



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 25, 2016**

Time: **9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance(Rear Yard)**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	1359 Minna Street	Case No.:	2015-010729VAR
Cross Street(s):	14th and 15th Streets	Building Permit:	2015.1218.5513
Block / Lot No.:	3548/046	Applicant/Agent:	Brian Kaufman
Zoning District(s):	RTO-M/ 40-X	Telephone:	415.279.6795
Area Plan:	Mission (EN)	E-Mail:	brian@briankaufmandesign.com

PROJECT DESCRIPTION

The proposal includes a rear horizontal addition and replacement of a rear staircase along the north side property line requiring a firewall, all within the required rear yard; as well as an additional dwelling unit at the ground floor for a total of 4 dwelling units, vertically lifting the building, adding a roof deck and stair penthouse at roof level, interior renovations and partial lightwell infill.

PER PLANNING CODE SECTION 134, the subject property is required to maintain a rear yard of 20 feet. The subject property does not currently comply with the rear yard requirement as the lot is developed with a rear staircase provided at the center of the lot that is within 12 feet of the rear property line. The project will demolish and reconstruct the rear staircase along the north side property line that will encroach to within approximately 5 feet of the rear property line; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Esmeralda Jardines** Telephone: **415-575-9144** Mail: Esmeralda.Jardines@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2015-010729VAR.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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RESIDENTIAL RENOVATION

1359 MINNA STREET

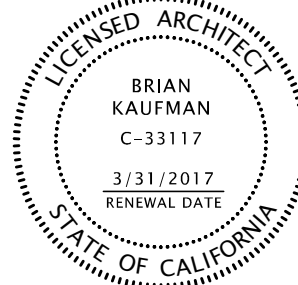
SAN FRANCISCO, CALIFORNIA 94103

SITE PERMIT SET
DECEMBER 17, 2015

BRIAN KAUFMAN DESIGN
77 VAN NESS AVE. #501
SAN FRANCISCO, CA 94102
415.279.6795 (voice) 415.400.5171 (fax)

ADDITION & REMODEL

1359 MINNA STREET
SAN FRANCISCO, CA



TITLE SHEET SITE PLAN

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/8" = 1'-0"

DATE: 01/29/2016

A0.0

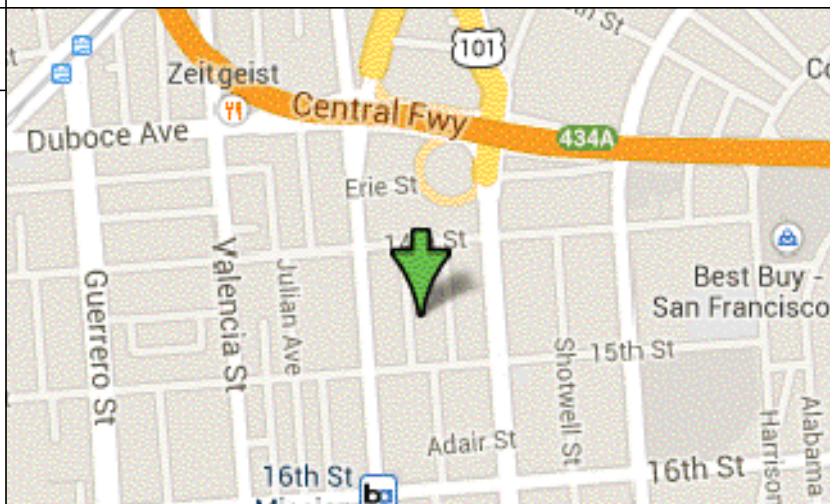
PROJECT DESCRIPTION

- HORIZONTAL ADDITION AT THE REAR OF THE BUILDING.
- RENOVATION OF THE 3 EXISTING UNITS ON THE 3 UPPER FLOORS OF THE BUILDING.
- CREATION OF THE 1 NEW DWELLING UNIT AT THE FIRST FLOOR LEVEL.
- DEMOLITION OF THE EXISTING REAR EXTERIOR STAIR OF THE BUILDING, AND CONSTRUCTION OF A NEW STAIR IN THE REQUIRED REAR YARD. A VARIANCE WILL BE REQUIRED FOR THIS WORK.
- LIFTING THE BUILDING 1'-2" VERTICALLY ABOVE THE EXISTING FOUNDATION. NEW FOUNDATIONS TO BE PROVIDED WHERE NECESSARY. (WORK TO BE FILED UNDER SEPARATE ADDENDA)
- AUTOMATIC FIRE SPRINKLER SYSTEM TO BE PROVIDED THROUGHOUT.
- ELEMENTS OF THE EXISTING BUILDING FACADE SHALL BE PRESERVED OR REPLACED IN KIND. THE FOLLOWING NEW ELEMENTS SHALL BE ADDED AT THE FRONT OF THE BUILDING:
- ADDITION OF A ROOF DECK AND STAIR PENTHOUSE ON TOP OF THE EXISTING ROOF
- FIRST FLOOR UNIT SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF ACCESSIBLE/ADAPTABLE DESIGN PER REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND CHAPTER 11A OF THE CALIFORNIA BUILDING CODE. DETAILS FOR ACCESSIBILITY DESIGN REQUIREMENTS SHALL BE PROVIDED WITH THE BUILDING PERMIT ADDENDA FOR THIS PERMIT APPLICATION.

PROJECT DATA

BLOCK/LOT:	3548/047
EXISTING CONSTRUCTION TYPE:	V-B
PROPOSED CONSTRUCTION TYPE:	V-A
ZONING:	RTO-M
HEIGHT & BULK:	40-X
LOT AREA:	2000 SQ. FT.
EXISTING OCCUPANCY:	R-2
PROPOSED OCCUPANCY:	R-2
EXISTING BUILT AREA OF BUILDING:	978.6 SF
EXISTING AREA OF 1ST FLOOR:	978.6 SF
EXISTING AREA OF 2ND FLOOR:	960.7 SF
EXISTING AREA OF 3RD FLOOR:	978.7 SF
EXISTING AREA OF 4TH FLOOR:	978.7 SF
TOTAL AREA OF EXISTING BUILDING:	3896.7 SF
PROPOSED BUILT AREA OF BUILDING:	1307.6 SF
PROPOSED AREA OF 1ST FLOOR:	1015.8 SF
PROPOSED AREA OF 2ND FLOOR:	1135.5 SF
PROPOSED AREA OF 3RD FLOOR:	1153.1 SF
PROPOSED AREA OF 4TH FLOOR:	992.5 SF
TOTAL AREA OF PROPOSED BUILDING:	4296.9 SF
PROPOSED AREA OF ADDITION:	464.3 SF
USEABLE OPEN SPACE	
YARD:	360 SF
ROOF DECK:	330 SF
TOTAL USEABLE OPEN SPACE:	690 SF

SITE MAP



PROJECT NOTES

- ALL WORK SHALL CONFORM TO THE BUILDING CODES AS REQUIRED BY THE CITY AND COUNTY OF SAN FRANCISCO, INCLUDING BUT NOT LIMITED TO:
THE 2013 CALIFORNIA BUILDING CODE
THE SAN FRANCISCO BUILDING CODE, AMENDMENTS TO THE CALIFORNIA BUILDING CODE
THE 2013 CALIFORNIA ELECTRICAL CODE
THE 2013 CALIFORNIA PLUMBING CODE
THE 2013 CALIFORNIA MECHANICAL CODE
THE 2010 CALIFORNIA ENERGY CODE
THE 2013 CALIFORNIA FIRE CODE
- EXISTING BUILDING IS CURRENTLY CLASSIFIED AS A 4 STORY STRUCTURE. CONVERSION OF FIRST FLOOR LEVEL LEVEL TO RESIDENTIAL USE.
- AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE PROVIDED THROUGHOUT THE BUILDING.
- A MINIMUM OF 20% OF THE FRONT SETBACK AREA SHALL BE UNPAVED AND DEVOTED TO PLANT MATERIAL. 50% OF THE FRONT SETBACK SURFACES SHALL BE PERMEABLE SO AS TO INCREASE STORM WATER INFILTRATION. THE REQUIRED AREA OF LANDSCAPE PLANTING MAY BE INCLUDED IN THIS 50% CALCULATION. THE AREA OF THE EXISTING STAIRWAY SHALL BE EXCLUDED FROM THIS CALCULATION.
- THE BUILDING STRUCTURE SHALL MEET THE REQUIREMENTS OF TYPE 5A CONSTRUCTION. ALL LOAD BEARING ELEMENTS AND EXTERIOR WALLS SHALL HAVE A 1-HOUR FIRE RATING AS REQUIRED BY THE CALIFORNIA BUILDING CODE.

DEFERRED SUBMITTALS

MECHANICAL, PLUMBING, ELECTRICAL, & FIRE SPRINKLER SYSTEM TO BE SUBMITTED UNDER A SEPARATE PERMIT

DRAWING INDEX

ARCHITECTURAL

A0.0	TITLE SHEET/SITE PLAN
A0.1	PHOTO MONTAGE
A1.1	FIRST AND SECOND FLOOR EXISTING/DEMO PLANS
A1.2	THIRD AND FOURTH FLOOR EXISTING/DEMO PLANS
A1.3	ROOF EXISTING/DEMO PLAN & DEMO CALCS
A2.1	FIRST AND SECOND FLOOR PROPOSED PLANS
A2.2	THIRD AND FOURTH FLOOR PROPOSED PLANS
A2.3	PROPOSED ROOF PLANS
A4.1	EXISTING FRONT & REAR ELEVATIONS
A4.2	EXISTING SIDE ELEVATION NORTH & SOUTH
A5.1	PROPOSED FRONT & REAR ELEVATIONS
A5.2	PROPOSED SIDE ELEVATIONS (NORTH)
A5.3	PROPOSED SIDE ELEVATIONS (SOUTH)
A5.4	STREET ELEVATION WITH ADJACENT BUILDINGS
A6.0	EXISTING LONGITUDINAL SECTION
A6.1	PROPOSED LONGITUDINAL SECTION

PROJECT SYMBOLS

W1	WALL TAG
2	SHEETNOTE
2A	WINDOW TAG
2E	DOOR TAG
1/A6.1	SECTION MARK, SECTION DETAIL
1/A4.1	EXTERIOR ELEVATION, ELEVATION DETAIL

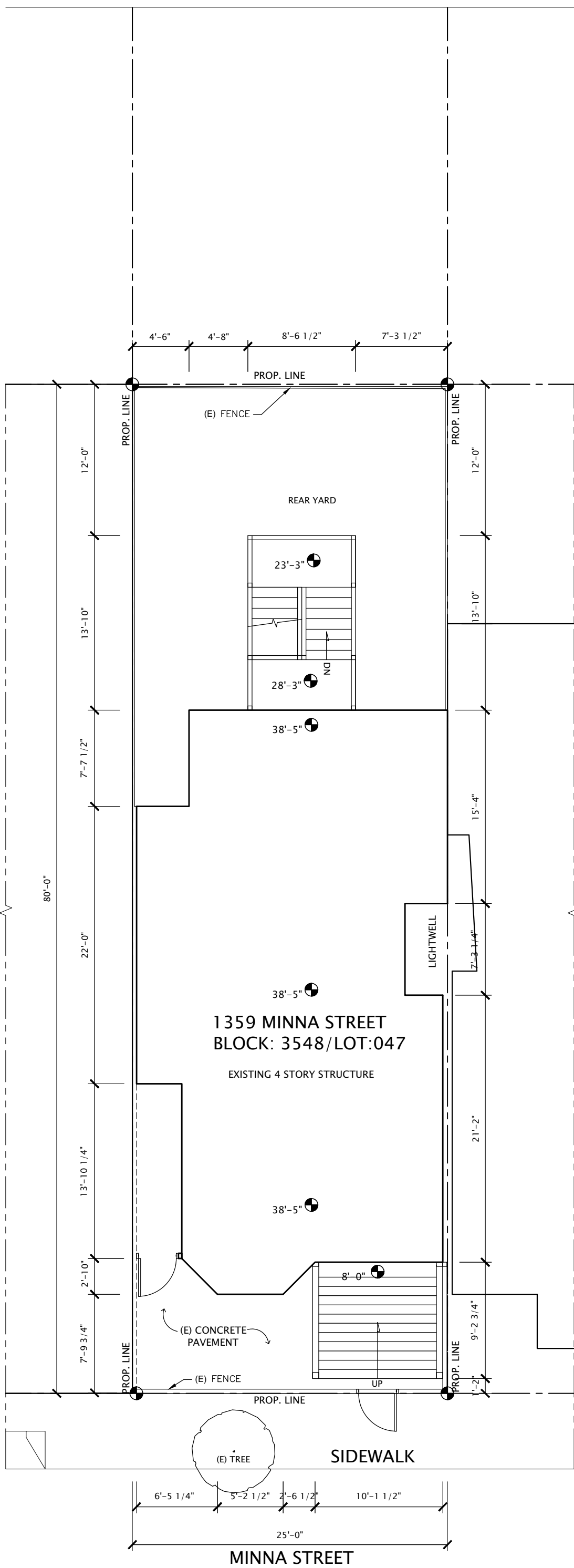
CONTACTS

OWNER:	MARTIN SLATTERY 1359 MINNA STREET SAN FRANCISCO, CA 94103	ARCHITECT:	BRIAN KAUFMAN 77 VAN NESS AVE #501 SAN FRANCISCO, CA 94102 415-365-0540
STRUCTURAL ENGINEER:	SANTOS & URRUTIA, INC 2451 HARRISON STREET SAN FRANCISCO, CA 94110 415-642-7722	CONTRACTOR:	-

