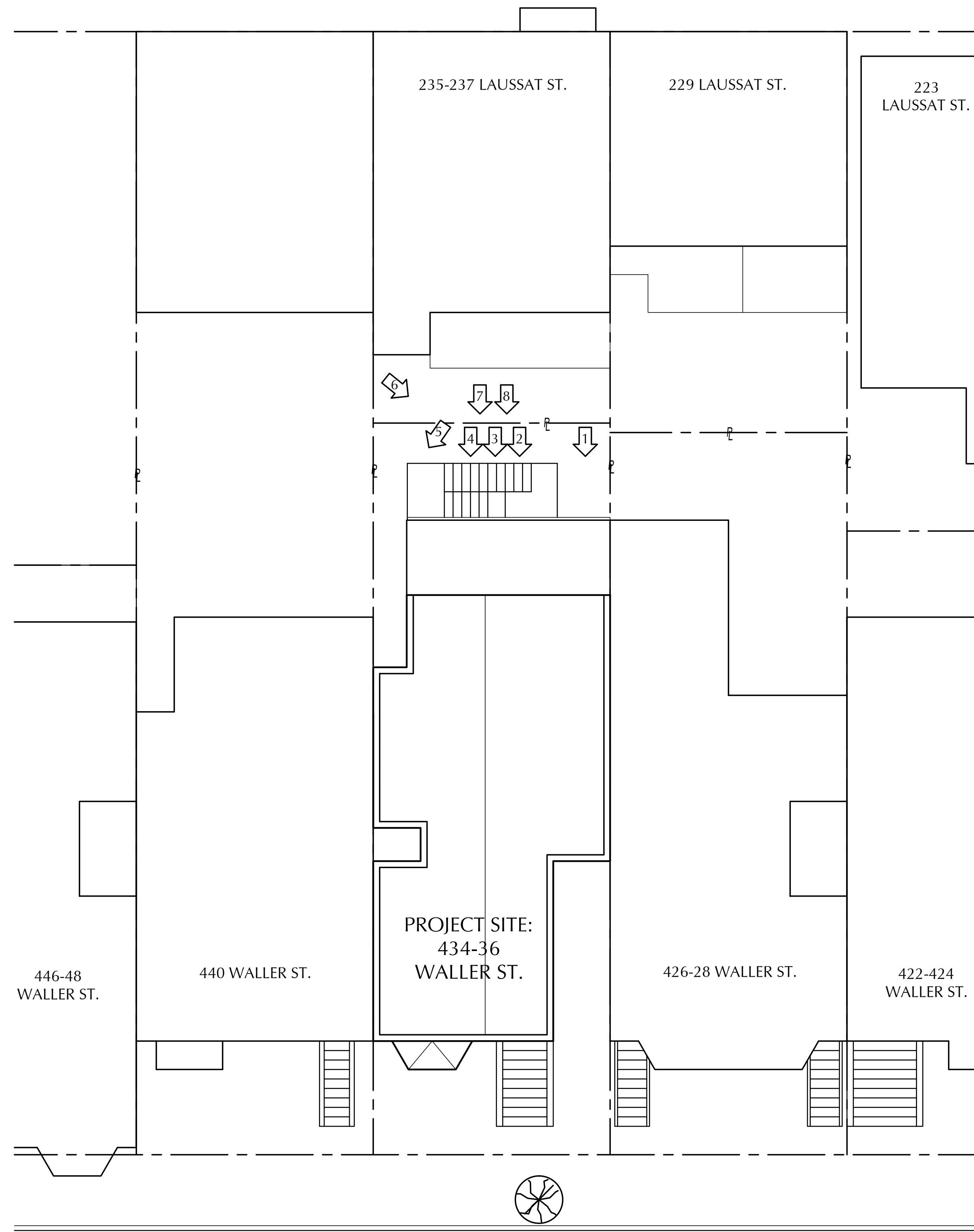
Scale AS NOTED

Drawn By TNS

Drawing Number

A401

LAUSSAT STREET

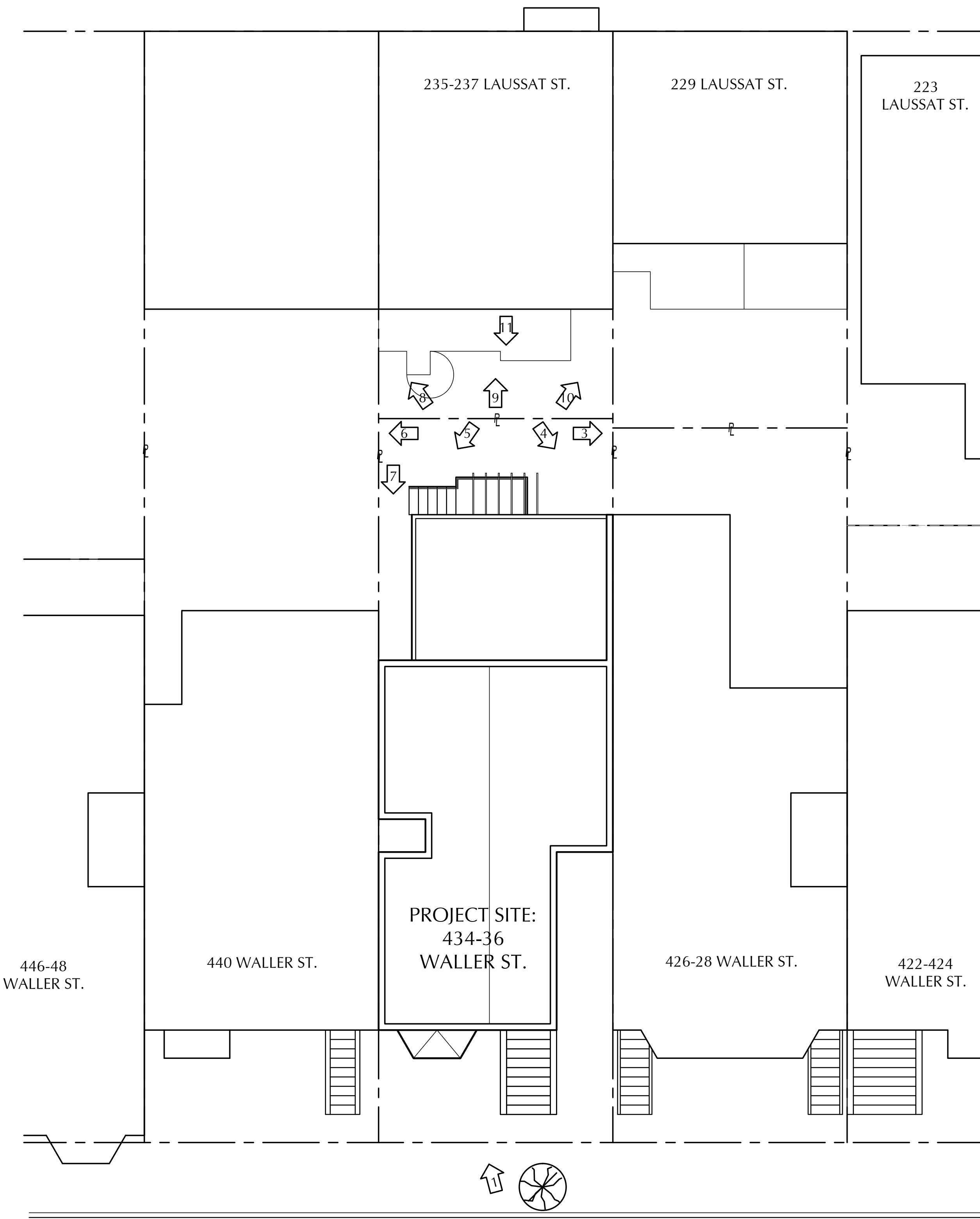


WALLER STREET

NOTE:
PHOTOGRAPHS ON SHEET A911

1 FIRE DAMAGE PHOTO LOCATION KEY
Scale: 1/8"=1'-0"

