



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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CA 94103-2479

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**415.558.6377**



**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, August 24, 2016**  
 Time: **9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance(Rear Yard)**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>385 Santa Clara Avenue</b>	Case No.: <b>2015-010090VAR</b>
Cross Street(s): <b>San Anselmo Avenue</b>	Building Permit: <b>201508255277</b>
Block / Lot No.: <b>3104/012</b>	Applicant/Agent: <b>Christopher Kurrle</b>
Zoning District(s): <b>RH-1(D) / 40-X</b>	Telephone: <b>415-252-1441 x28</b>
Area Plan: <b>N/A</b>	E-Mail: <b>ckurrle@feldmanarch.com</b>

## PROJECT DESCRIPTION

The proposal is for a horizontal addition, basement entry stair sequence, and includes removal of a detached garage located within the required rear yard. The Variance request is specifically to reconfigure the existing basement stair entry sequence to the existing non-conforming structure within the required rear yard.

**PER PLANNING CODE SECTION 134**, the subject property is required to maintain a rear yard of 25% of the lot depth. The existing building encroaches into the required rear yard and the proposal extends beyond the existing footprint, which would increase the non-compliance; therefore, the project requires a variance from the rear yard requirement of the Planning Code.

## ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Veronica Flores** Telephone: **415-575-9173** Mail: [Veronica.Flores@sfgov.org](mailto:Veronica.Flores@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2015-010090VAR.pdf>

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On July 18, 2016, the Department issued the required Section 311 notification for this project (expires August 16, 2016).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