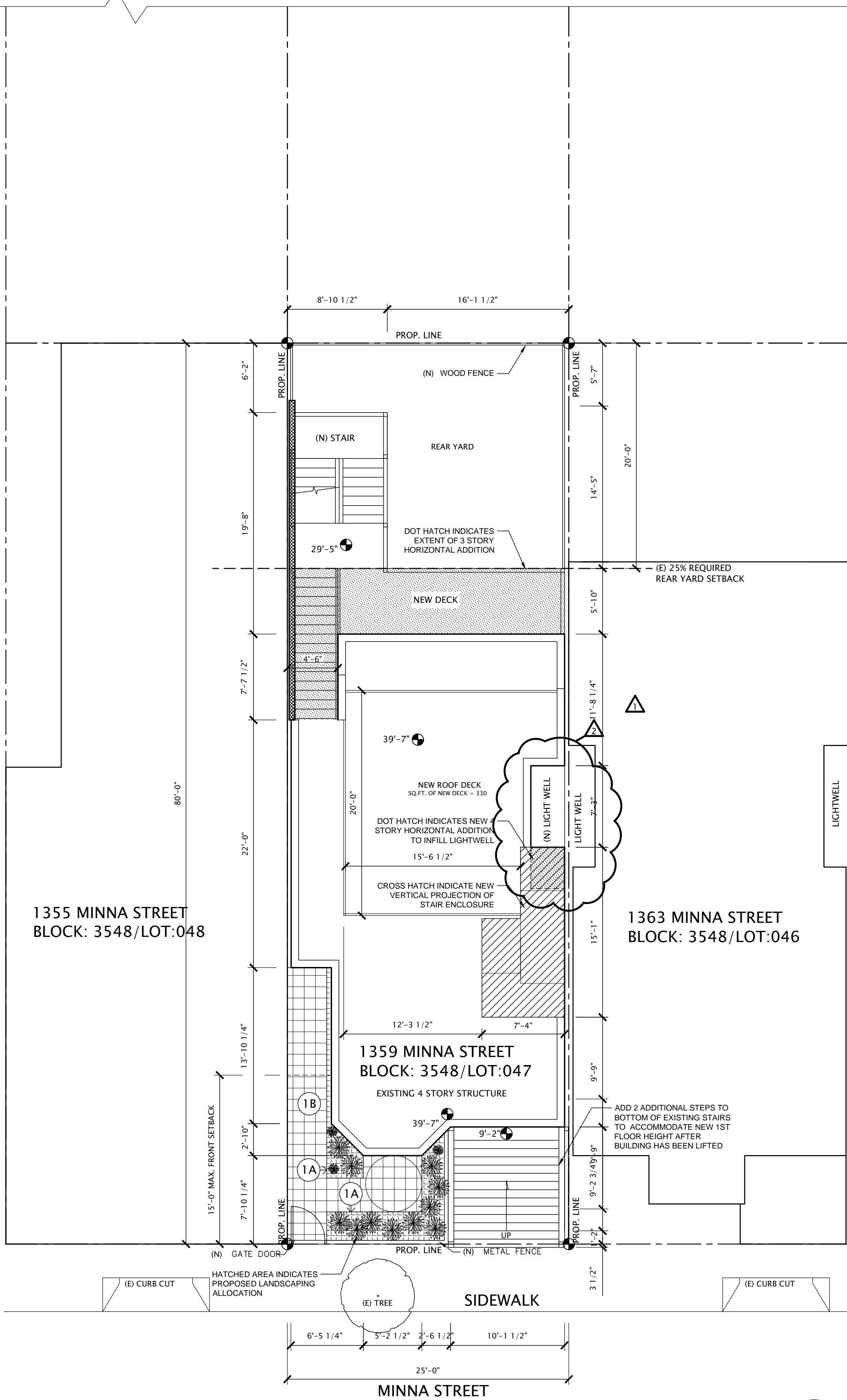
USEABLE OPEN SPACE REQUIREMENTS:

USEABLE OPEN SPACE:
PRIVATE = 100 SQ.FT. PER UNIT
COMMON = 133.3 SQ.FT. PER UNIT

UNIT 1: COMMON USABLE SPACE PROVIDED IN REAR YARD
UNIT 2: COMMON USABLE SPACE PROVIDED IN REAR YARD
UNIT 3: COMMON USABLE SPACE PROVIDED ON ROOF
UNIT 4: COMMON USABLE SPACE PROVIDED ON ROOF
TOTAL REQUIRED COMMON USAGE SPACE = 133.3 SQ.FT. X 4 UNITS =533.2 SQ.FT.
TOTAL PROVIDED COMMON USABLE SPACE = 690 SQ.FT.



1 EXISTING SITE PLAN
1/8" = 1'-0"



2 PROPOSED SITE PLAN
1/8" = 1'-0"

PERMEABLE SURFACE CALCULATIONS

FRONT SETBACK REQUIRED SURFACE PERMEABILITY
TOTAL AREA OF FRONT SETBACK: 258.3 SF REQUIRED SURFACE PERMEABILITY = 50% OF 258.35 SF = 129.15 SF
(1A) PERMEABLE LANDSCAPE AREA = 52.1 SF
(1B) AREA OF PERMEABLE CONCRETE PAVERS = 87.2 SF
TOTAL AREA OF SURFACE PERMEABILITY = 139.3 SF > 129.15 SF

LANDSCAPING CALCULATIONS

FRONT SETBACK REQUIRED LANDSCAPING
TOTAL AREA OF FRONT SETBACK: 258.3 SF REQUIRED LANDSCAPING = 20% OF 258.3 SF = 51.6 SF
(1A) PERMEABLE LANDSCAPE AREA = 52.1 SF
TOTAL LANDSCAPED AREA PROVIDED = 52.1 SF > 51.6 SF

ABBREVIATIONS

AB	ANCHOR BOLT
ADJ	ADJUSTABLE
AF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
AP	ACCESS PANEL
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
BD	BOARD
BETW	BETWEEN
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BLT	BUILT
BSMT	BASEMENT
B/B	BACK TO BACK

C/C	CENTER TO CENTER
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
CLOS	CLOSET
CLR	CLEAR
CO	CASED OPENING
COL	COLUMN
CONC	CONCRETE
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CPT	CARPET
CTR	CENTER
CTSK	COUNTERSUNK

DEPT	DEPARTMENT
DIA	DIAMETER
DIFF	DIFFUSER
DM	DIMENSION
DN	DOWN
DO	DOOR OPENING
DR	DOOR
DWG	DRAWING
EXIST	EXISTING
EJ	EXPANSION JOINT
ELEV	ELEVATION
ELEC	ELECTRICAL
EMER	EMERGENCY
ENAM	ENAMEL
ENCL	ENCLOSURE

ENGR	ENGINEER
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
F/F	FACE TO FACE
FIN	FINISHED FLOOR ELEV.
FIN	FINISH
FL	FLOOR
FLG	FLOORING
FLUOR	FLUORESCENT
FO...	FACE OF (ADD C FOR CONC., F FOR FINISH, S FOR STUD)

FR	FIRE RATED
FRMG	FRAMING
FT	FOOT OR FEET
FTG	FOOTING
FURR	FURRING
GA	GAGE
GALV	GALVANIZED
OWB	GYPHUM WALLBOARD
GYP	GYPHUM
HB	HOSE BIB
HC	HOLLOW CORE
HW	HARDWOOD
HOWE	HOLLOW
HGT	HEIGHT
HM	HOLLOW METAL

HORIZ	HORIZONTAL
HW	HOT WATER HEATER
ID	INSIDE DIAMETER
IF	INSIDE FACE
IN	INCH
INT	INTERNATIONAL
INCL	INCLUDE
INSUL	INSULATION
JT	JOINT
LAM	LAMINATE
LB	POUND
LH	LEFT HAND
LOUV	LOUVER
LT	LIGHT
LWC	LIGHT WEIGHT CONCRETE

MATL	MATERIAL
MAX	MAXIMUM
MECH	METAL
MTL	METAL MANUFACTURE
MIR	MIRROR
MIS	MISCELLANEOUS
MTO	MOUNTED
MUL	MULLION
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE

OC	ON CENTER
OD	OUTSIDE DIAMETER
OF	OVERFLOW DRAIN
OH	OVER HEAD
OPNG	OPENING
OPP	OPPOSITE
PERF	PERFORATED
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLBG	PLUMBING
PLYWD	PLYWOOD
PNL	PANEL
PR	PAIR
PRCST	PRECAST
PREFAB	PREFABRICATED
PRELIM	PRELIMINARY

PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	POINT
PTD	PAINTED
QTY	QUANTITY
R	RISER
RA	RETURN AIR
RAD	RADIUS
RD	ROOF DRAIN
REF	REFERENCE
REFR	REFRIGERATOR
REIN	REINFORCE
REQD	REQUIRED
REV	REVERSE
RCP	REFLECTED CEILING PLAN

RFC	ROUGH OPENING
RIG	RAILING
RO	ROUGH OPENING
RVL	REVEAL
RWL	RAIN WATER LEADER
SA	SUPPLY AIR
SC	SOLID CORE
SCHED	SCHEDULE
SD	SMOKE DETECTOR
SECT	SECTION
SED	SEE ELECTRICAL DRAWINGS
SEIS	SEISMIC
SF	SQUARE FOOT / FEET
SIM	SIMILAR
SMD	SEE MECHANICAL DRAWINGS

SPD	SEE PLUMBING DRAWINGS
SPEC	SPECIFICATIONS
SPR	SPRINKLER
SQ	SQUARE
SSD	SEE STRUCTURAL DRAWINGS
SST	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYN	SYMMETRICAL
T	TREAD
T&B	TOP AND BOTTOM
THK	THICK

TO...	TO...
TS	TYPICAL
UON	UNLESS OTHERWISE NOTED
UTIL	UTILITY
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WOW	WINDOW
WT	WEIGHT

ADDITION & REMODEL

1359 MINNA STREET
SAN FRANCISCO, CA

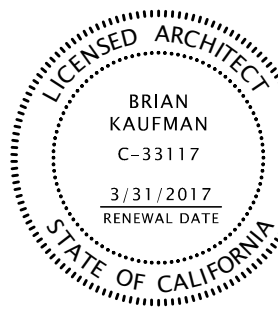


PHOTO MONTAGE

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE:

DATE: 01/29/2016

A0.1



1 MINNA STREET LOOKING WEST



2L MINNA STREET LOOKING EAST
LEFT HALF



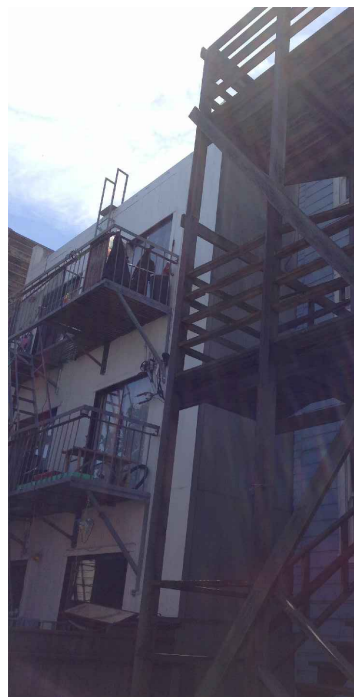
2R MINNA STREET LOOKING EAST
RIGHT HALF



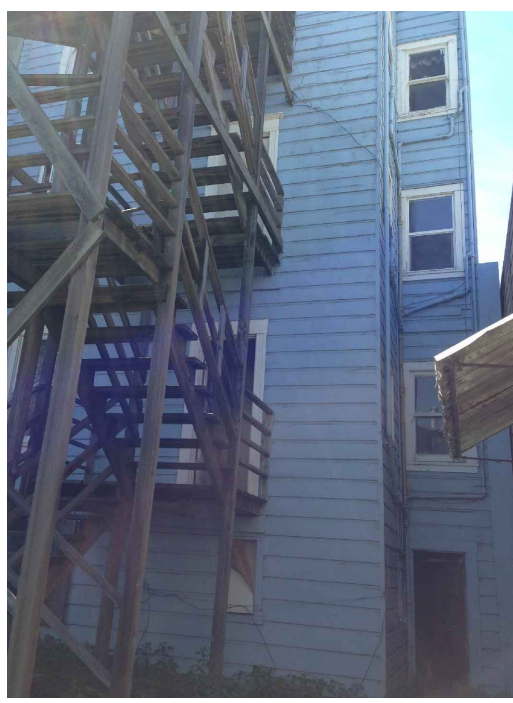
2M MINNA STREET LOOKING EAST
MIDDLE HALF