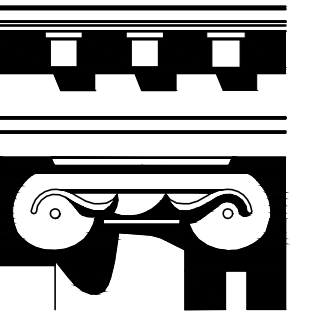
LAUSSAT STREET



WALLER STREET

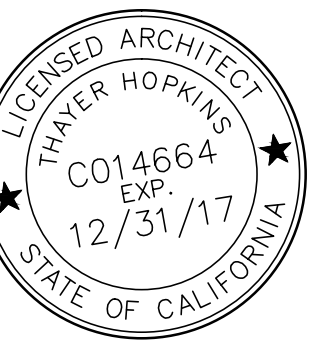
NOTE:
PHOTOGRAPHS ON SHEET A912

2 CURRENT PHOTO LOCATION KEY
Scale: 1/8"=1'-0"



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Drawing Issue / Date

UPDATE
FEBRUARY 29, 2016

Drawing Title

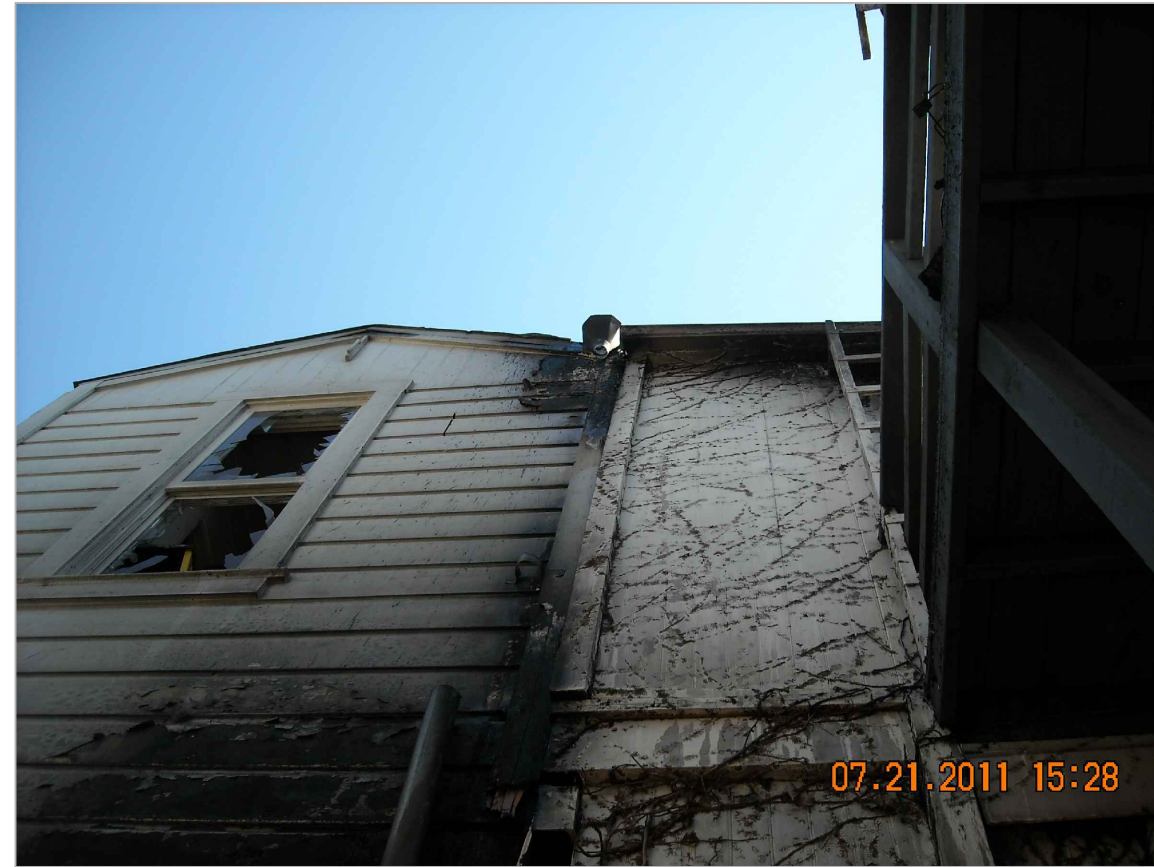
PHOTO
LOCATION KEY

Scale AS NOTED

Drawn By TNS

Drawing Number

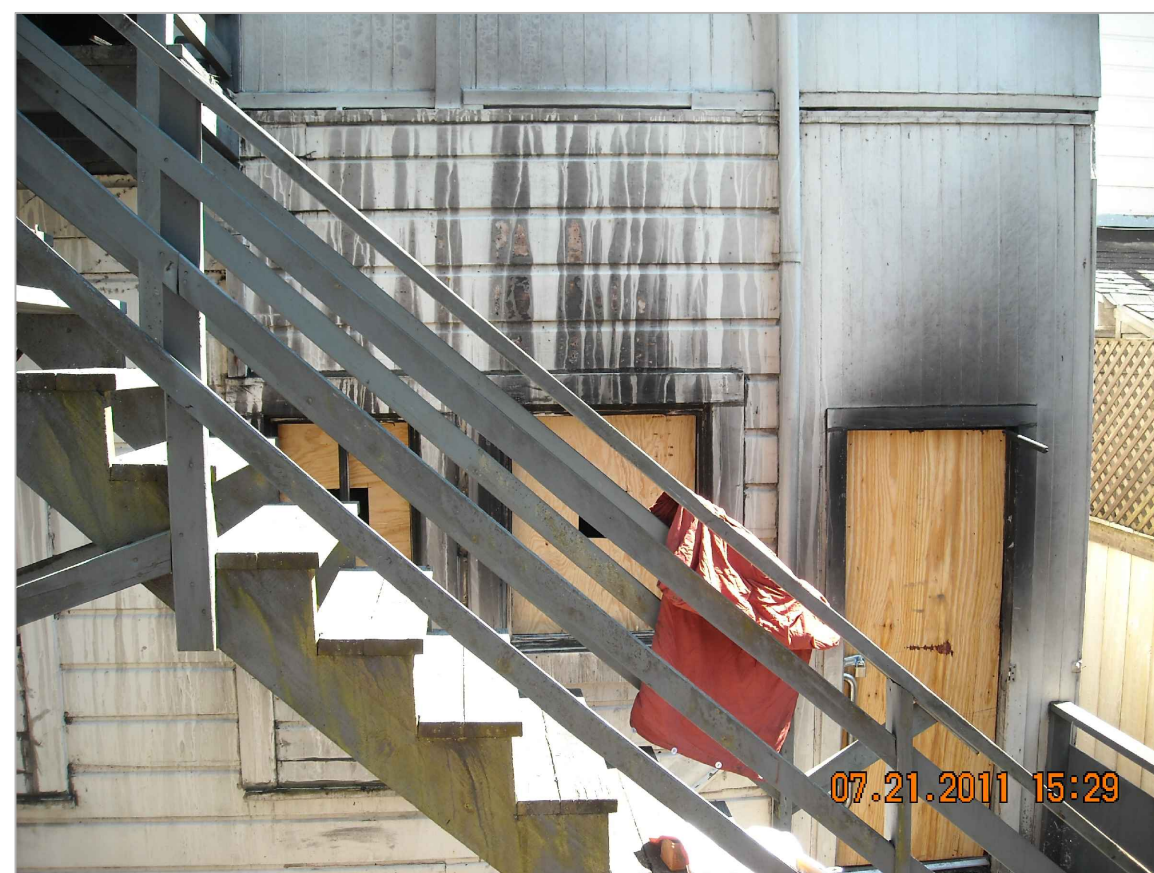
A910



1. LOOKING UP FROM GROUND PLANE AT PROPERTY LINE; NORTHEAST CORNER