PROJECT NAME  
385 SANTA CLARA AVENUE

PROJECT ADDRESS  
385 SANTA CLARA AVENUE, SAN FRANCISCO, CA 94127

APN#  
3104-011/012

CLIENT  
TOM KENNEDY & KATHERINE BLUM

FA JOB NO.  
14-012

ISSUE  
VARIANCE APPLICATION

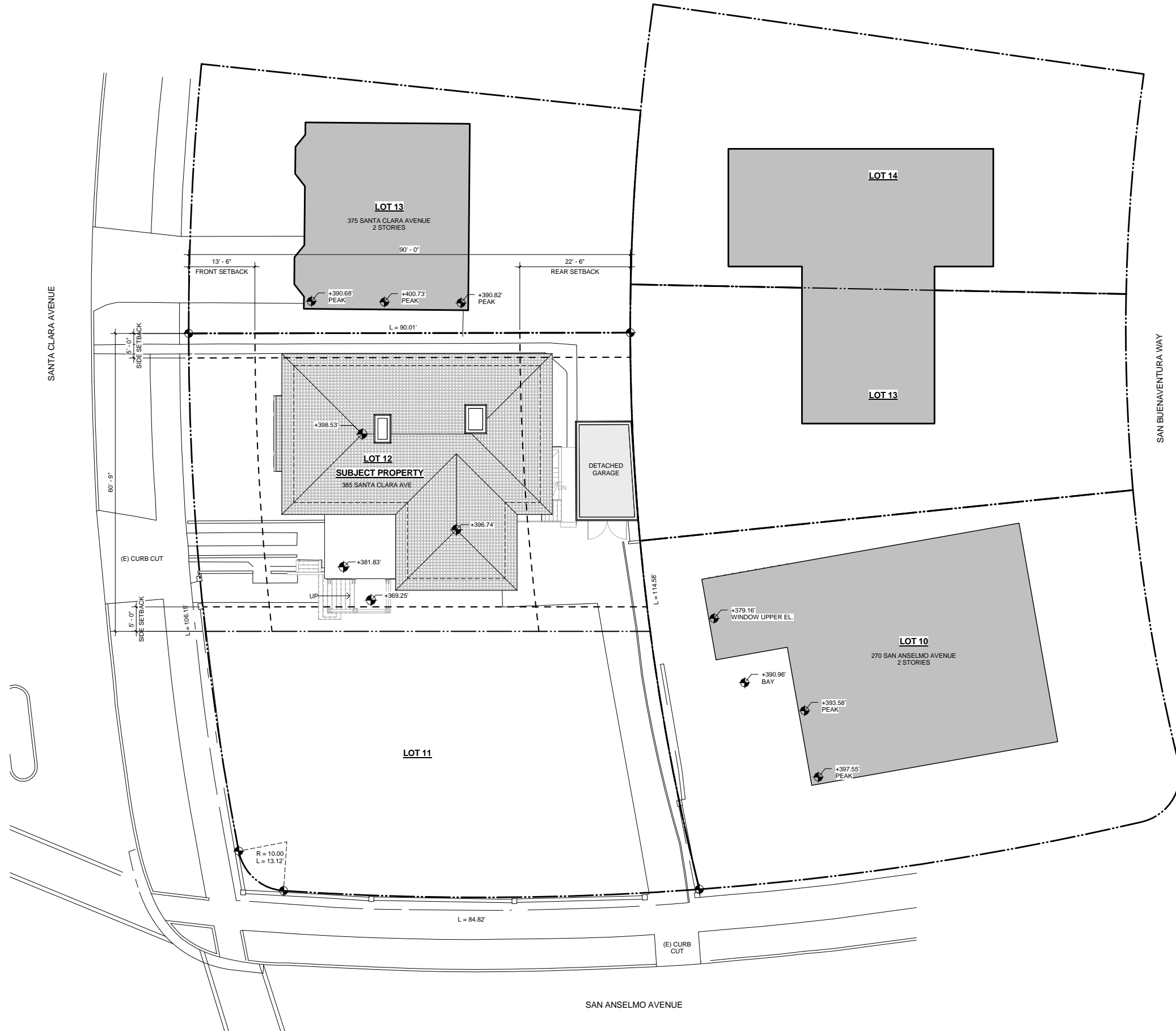
DATE  
07/13/2016

HISTORY  
△ DESC. DATE



TITLE  
EXISTING SITE PLAN

**VAR-1**  
SHEET