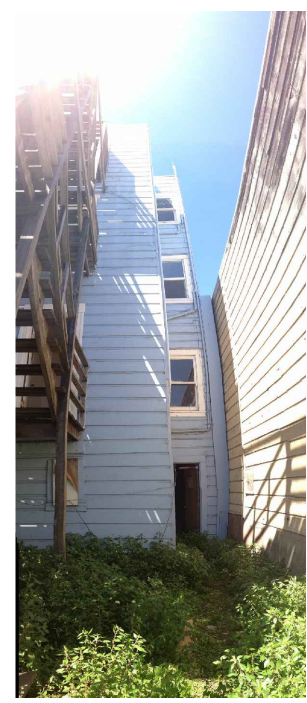
3 EXISTING PROPERTY FRONTAGE



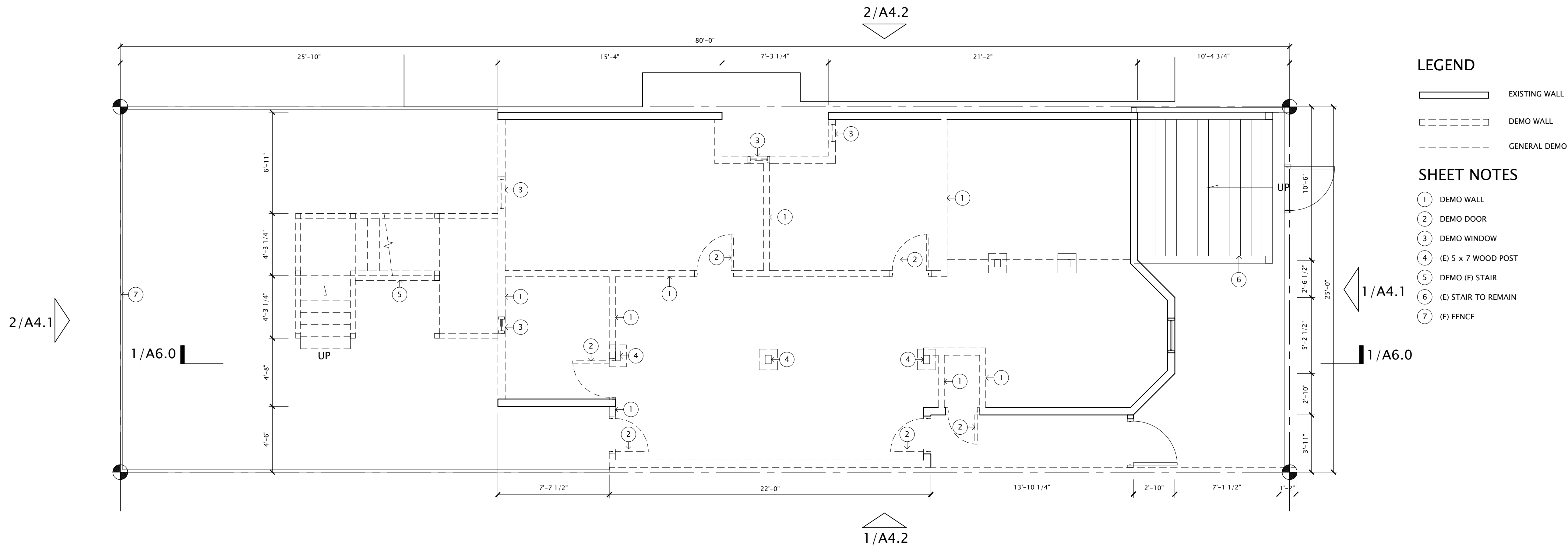
4 EXISTING NEIGHBOR'S REAR – 1363 MINNA



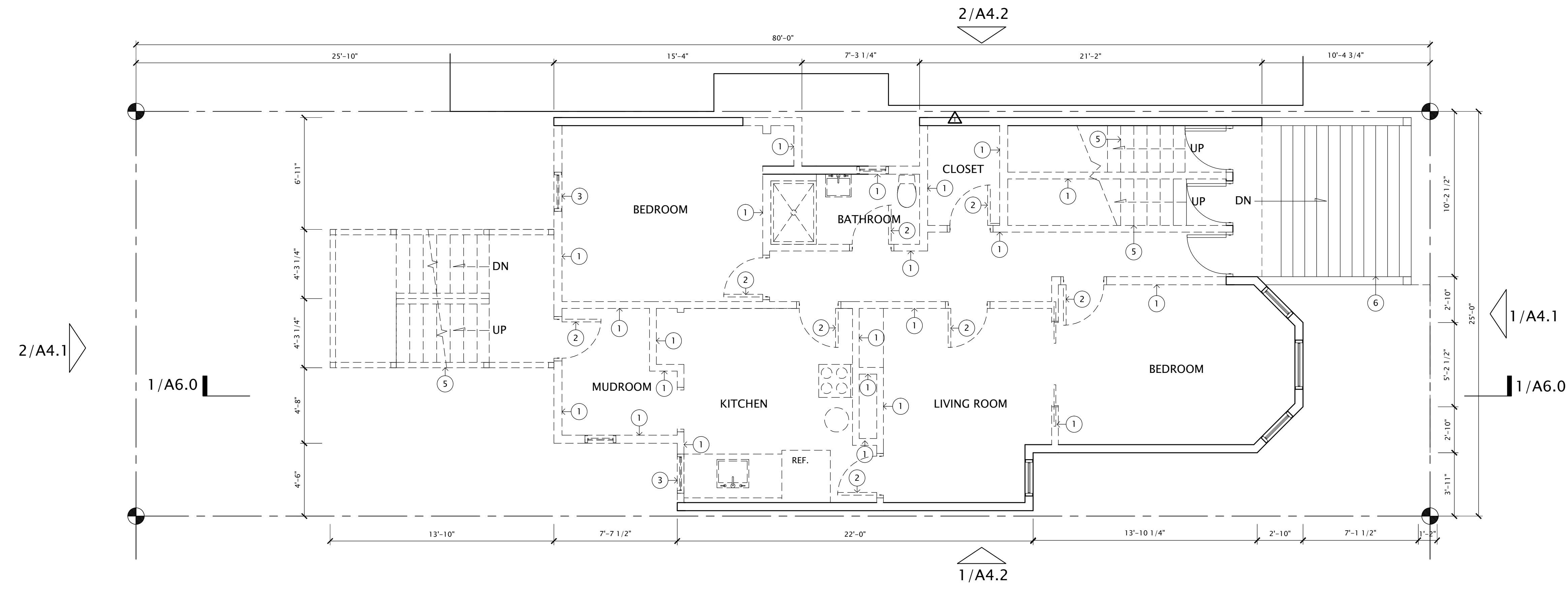
5 EXISTING REAR – 1359 MINNA



6 EXISTING NEIGHBOR'S REAR – 1355 MINNA



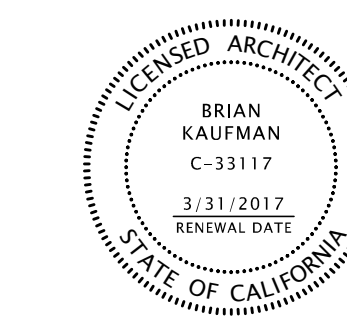
1 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"

BRIAN KAUFMAN DESIGN
77 VAN NESS AVE. #501
SAN FRANCISCO, CA 94102
415.279.6795 (voice) 415.400.5171 (fax)

ADDITION & REMODEL
1359 MINNA STREET
SAN FRANCISCO, CA



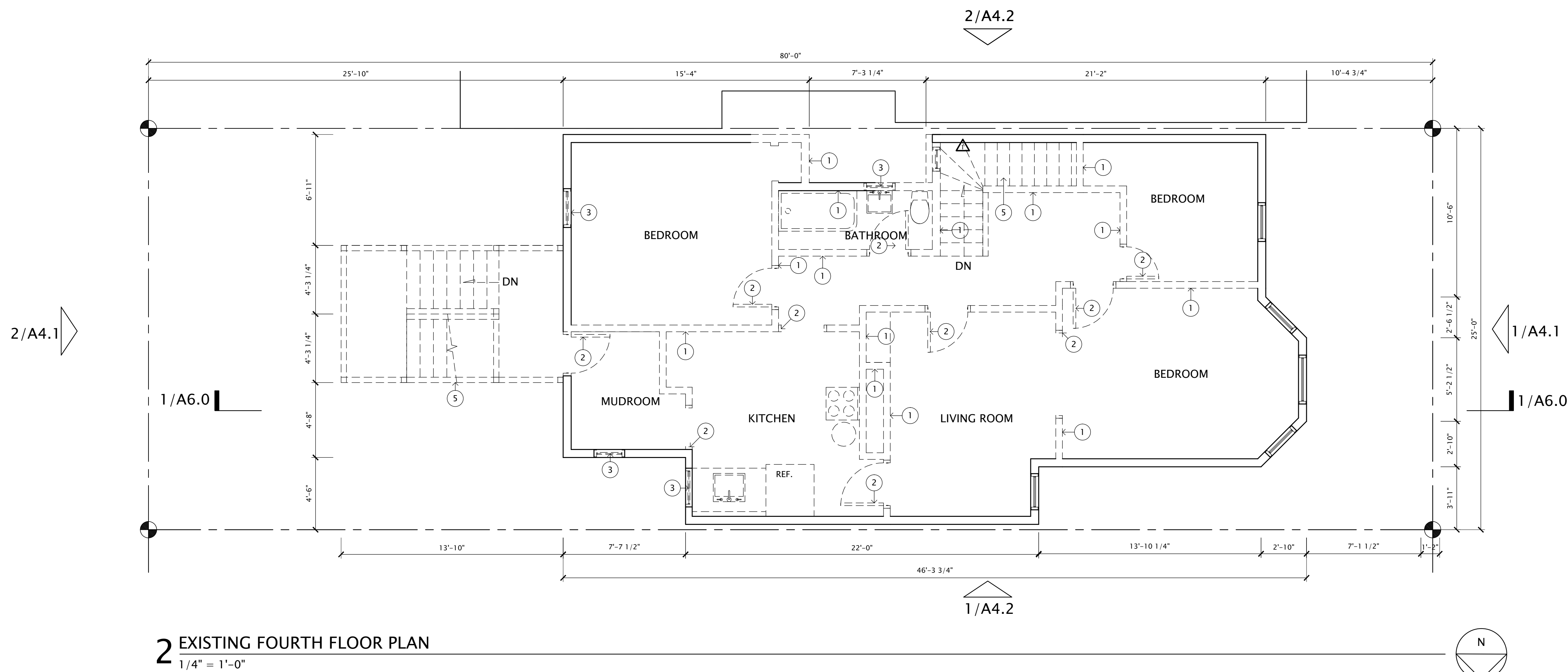
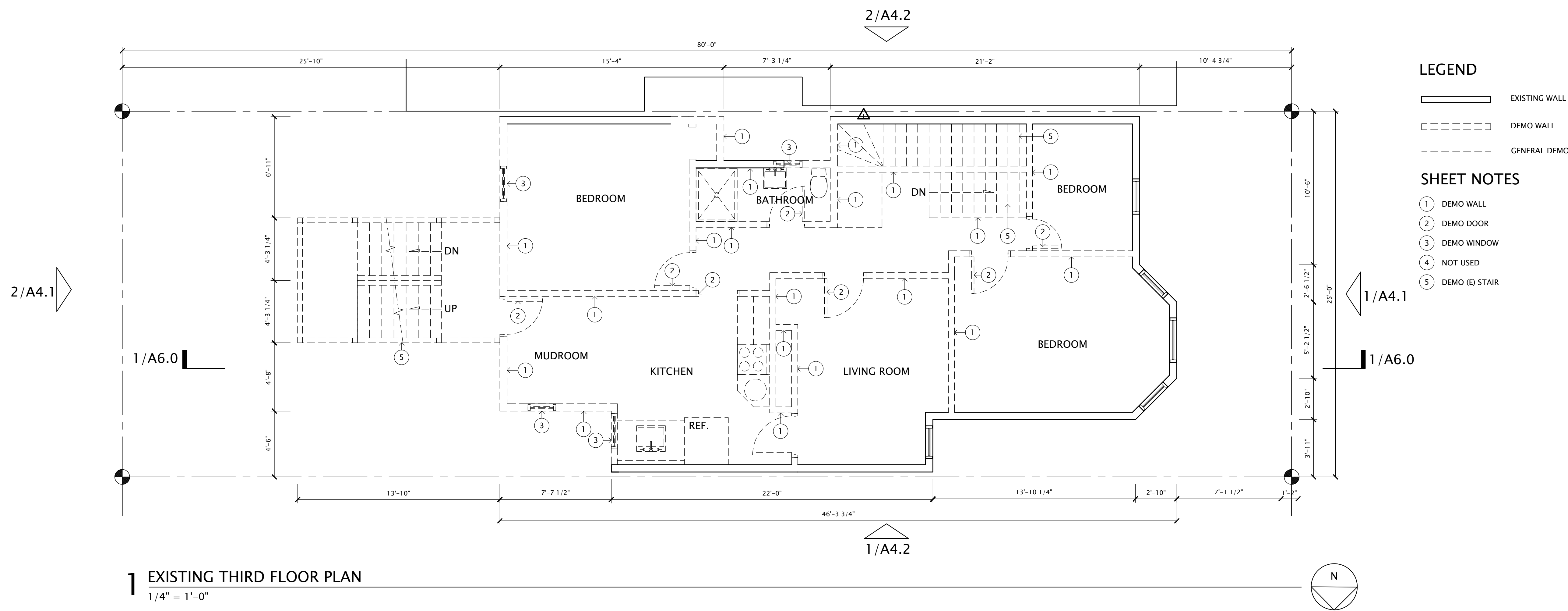
EXISTING FIRST
AND SECOND
FLOOR PLANS

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

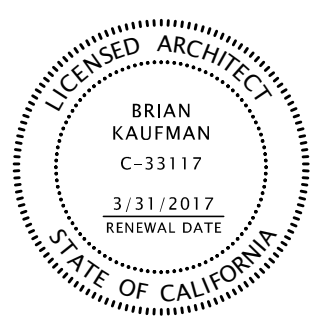
DATE: 01/29/2016

A1.1



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77 VAN NESS AVE. #501
SAN FRANCISCO, CA 94102
415.279.6795 (voice) 415.400.5171 (fax)

ADDITION & REMODEL 1359 MINNA STREET SAN FRANCISCO, CA



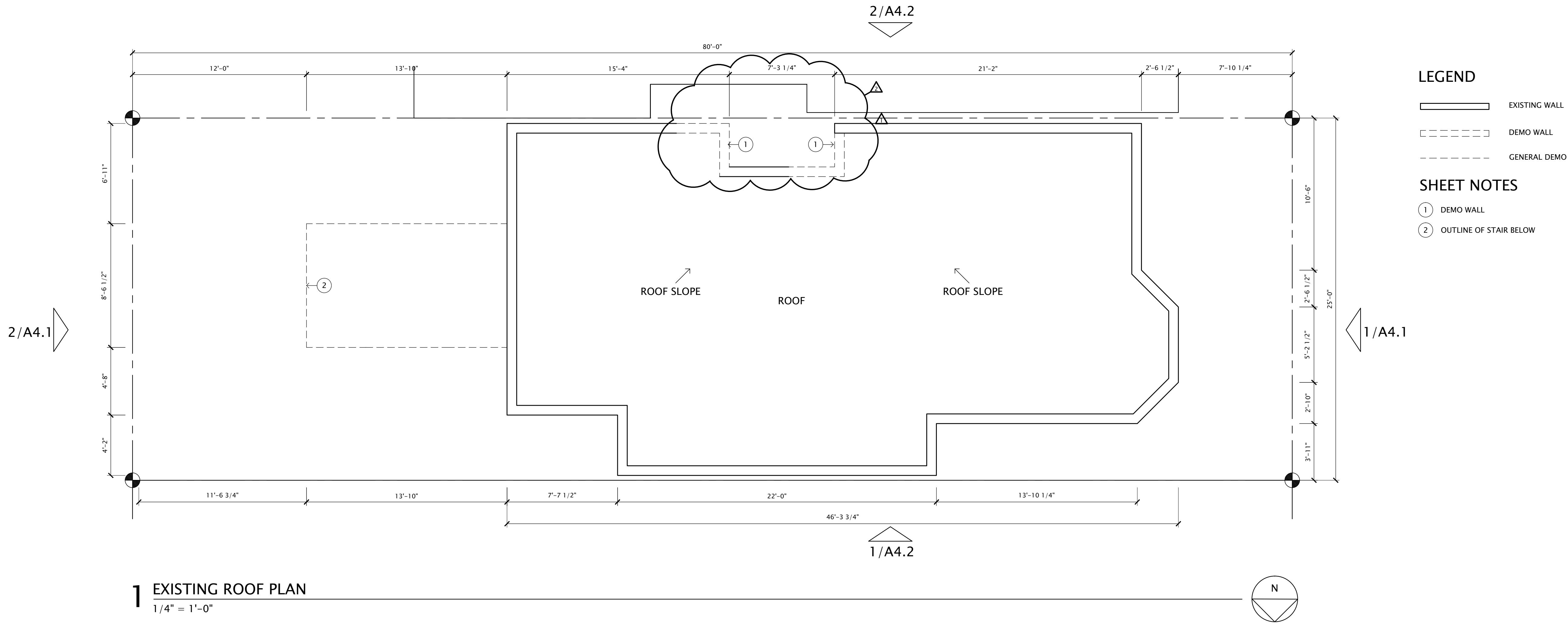
EXISTING THIRD AND FOURTH FLOOR PLANS

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

DATE: 01/29/2016

A1.2



311 DEMOLITION CALCULATIONS

B. REMOVAL OF INTERIOR
STRUCTURAL FRAMEWORK

DEMOLITION OF INTERIOR WALL STRUCTURE		
FLOOR	WALL AREA	WALL AREA TO BE DEMOLISHED
FIRST FLOOR	476.58 SF	476.58 SF
SECOND FLOOR	1384.4 SF	1384.4 SF
THIRD FLOOR	1113.0 SF	1113.0 SF
FOURTH FLOOR	1075.6 SF	1075.6 SF
TOTALS	4031.58 SF	4031.58 SF
PROPOSED DEMO PERCENTAGE	4031.58 SF/4031.58 SF	100% (75% MAX DEMO ALLOWED)