2. BACK OF HOUSE & STAIR ACCESS AT SECOND FLOOR



3. BACK OF HOUSE & STAIR ACCESS AT GROUND FLOOR



4. ROOF AT REAR OF PROPERTY



5. SECOND FLOOR & ROOF AT PROPERTY LINE



6. SECOND FLOOR & ROOF AT PROPERTY LINE



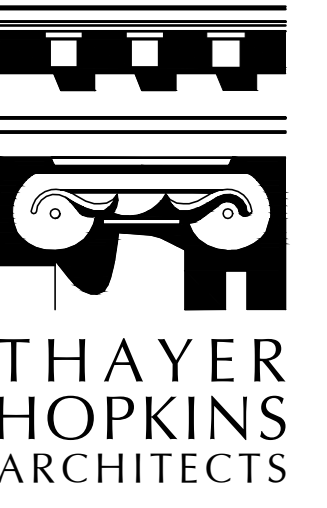
7. ROOF AT REAR OF PROPERTY



8. ROOF AND SECOND FLOOR AT REAR OF PROPERTY

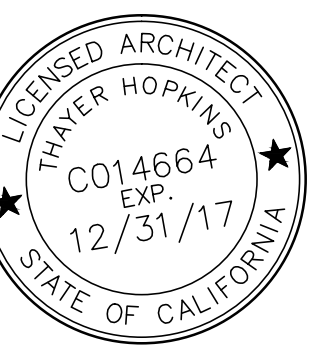
NOTE:
PHOTOGRAPHS ARE KEYED TO 1-A910

1 SITE PHOTOS SHOWING FIRE DAMAGE
Scale: Not to Scale



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Drawing Issue / Date