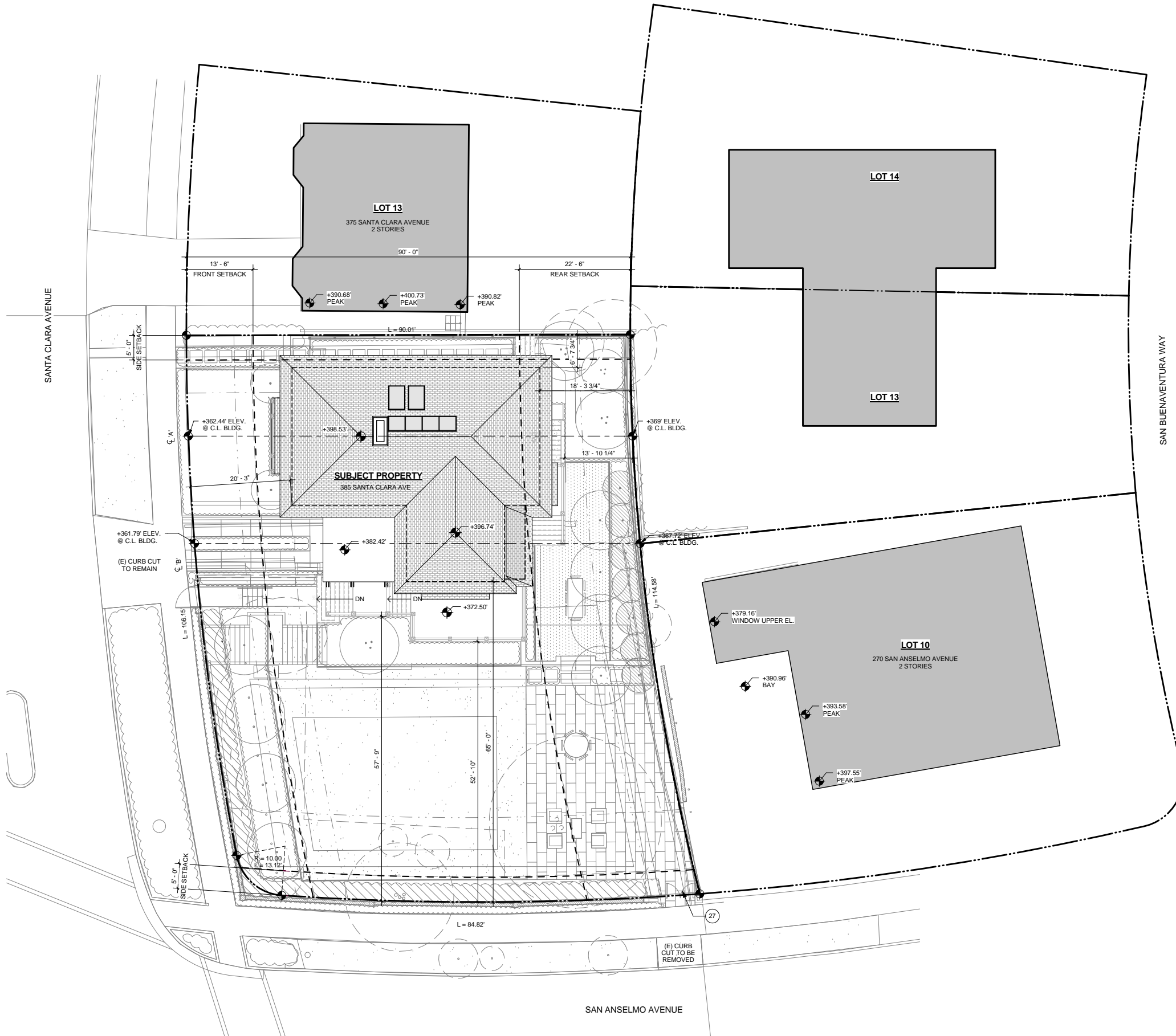


7/15/2016 2:07:57 PM

**1** EXISTING SITE PLAN  
1" = 10'-0"

KEYNOTE LEGEND

27 REPLACEMENT GATE, SEE 7/A8.1



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


TITLE  
PROPOSED SITE PLAN

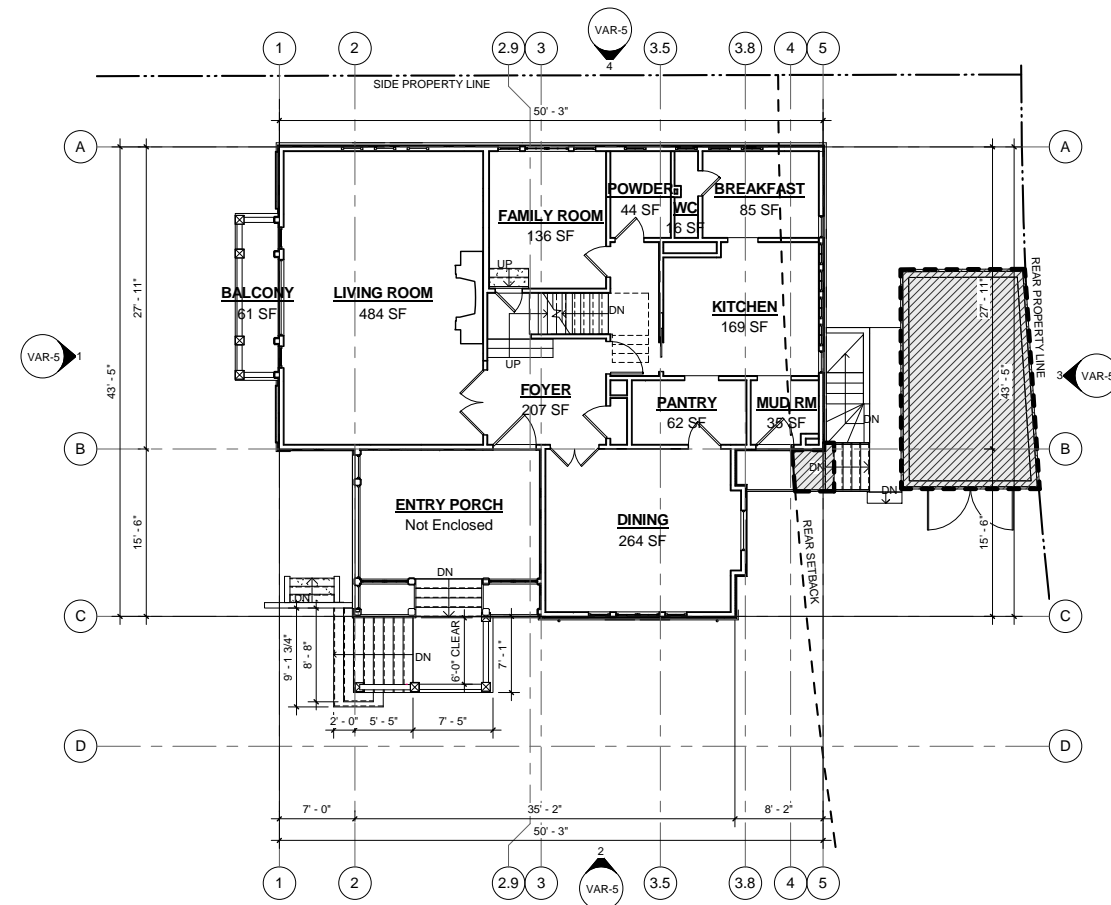
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SHEET