DEMOLITION OF TOTAL INTERIOR FRAMEWORK		
FLOOR	FRAMEWORK AREA	FRAMEWORK TO BE DEMOLISHED
FIRST FLOOR	476.58 SF	476.58 SF
SECOND FLOOR	2292.4 SF	2292.4 SF
THIRD FLOOR	2021 SF	2021 SF
FOURTH FLOOR	1938.6 SF	1938.6 SF
ROOF	908 SF	908 SF
TOTALS	7636.58 SF	7636.58 SF
PROPOSED DEMO PERCENTAGE	7636.58 SF/7636.58 SF	100% (75% MAX DEMO ALLOWED)

317 DEMOLITION CALCULATIONS

B. REMOVAL OF EXTERIOR WALLS

DEMOLITION OF FRONT AND REAR WALLS MEASURED AT FOUNDATION		
ELEVATION	LINEAR FEET	LINEAR FEET TO BE DEMOLISHED
FRONT (WEST) ELEVATION	40'-4 1/2"	5'-4"
REAR (EAST) ELEVATION	31'-11"	31'-11"
TOTALS	72'-3 1/2"	37'-3"
PROPOSED DEMO PERCENTAGE	37'-3"/72'-3 1/2"	51.5% (50% MAX DEMO ALLOWED)

DEMOLITION OF EXTERIOR WALLS MEASURED AT FOUNDATION		
ELEVATION	LINEAR FEET	LINEAR FEET TO BE DEMOLISHED
FRONT (WEST) ELEVATION	40'-4 1/2"	5'-4"
REAR (EAST) ELEVATION	31'-11"	31'-11"
SIDE (NORTH) ELEVATION	22'-0"	22'-0"
SIDE (SOUTH) ELEVATION	43'-9 1/4"	10'-11"
TOTALS	138'- 3/4"	70'-2"
PROPOSED DEMO PERCENTAGE	70'-2"/138'- 3/4"	50.8% (65% MAX DEMO ALLOWED)

C. REMOVAL OF VERTICAL AND
HORIZONTAL ELEMENTS

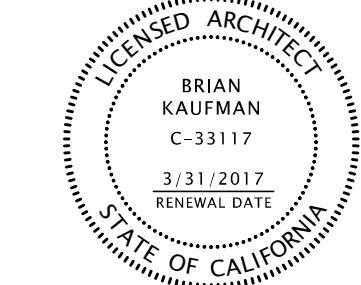
DEMOLITION OF EXTERIOR VERTICAL ENVELOPE ELEMENTS		
FLOOR	WALL AREA	WALL AREA TO BE DEMOLISHED
FRONT (WEST) ELEVATION	959.5 SF	8.315 SF
REAR (EAST) ELEVATION	959.5 SF	766.23 SF
SIDE (NORTH) ELEVATION	1717.4 SF	330.4 SF
SIDE (SOUTH) ELEVATION	1717.4 SF	322.9 SF
TOTALS	5353.8 SF	1427.84
PROPOSED DEMO PERCENTAGE	1407.56 SF/5353.8 SF	26.6% (50% MAX DEMO ALLOWED)

DEMOLITION OF HORIZONTAL ELEMENTS		
FLOOR	WALL AREA	WALL AREA TO BE DEMOLISHED
FIRST FLOOR	908 SF	908 SF
SECOND FLOOR	908 SF	908 SF
THIRD FLOOR	908 SF	908 SF
FOURTH FLOOR	908 SF	908 SF
ROOF	908 SF	908 SF
TOTALS	4540 SF	4540 SF
PROPOSED DEMO PERCENTAGE	4540 SF/4540 SF	100% (50% MAX DEMO ALLOWED)

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77 VAN NESS AVE. #501
SAN FRANCISCO, CA 94102
415.279.6795 (voice) 415.400.5171 (fax)

ADDITION & REMODEL

1359 MINNA STREET
SAN FRANCISCO, CA



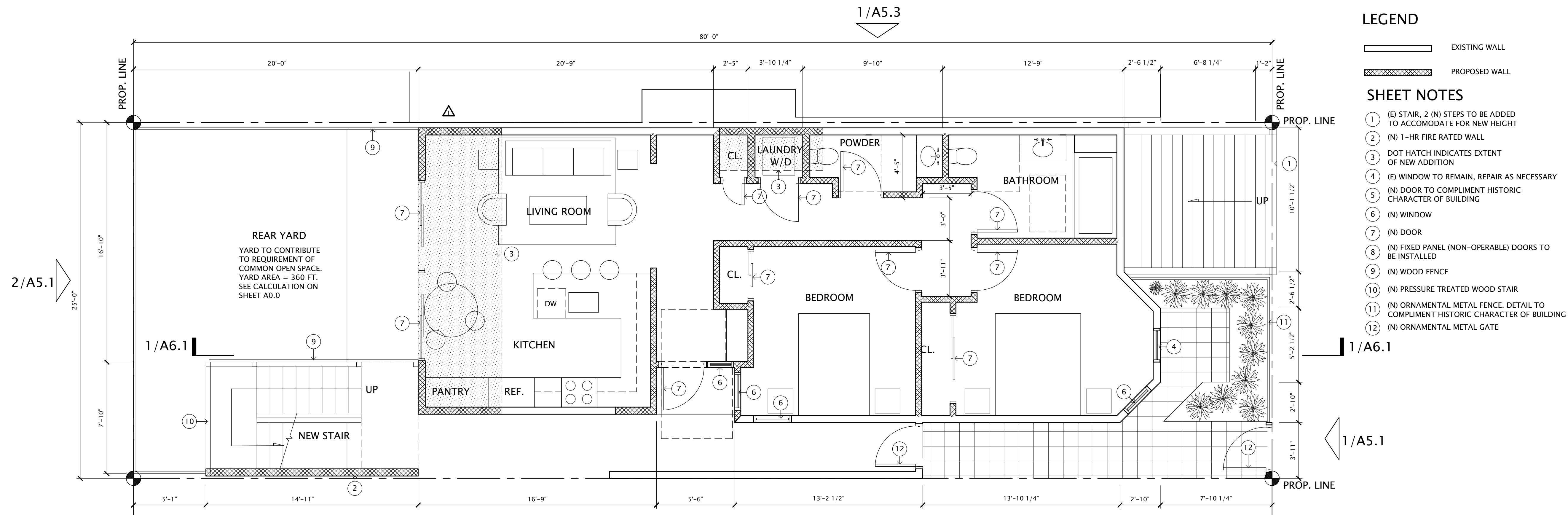
EXISTING ROOF
PLAN & DEMO
CALCS

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

DATE: 01/29/2016

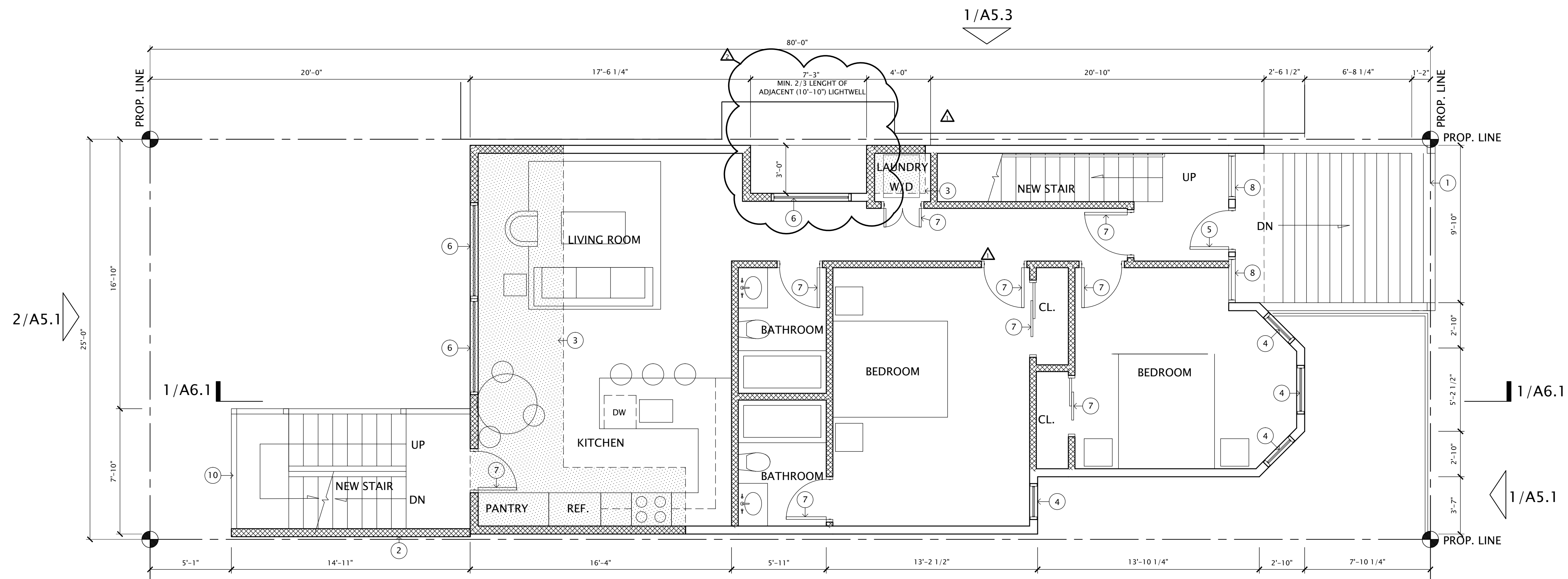
A1.3



1 PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0"

NOTE: FIRST FLOOR UNIT SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF ACCESSIBLE/ADAPTABLE DESIGN PER REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND CHAPTER 11A OF THE CALIFORNIA BUILDING CODE. DETAILS FOR ACCESSIBILITY DESIGN REQUIREMENTS SHALL BE PROVIDED WITH THE BUILDING PERMIT ADDENDA FOR THIS PERMIT APPLICATION.



2 PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

LEGEND

- EXISTING WALL
- PROPOSED WALL

SHEET NOTES

- (E) STAIR, 2 (N) STEPS TO BE ADDED TO ACCOMMODATE FOR NEW HEIGHT
- (N) 1-HR FIRE RATED WALL
- DOT HATCH INDICATES EXTENT OF NEW ADDITION
- (E) WINDOW TO REMAIN, REPAIR AS NECESSARY
- (N) DOOR TO COMPLIMENT HISTORIC CHARACTER OF BUILDING
- (N) WINDOW
- (N) DOOR
- (N) FIXED PANEL (NON-OPERABLE) DOORS TO BE INSTALLED
- (N) WOOD FENCE
- (N) PRESSURE TREATED WOOD STAIR
- (N) ORNAMENTAL METAL FENCE. DETAIL TO COMPLIMENT HISTORIC CHARACTER OF BUILDING
- (N) ORNAMENTAL METAL GATE