UPDATE
FEBRUARY 29, 2016

Drawing Title

FIRE DAMAGE
PHOTOS

Scale NONE

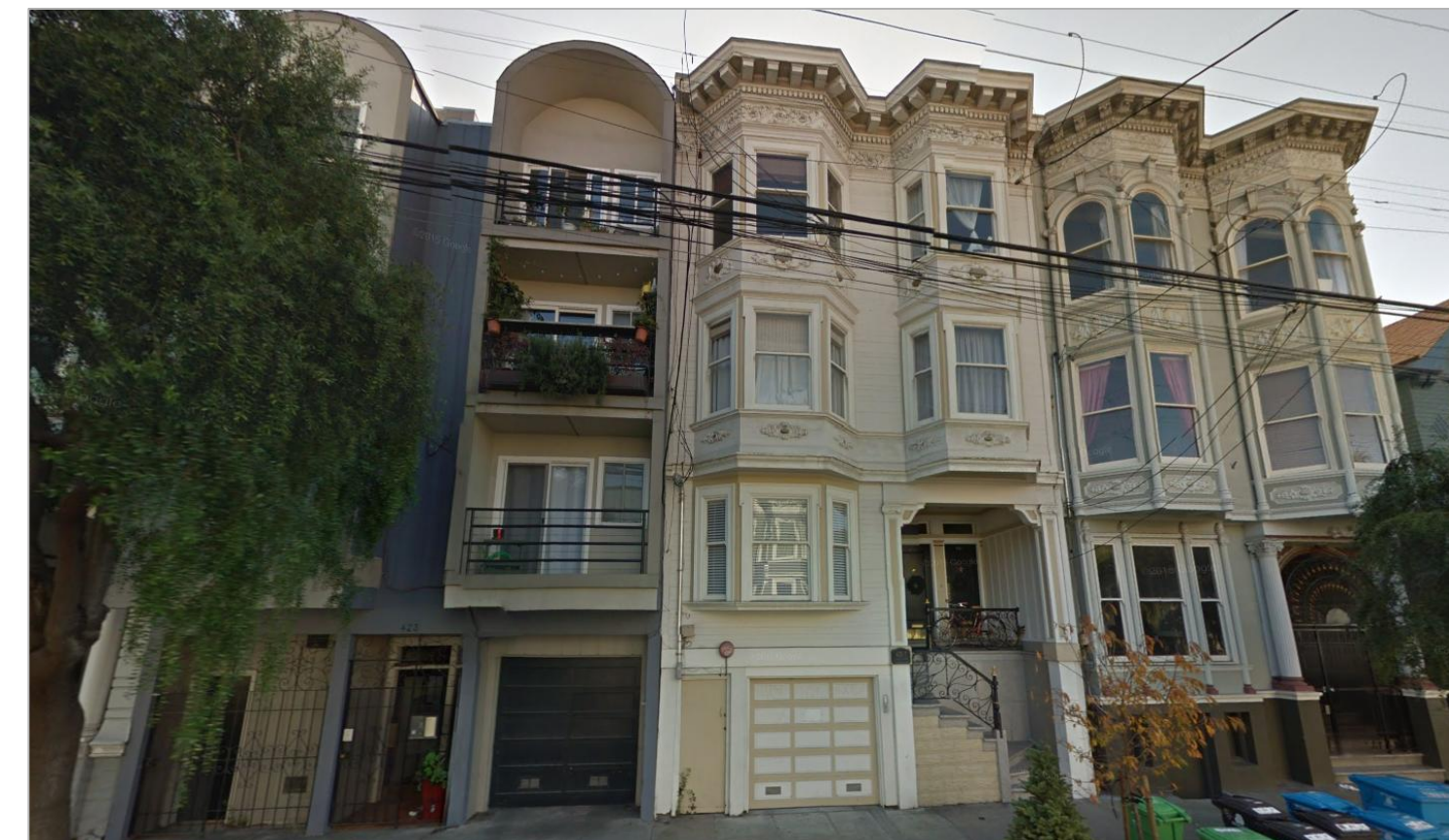
Drawn By TNS

Drawing Number

A911



1. PROJECT SITE: FRONT FACADE



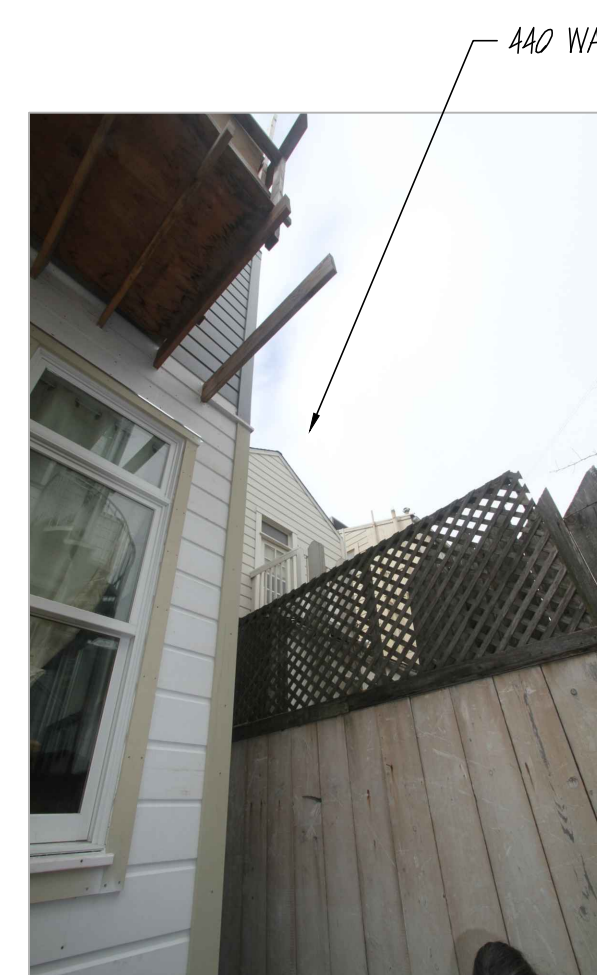
2. PROJECT SITE: ACROSS THE STREET FACADES