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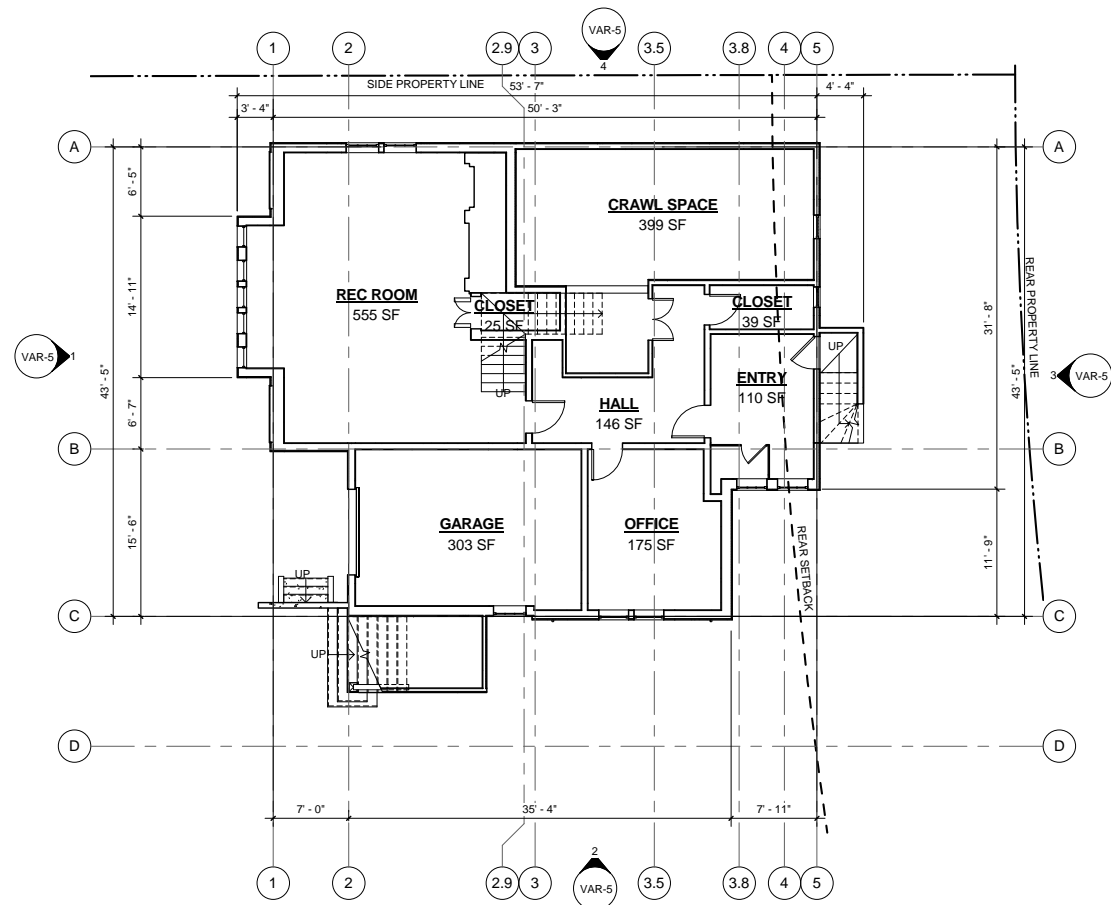
**1** PROPOSED SITE PLAN  
1" = 10'-0"