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77 VAN NESS AVE. #501
SAN FRANCISCO, CA 94102
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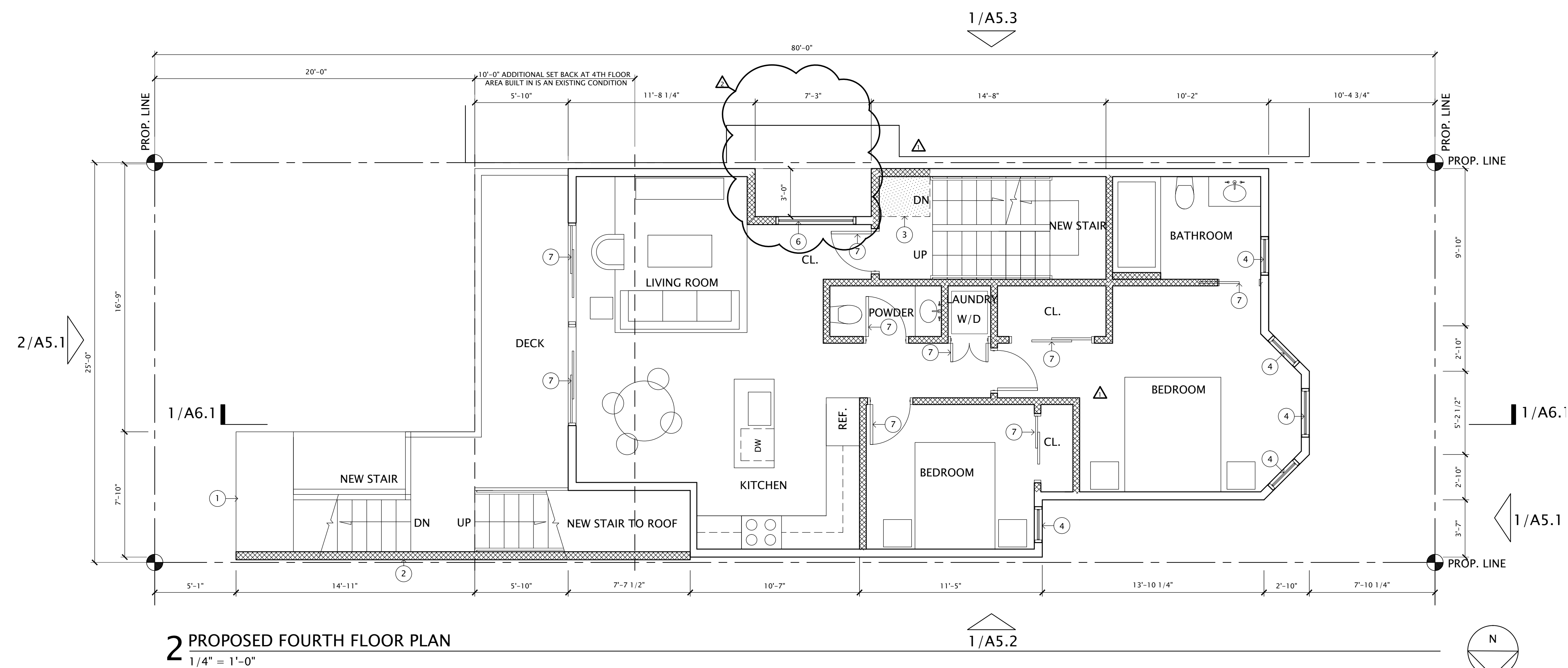
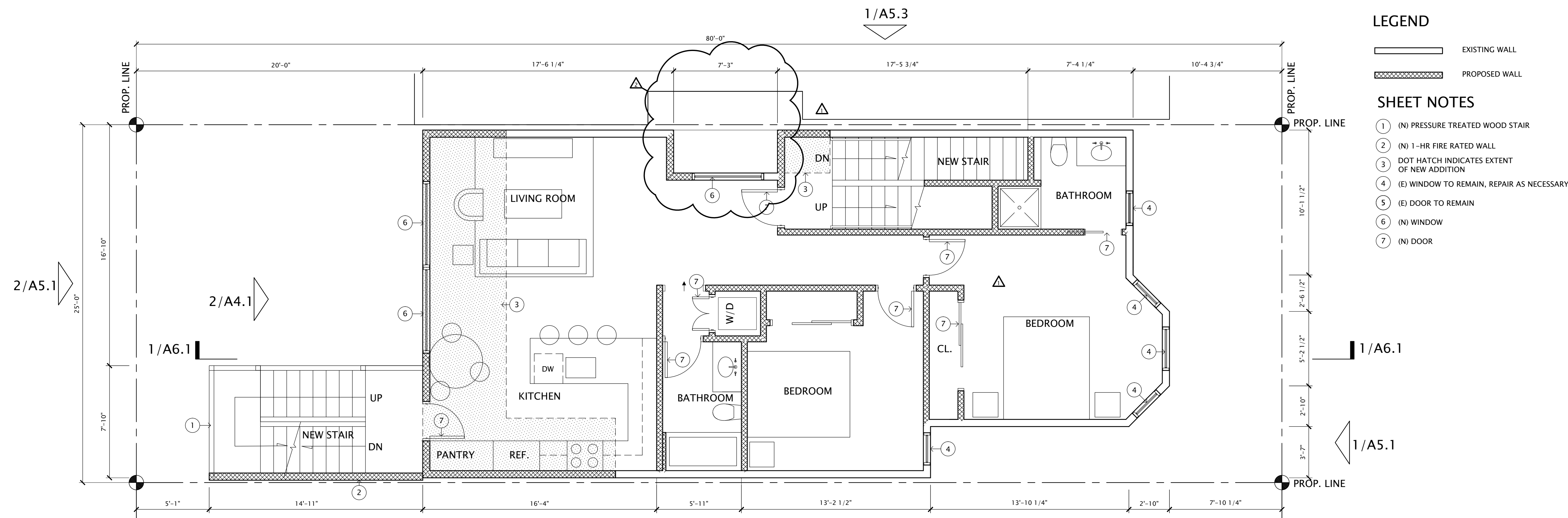
PROPOSED FIRST AND SECOND FLOOR PLANS

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

DATE: 01/29/2016

A2.1



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77 VAN NESS AVE. #501
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PROPOSED THIRD AND FOURTH FLOOR PLANS

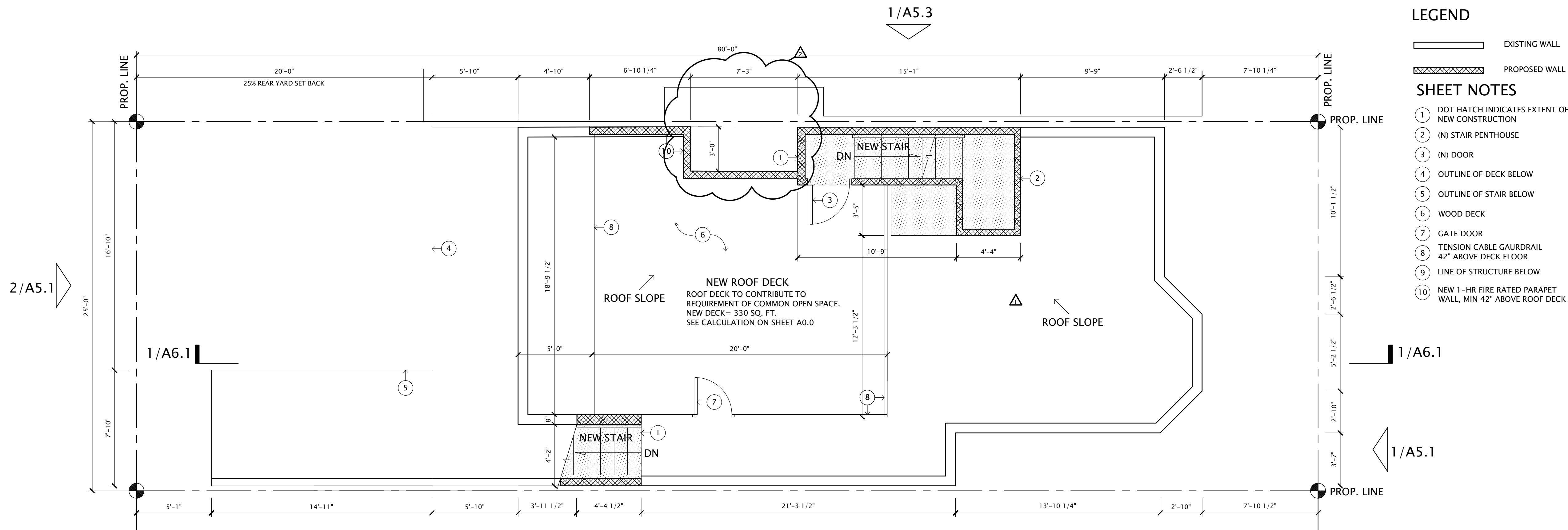
DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

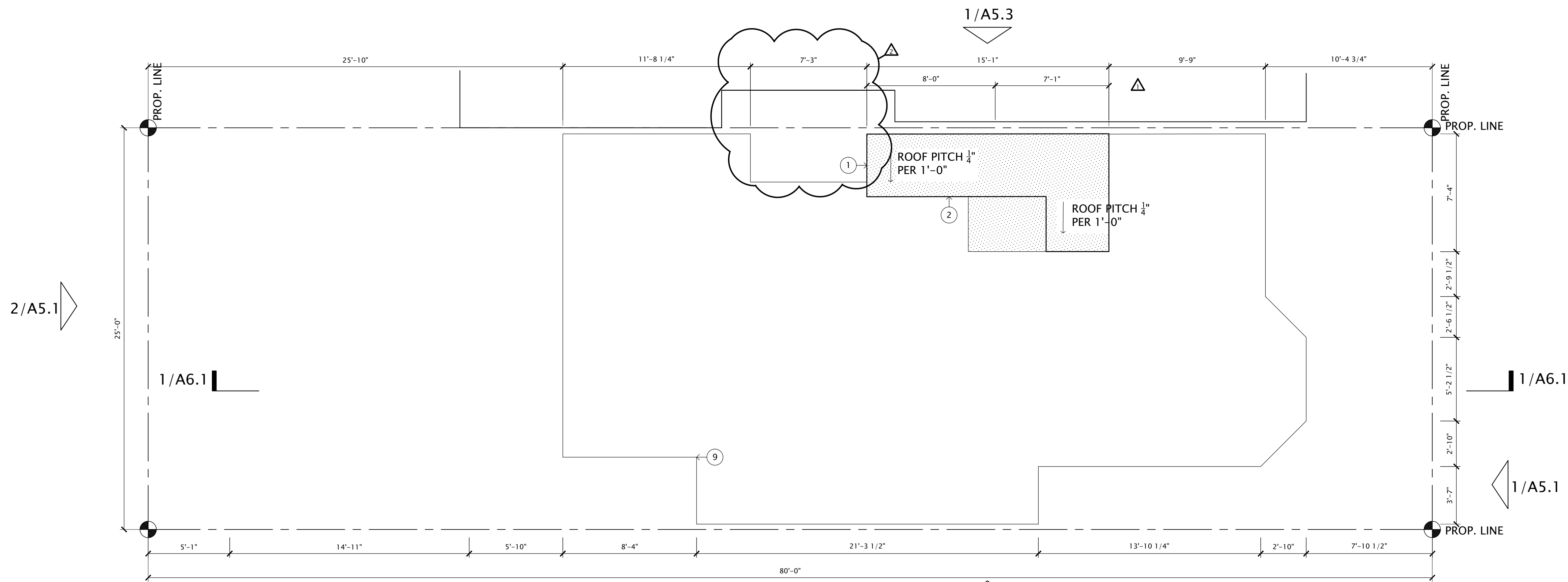
DATE: 01/29/2016

A2.2

PROPOSED THIRD AND FOURTH FLOOR PLANS



1 PROPOSED ROOF PLAN
1/4" = 1'-0"



2 PROPOSED PENTHOUSE ROOF PLAN
1/4" = 1'-0"

LEGEND

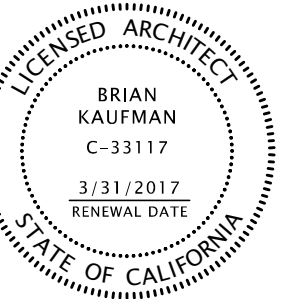
- EXISTING WALL
- PROPOSED WALL

SHEET NOTES

- DOT HATCH INDICATES EXTENT OF NEW CONSTRUCTION
- (N) STAIR PENTHOUSE
- (N) DOOR
- OUTLINE OF DECK BELOW
- OUTLINE OF STAIR BELOW
- WOOD DECK
- GATE DOOR
- TENSION CABLE GAURDRAIL 42" ABOVE DECK FLOOR
- LINE OF STRUCTURE BELOW
- NEW 1-HR. FIRE RATED PARAPET WALL, MIN 42" ABOVE ROOF DECK

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77 VAN NESS AVE. #501
SAN FRANCISCO, CA 94102
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PROPOSED ROOF PLANS

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

DATE: 01/29/2016

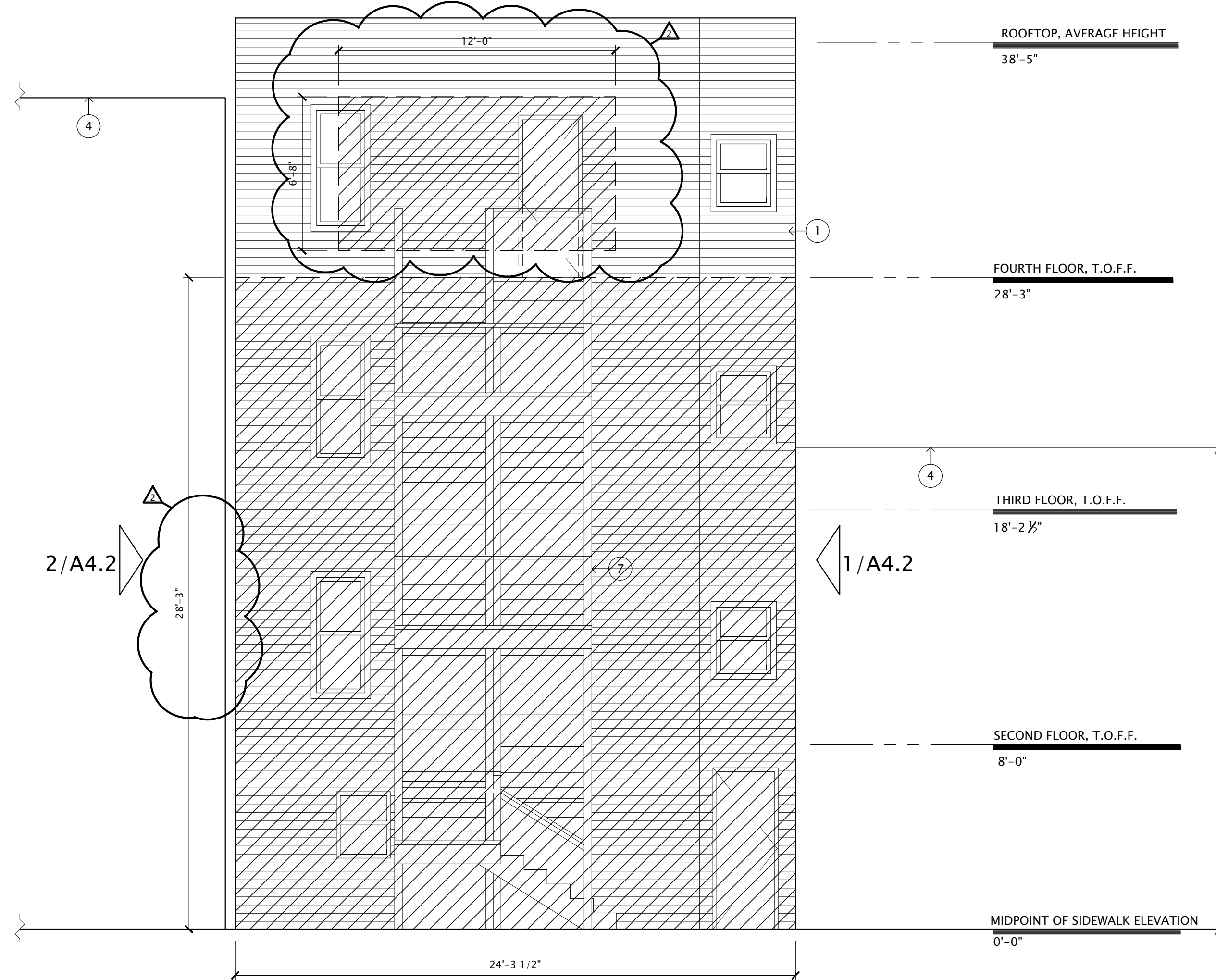
A2.3



1 EXISTING FRONT (WEST) ELEVATION
1/4" = 1'-0"

SHEET NOTES

- ① (E) WOOD-PAINTED SIDING
- ② DECORATIVE CORNICE
- ③ DECORATIVE WOOD TRIM
- ④ PROFILE OF NEIGHBOR'S BUILDING
- ⑤ (E) FENCING
- ⑥ (E) WINDOW TRIM
- ⑦ (E) WOODEN STAIR
- DEMOLITION AREA