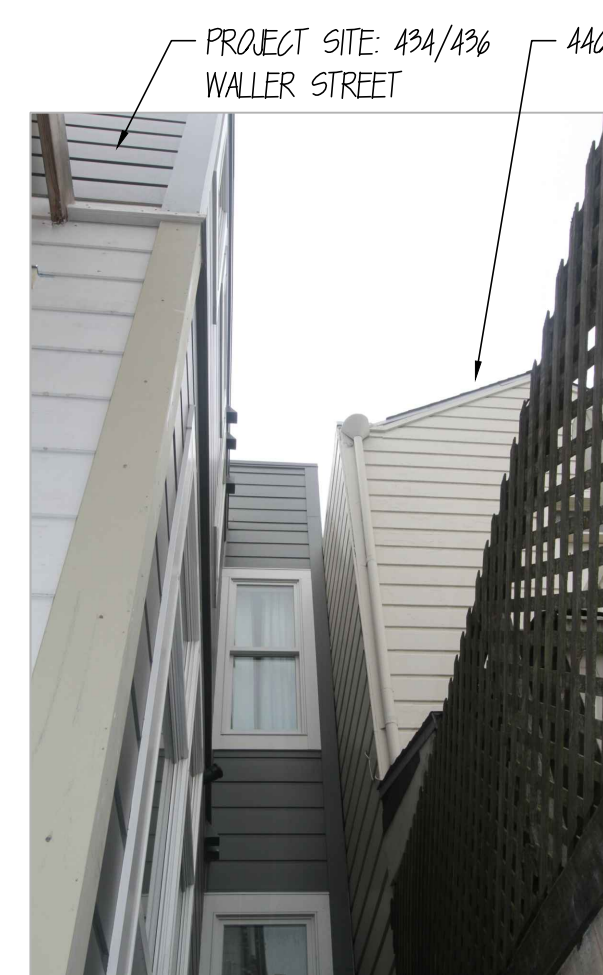
3. ADJACENT PROPERTIES



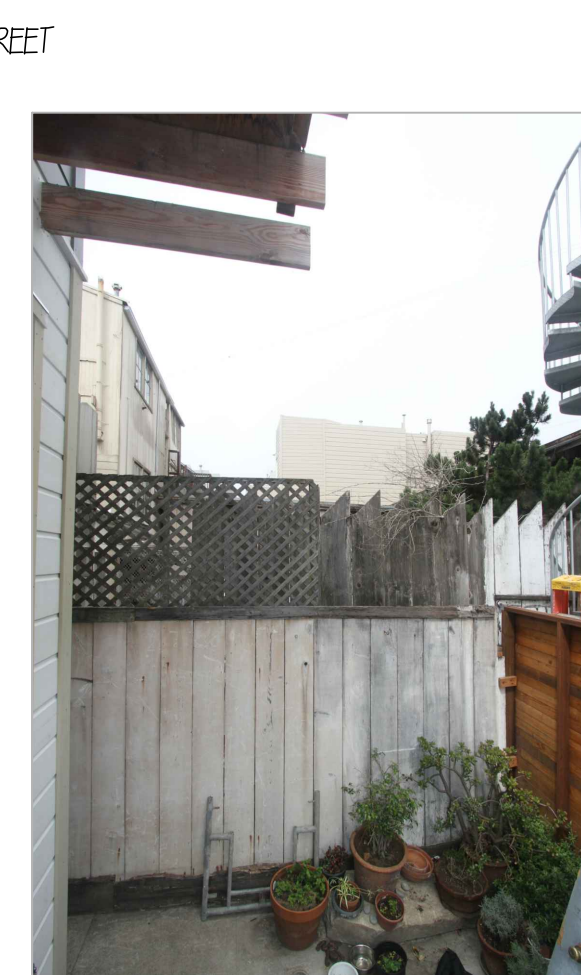
4. ADJACENT PROPERTIES



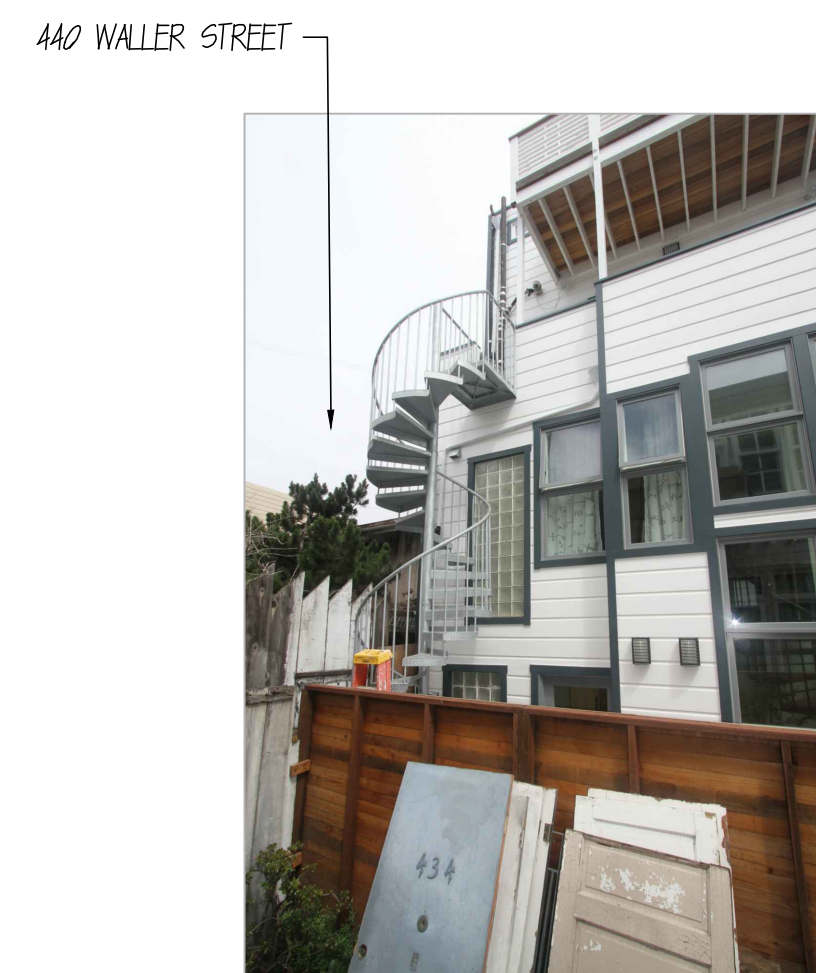
5. ADJACENT PROPERTIES



6. ADJACENT PROPERTIES



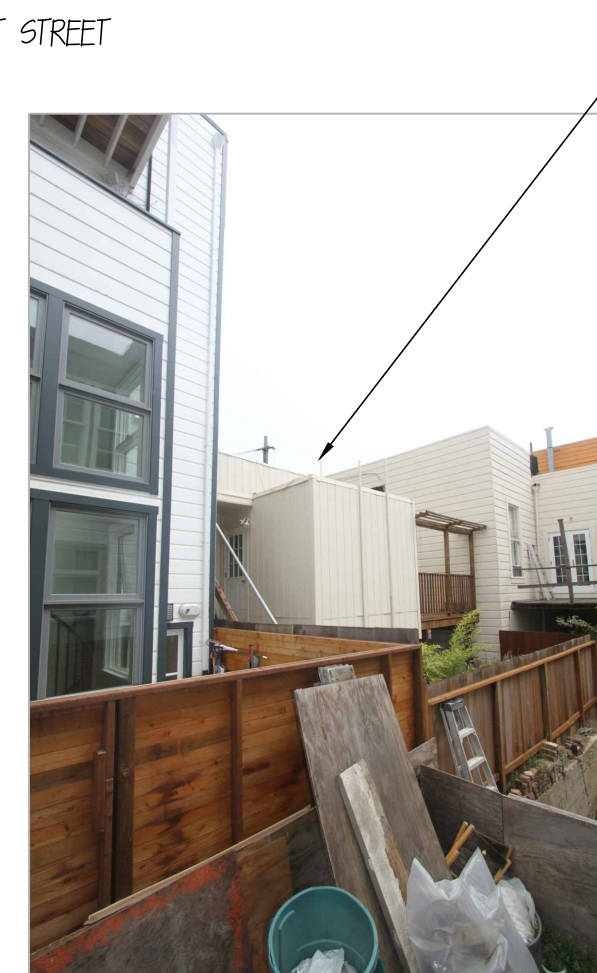
7. ADJACENT PROPERTIES



8. ADJACENT PROPERTIES



9. ADJACENT PROPERTIES



10. ADJACENT PROPERTIES



10. PHOTOGRAPH OF ROOF - REFER TO PHOTOGRAPH OF PRIOR ROOF CONDITION 1/A3.0

NOTE:
PHOTOGRAPHS ARE KEYED TO 2-A910

1 SITE PHOTOS SHOWING CURRENT CONDITIONS
Scale: Not to Scale



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Drawing Title

**CURRENT
PHOTOS**

Scale NONE

Drawn By TNS

Drawing Number

A912