**LEGEND**

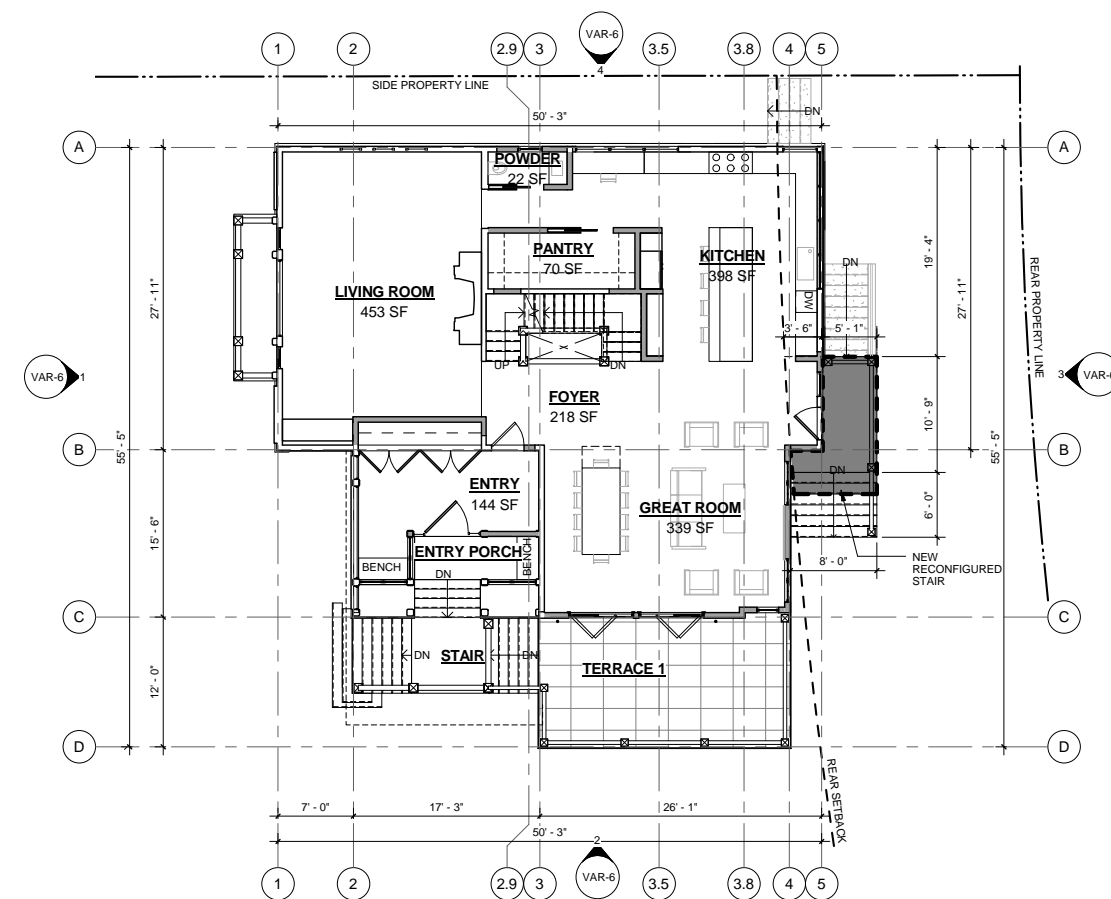
-  NEW WALL
-  EXISTING WALL TO REMAIN
-  EXISTING NON-COMPLIANT STRUCTURE TO BE REMOVED
-  REQUESTED AREA OF VARIANCE