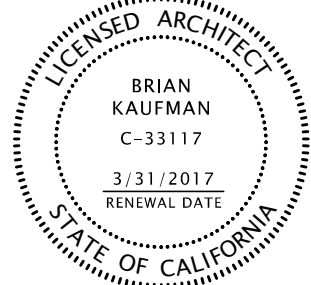


2 EXISTING REAR (EAST) ELEVATION
1/4" = 1'-0"

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SAN FRANCISCO, CA 94102
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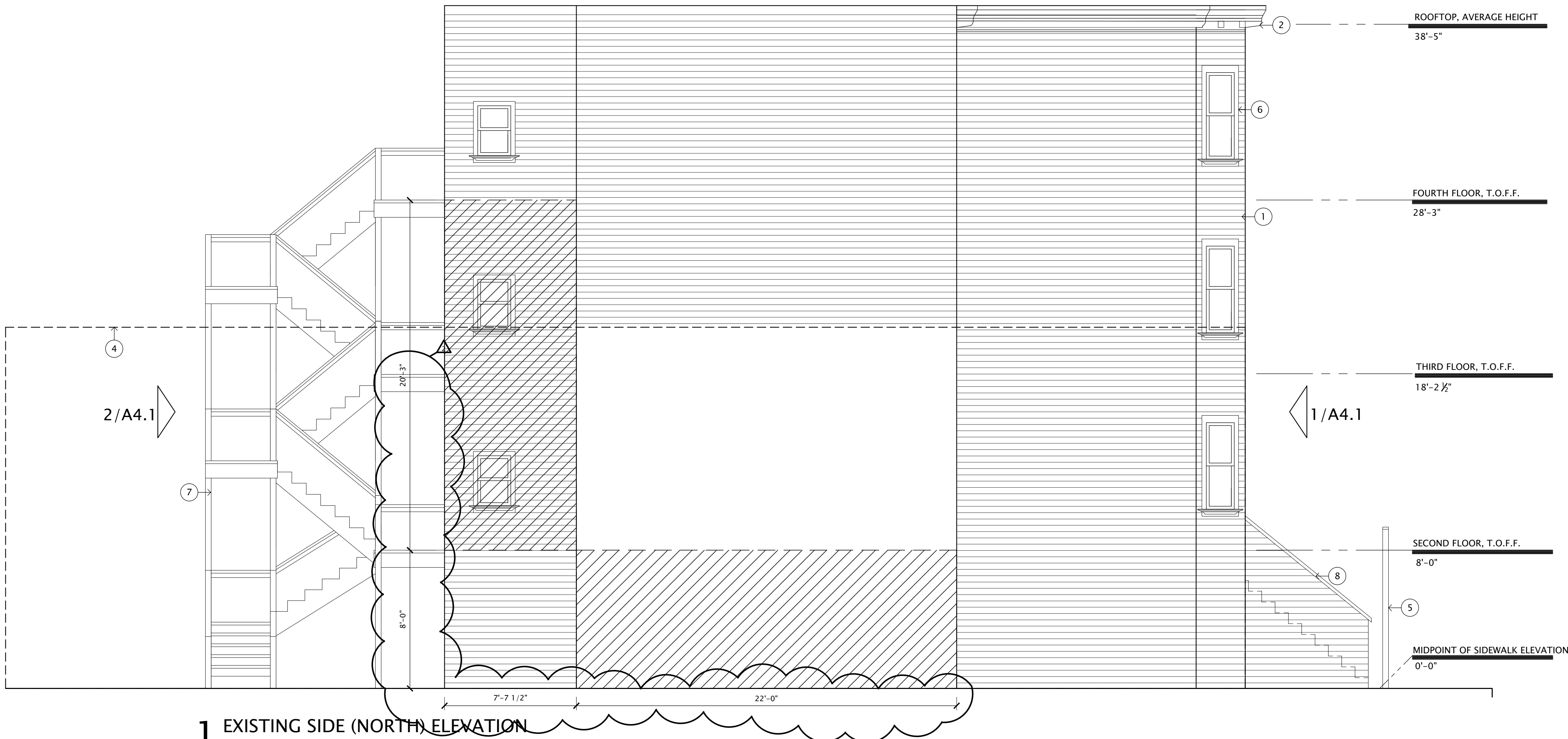
**EXISTING
ELEVATIONS
FRONT & REAR –
WEST & EAST**

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

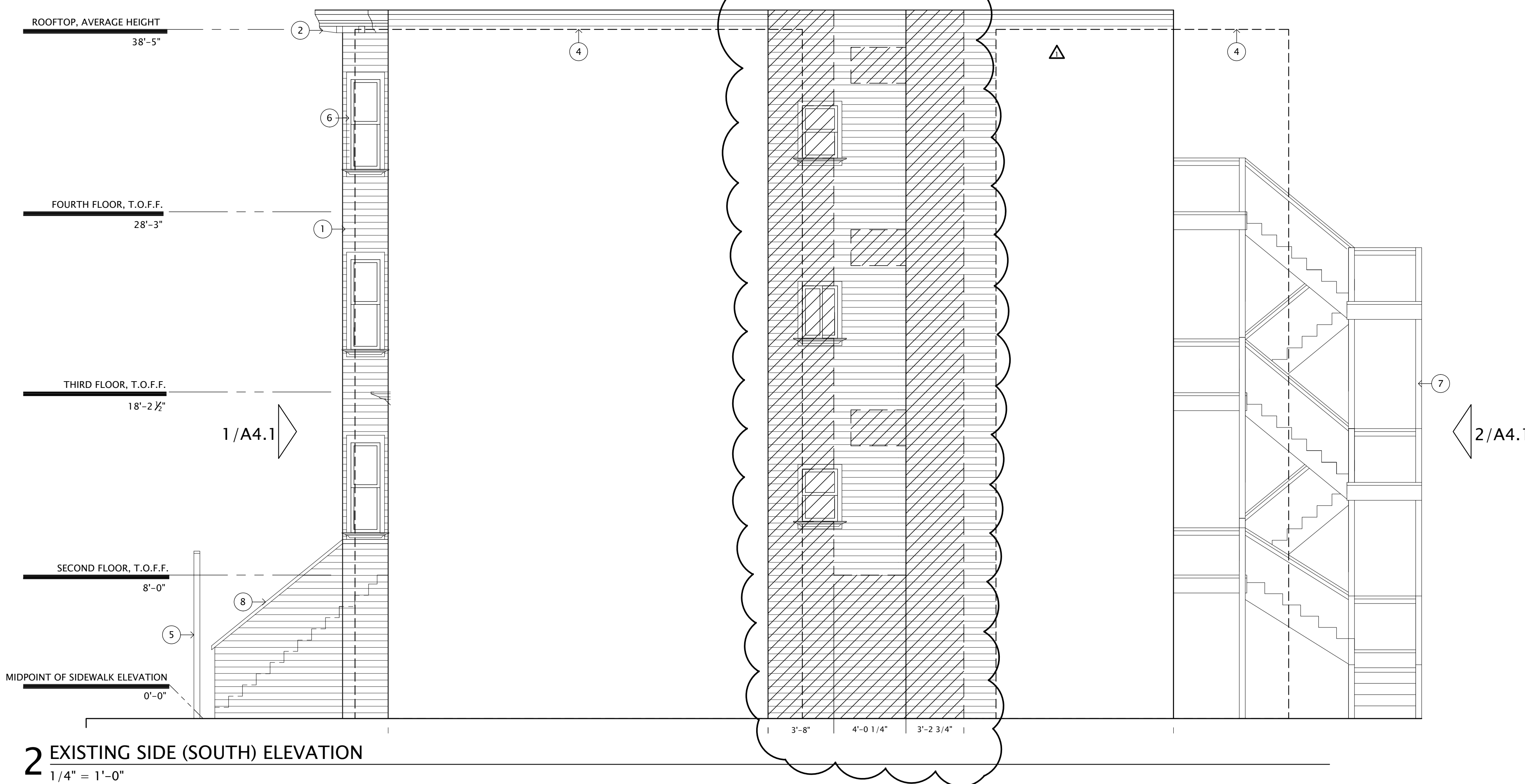
SCALE: 1/4" = 1'-0"

DATE: 01/29/2016

A4.1



1 EXISTING SIDE (NORTH) ELEVATION
1/4" = 1'-0"



2 EXISTING SIDE (SOUTH) ELEVATION
1/4" = 1'-0"

- SHEET NOTES**
- ① (E) WOOD-PAINTED SIDING
 - ② DECORATIVE CORNICE
 - ③ DECORATIVE WOOD TRIM
 - ④ PROFILE OF NEIGHBOR'S BUILDING
 - ⑤ (E) FENCING
 - ⑥ (E) WINDOW TRIM
 - ⑦ (E) WOODEN STAIR
 - ⑧ (E) DECORATIVE HANDRAIL
-  DEMOLITION AREA

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77 VAN NESS AVE. #501
SAN FRANCISCO, CA 94102
415.279.6795 (voice) 415.400.5171 (fax)

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EXISTING SIDE ELEVATIONS – SOUTH & NORTH

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

DATE: 01/29/2016

A4.2

ADDITION & REMODEL

1359 MINNA STREET
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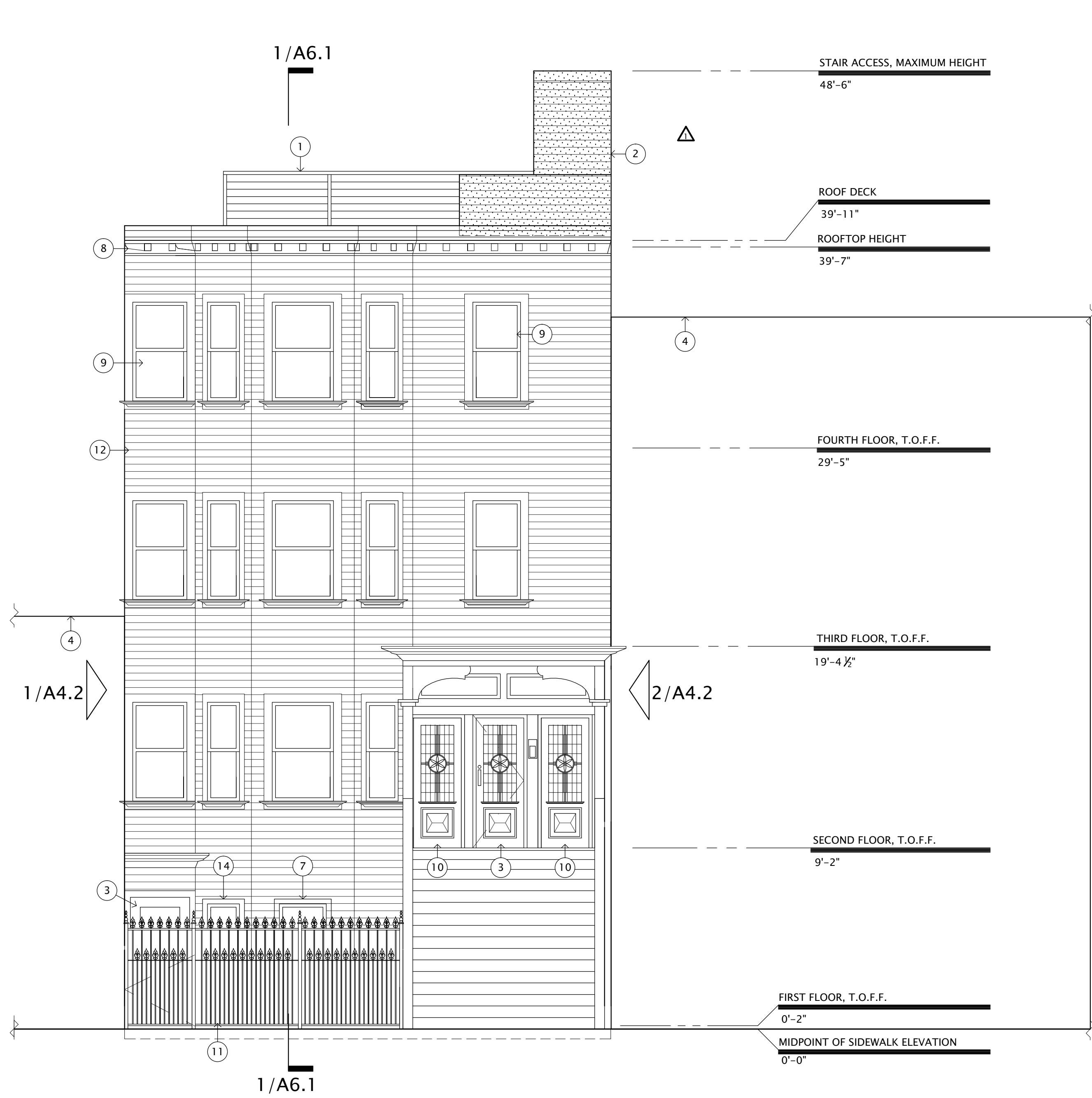
PROPOSED
ELEVATIONS
FRONT & REAR –
WEST & EAST

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

DATE: 01/29/2016

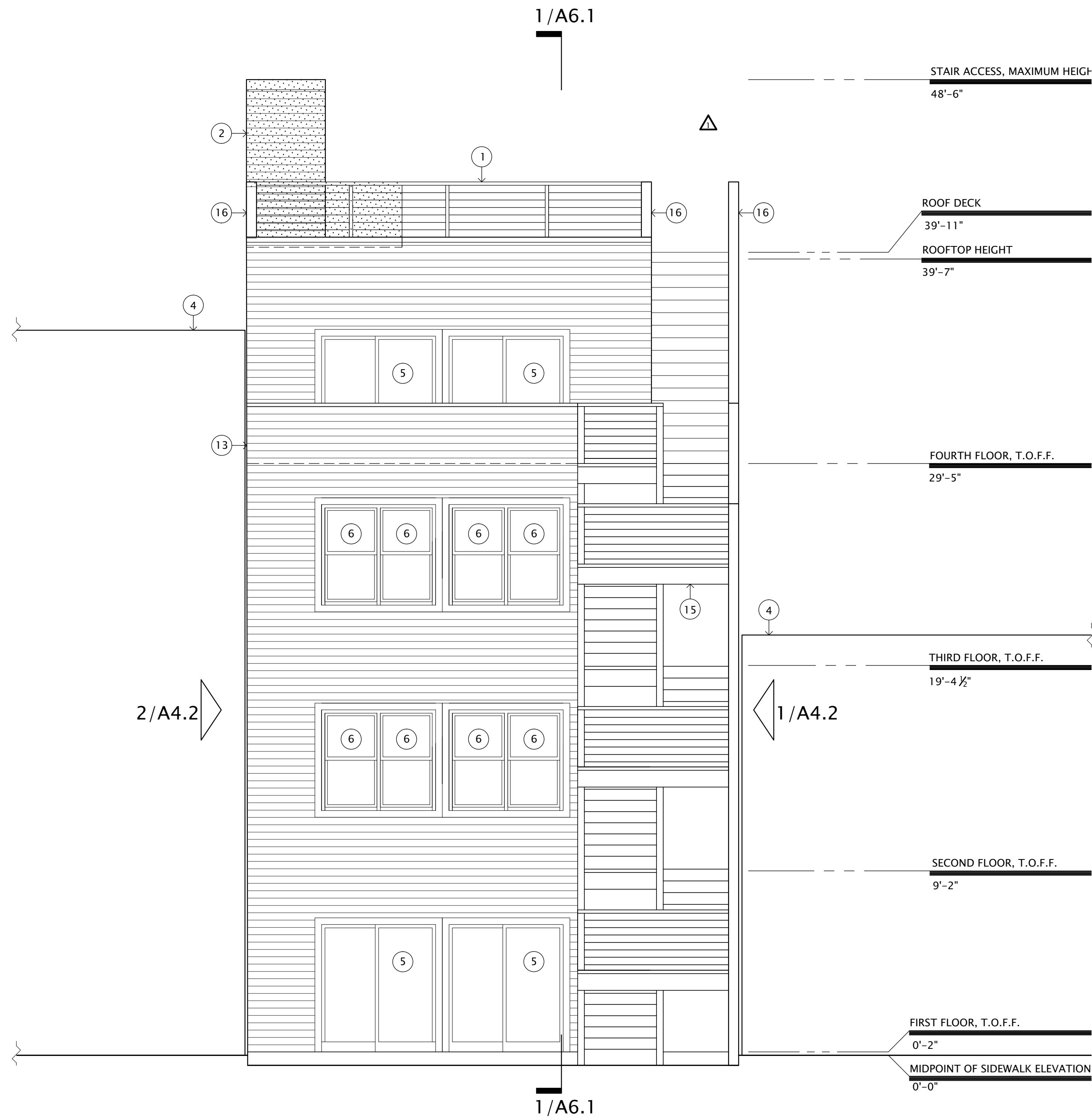
A5.1



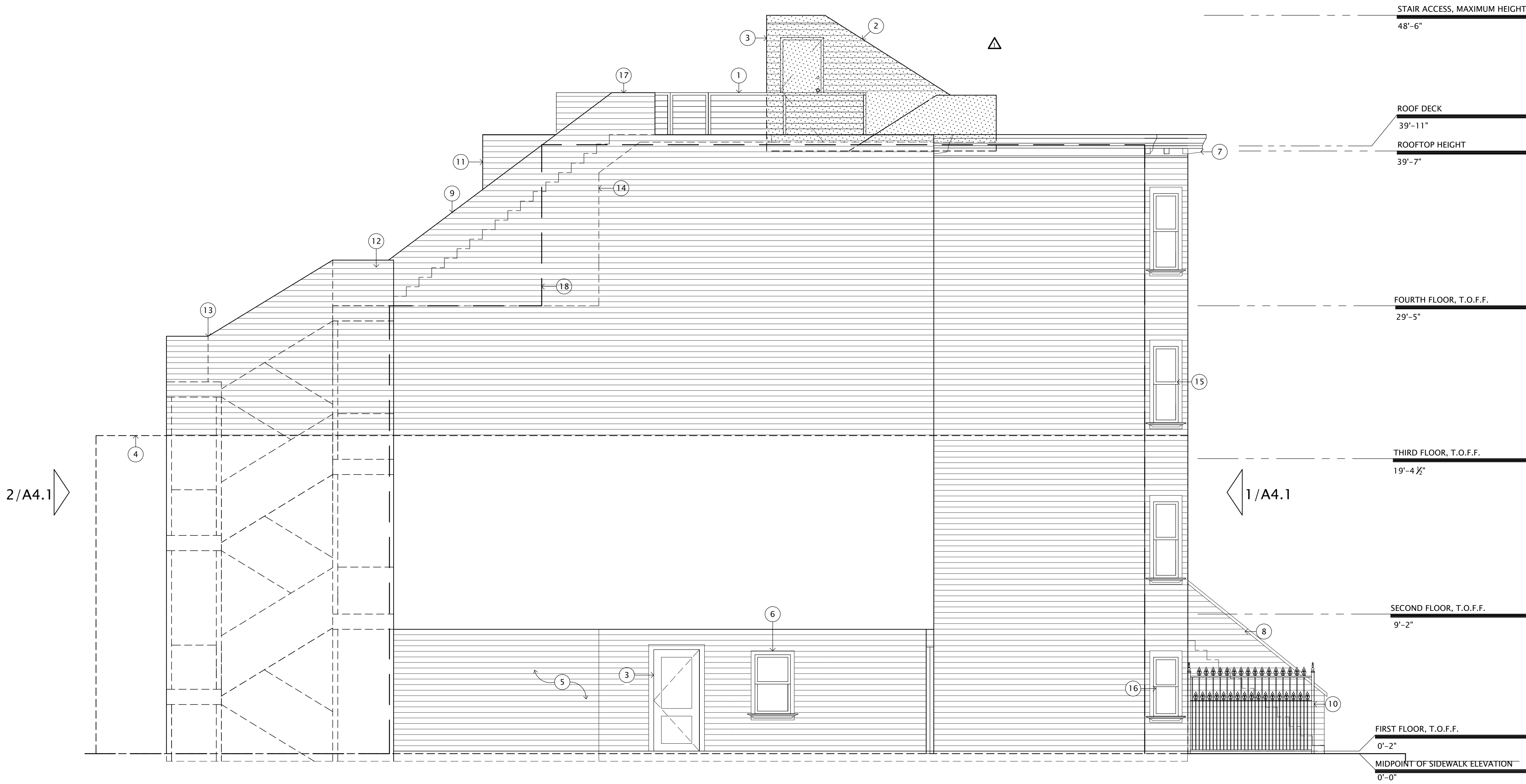
1 PROPOSED FRONT (WEST) ELEVATION
1/4" = 1'-0"

ELEVATION SHEET NOTES

- | | | |
|--|--|--|
| 1 TENSION CABLE HANDRAIL FOR ROOF DECK | 8 (E) DECORATIVE CORNICE | 15 (N) PRESSURE TREATED WOOD STAIR |
| 2 (N) STAIR PENTHOUSE, HATCH INDICATES NEW CONSTRUCTION | 9 (E) DOUBLE HUNG WINDOW TO REMAIN, REPAIR AS NECESSARY, TYP. | 16 (N) 1-HR RATED PARAPET WALL, MIN. 42" ABOVE ROOF DECK |
| 3 (N) DOOR, TO COMPLIMENT HISTORIC CHARACTER OF BUILDING | 10 (E) FIXED PANEL (NON-OPERABLE) DOOR TO BE INSTALLED IN LOCATION OF EXISTING DOORS. DOORS TO COMPLIMENT HISTORIC CHARACTER OF BUILDING | |
| 4 OUTLINE OF NEIGHBOR'S BUILDING | 11 (N) ORNAMENTAL METAL FENCE. DETAIL TO COMPLIMENT HISTORIC CHARACTER OF BUILDING | |
| 5 (N) SLIDING GLASS DOORS | 12 (E) WOOD SIDING, TO BE REPAIRED & REPAINTED | |
| 6 (N) WOOD WINDOWS | 13 (N) WOOD PAINTED SIDING TO MATCH EXISTING | |
| 7 (E) WINDOW BEYOND RAILING | 14 (N) WINDOW BEYOND | |



2 PROPOSED REAR (EAST) ELEVATION
1/4" = 1'-0"



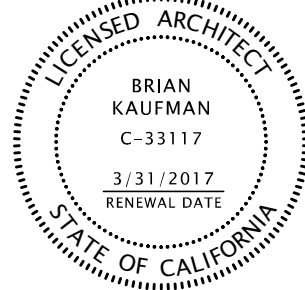
1 PROPOSED SIDE (NORTH) ELEVATION
1/4" = 1'-0"

ELEVATION SHEET NOTES

- | | | |
|---|---|---|
| ① TENSION CABLE HANDRAIL | ⑦ (E) DECORATIVE CORNICE | ⑬ (N) 1-HR FIRE RATED WALL |
| ② (N) STAIR PENTHOUSE, HATCH INDICATES NEW CONSTRUCTION | ⑧ (E) WOOD PAINTED RAILING | ⑭ WALL PROFILE BEYOND |
| ③ (N) DOOR | ⑨ (N) SOLID WALL | ⑮ (E) DOUBLE HUNG WINDOW TO REMAIN, REPAIR AS NECESSARY |
| ④ OUTLINE OF NEIGHBOR'S BUILDING | ⑩ (N) ORNAMENTAL METAL FENCE. DETAIL TO COMPLIMENT HISTORIC CHARACTER OF BUILDING | ⑯ (N) PAINTED DOUBLE HUNG WOOD WINDOW |
| ⑤ (N) ENTRY CORRIDOR | ⑪ (E) WOOD SIDING, TO BE REPAIRED & REPAINTED | ⑰ (N) 1-HR RATED PARAPET WALL, MIN. 42" ABOVE ROOF DECK |
| ⑥ (N) WOOD WINDOWS | ⑫ (N) WOOD PAINTED SIDING TO MATCH EXISTING | ⑱ BUILDING ENVELOPE BOUNDARY LINE |

ADDITION & REMODEL

1359 MINNA STREET
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**PROPOSED SIDE
ELEVATION –
NORTH**

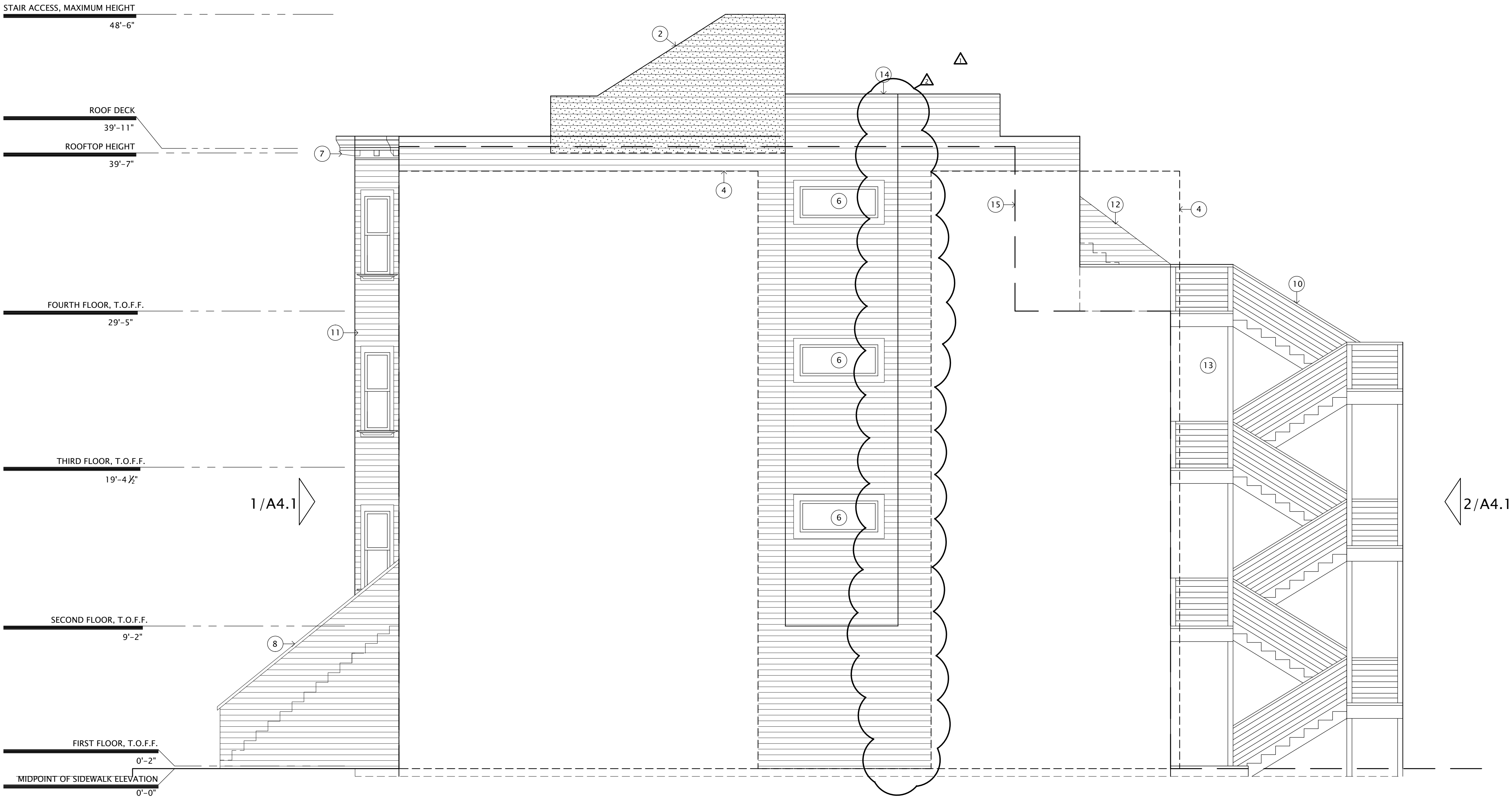
DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

DATE: 01/29/2016

A5.2

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SAN FRANCISCO, CA 94102
415.279.6795 (voice) 415.400.5171 (fax)



1 PROPOSED SIDE (SOUTH) ELEVATION
1/4" = 1'-0"

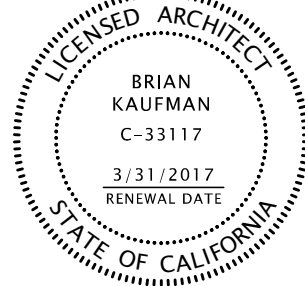
ELEVATION SHEET NOTES

- | | |
|---|---|
| ① TENSION CABLE HANDRAIL | ⑦ (E) DECORATIVE CORNICE |
| ② (N) STAIR PENTHOUSE, HATCH INDICATES NEW CONSTRUCTION | ⑧ (E) WOOD PAINTED RAILING |
| ③ NOT USED | ⑨ NOT USED |
| ④ PROFILE OF NEIGHBOR'S BUILDING | ⑩ (N) PRESSURE TREATED WOOD STAIR |
| ⑤ (N) ENTRY CORRIDOR | ⑪ (E) WOOD SIDING, TO BE REPAIRED & REPAINTED |
| ⑥ (N) ALUMINUM CLAD WOOD WINDOWS | ⑫ (N) WOOD PAINTED SIDING TO MATCH EXISTING |

- | |
|--|
| ⑬ (N) 1-HR FIRE RATED WALL BEYOND |
| ⑭ NEW 1-HR FIRE RATED PARAPET WALL, MIN. 42" ABOVE ROOF DECK |
| ⑮ BUILDING ENVELOPE BOUNDARY LINE |

ADDITION & REMODEL

1359 MINNA STREET
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**PROPOSED SIDE
ELEVATION –
SOUTH**

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

DATE: 01/29/2016

A5.3

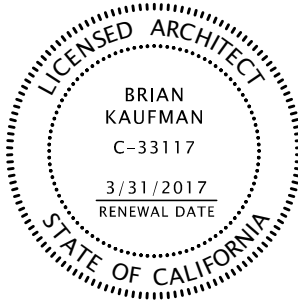
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77 VAN NESS AVE. #501
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415.279.6795 (voice) 415.400.5171 (fax)



1 PROPOSED FRONT ELEVATION W/ADJACENT BUILDINGS
1/4" = 1'-0"

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77 VAN NESS AVE. #501
SAN FRANCISCO, CA 94102
415.279.6795 (voice) 415.400.5171 (fax)

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**STREET
ELEVATIONS WITH
ADJACENT
BUILDINGS**

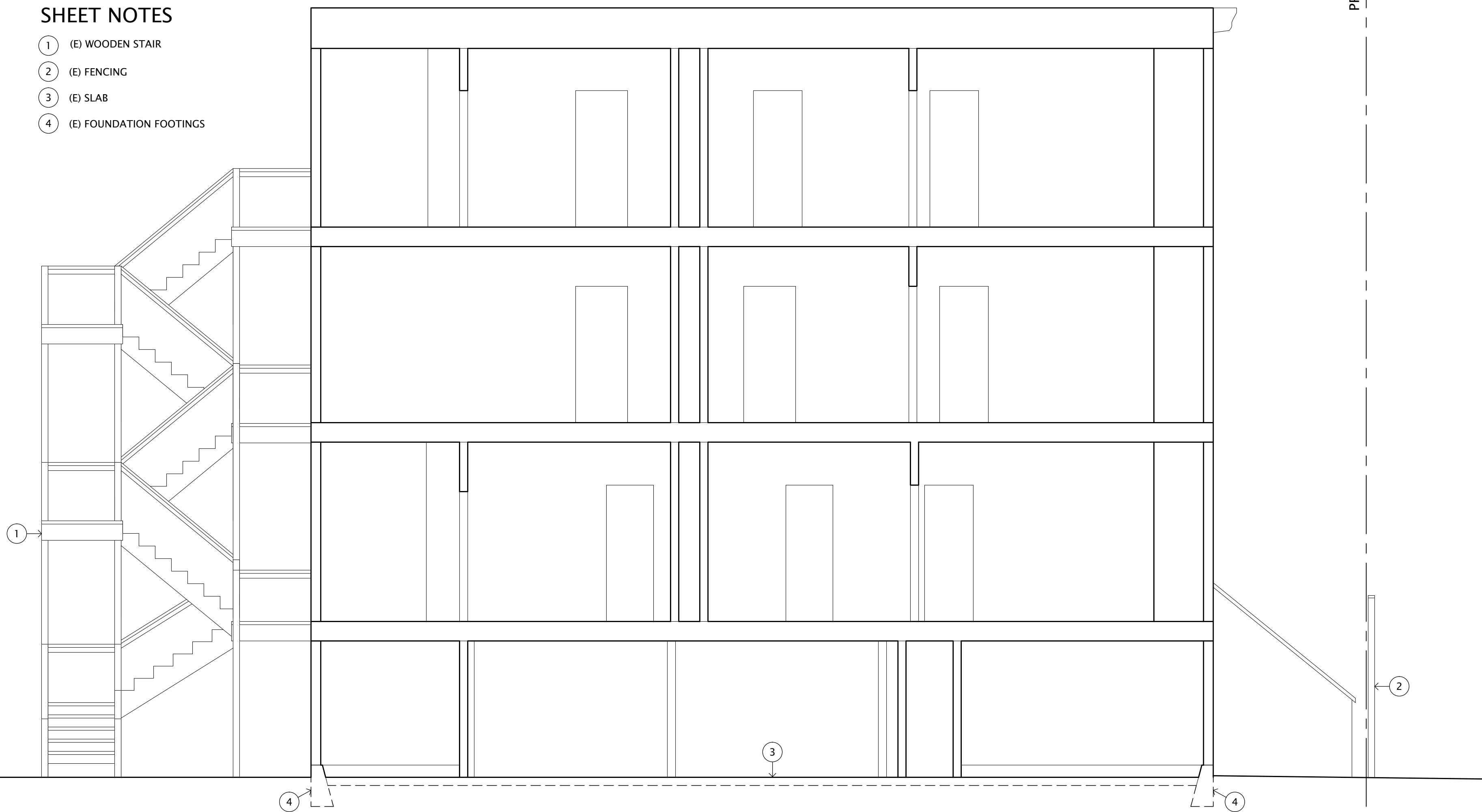
DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

DATE: 01/29/2016

A5.4

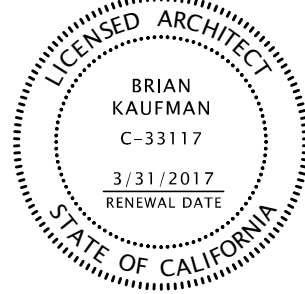
PROP. LINE



PROP. LINE

1 LONGITUDINAL BUILDING SECTION - EXISTING
1/4" = 1'-0"

ADDITION & REMODEL
1359 MINNA STREET
SAN FRANCISCO, CA



**EXISTING
TRANSVERSE AND
LONGITUDINAL
BUILDING SECTION**

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

DATE: 01/29/2016

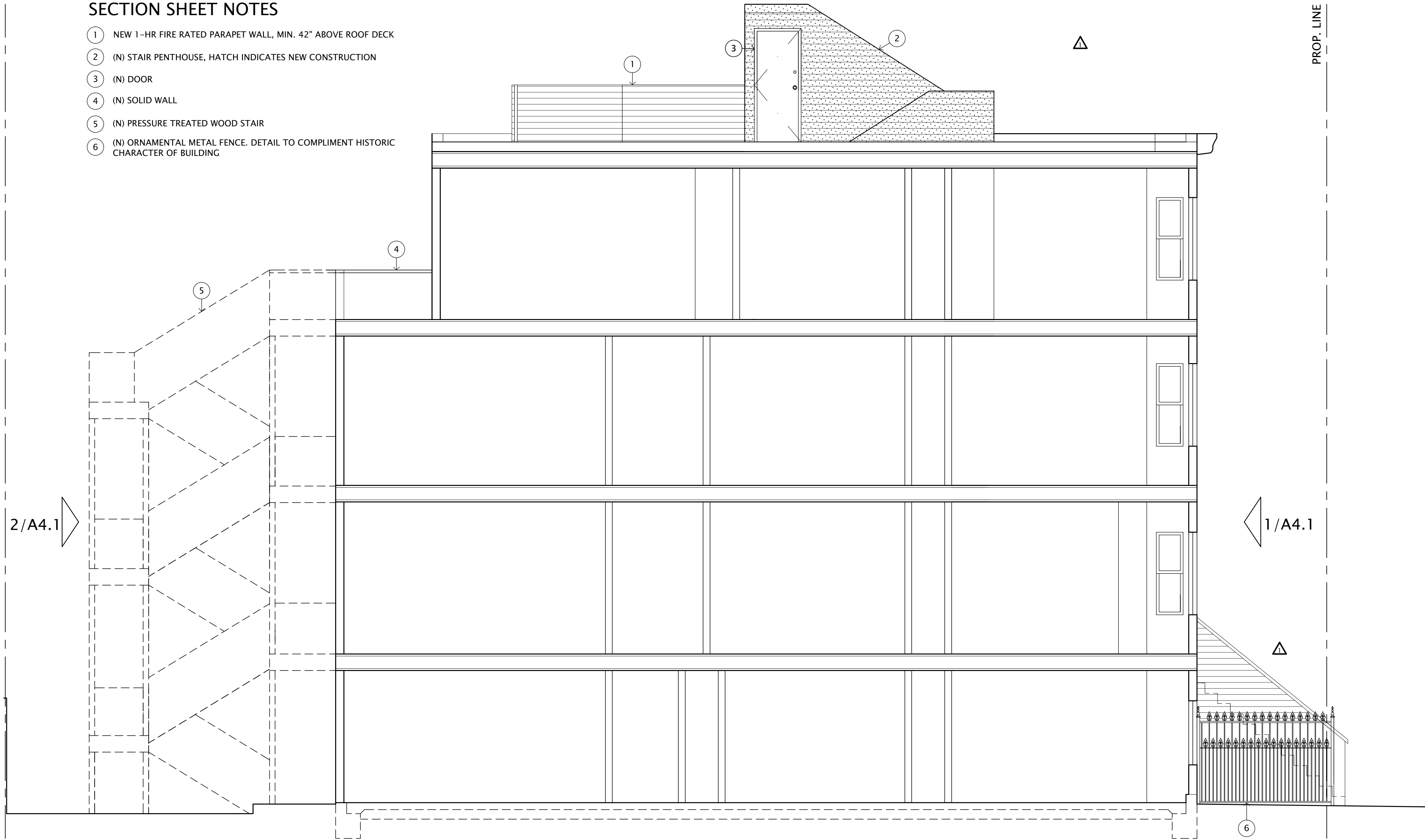
A6.0

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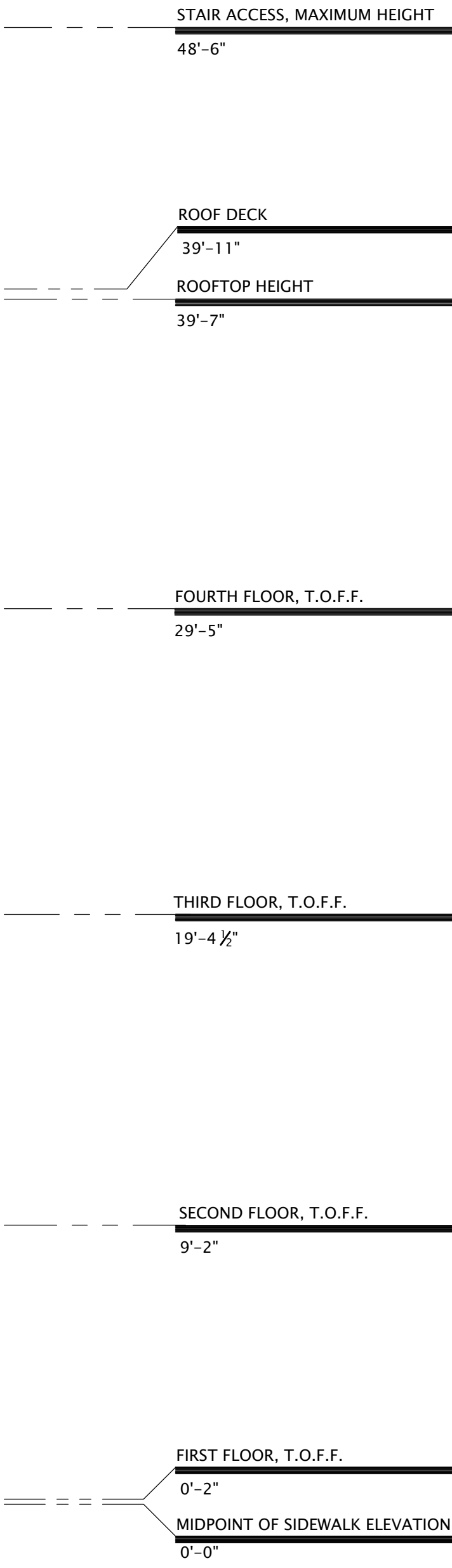
PROP. LINE

SECTION SHEET NOTES

- ① NEW 1-HR FIRE RATED PARAPET WALL, MIN. 42" ABOVE ROOF DECK
② (N) STAIR PENTHOUSE, HATCH INDICATES NEW CONSTRUCTION
③ (N) DOOR
④ (N) SOLID WALL
⑤ (N) PRESSURE TREATED WOOD STAIR
⑥ (N) ORNAMENTAL METAL FENCE. DETAIL TO COMPLIMENT HISTORIC CHARACTER OF BUILDING



PROP. LINE

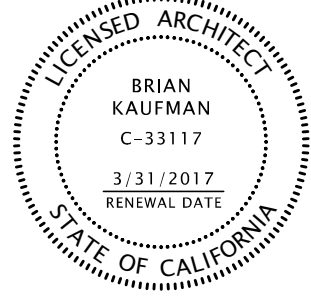


1 LONGITUDINAL BUILDING SECTION – PROPOSED
1/4" = 1'-0"

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PROPOSED
TRANSVERSE AND
LONGITUDINAL
BUILDING SECTION

DESCRIPTION	DATE
REVISION 1	2/25/16
REVISION 2	4/28/16

SCALE: 1/4" = 1'-0"

DATE: 01/29/2016

A6.1