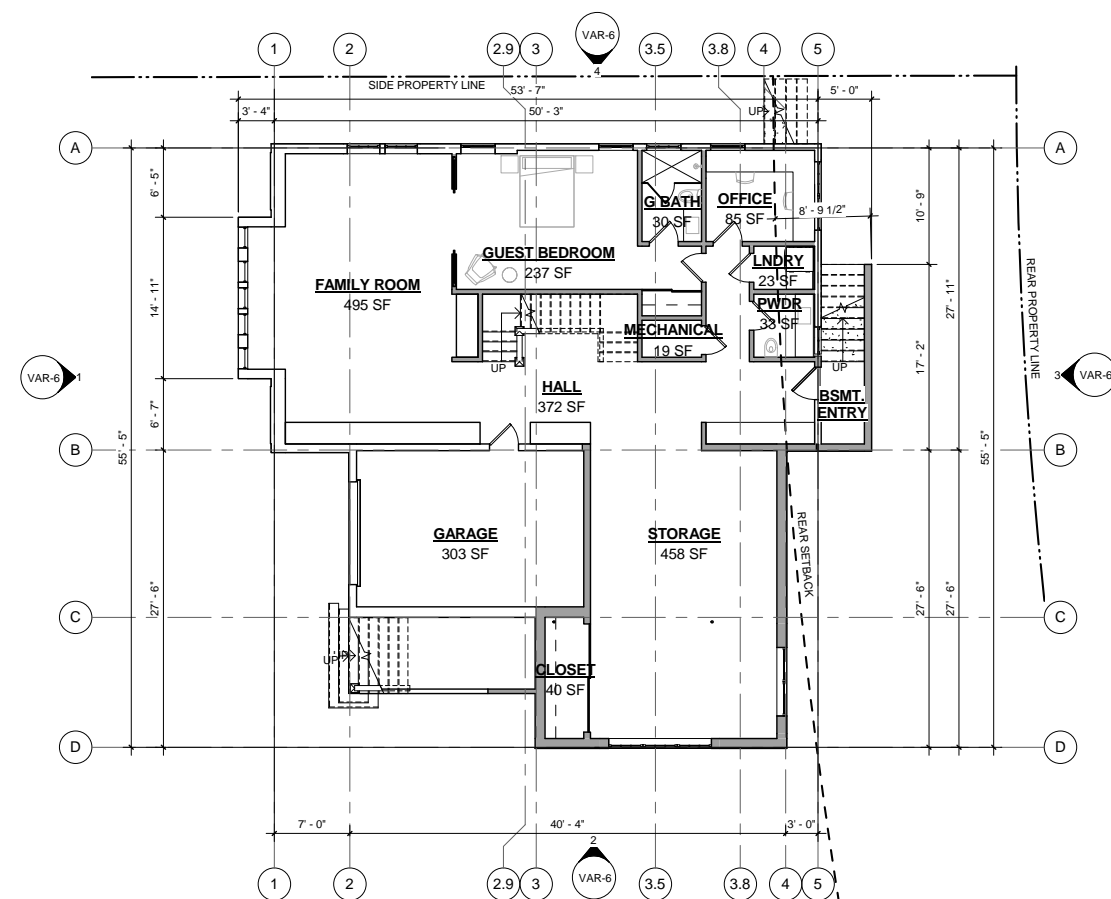
**4** EXISTING LEVEL 1 PLAN  
1/8" = 1'-0"



**2** EXISTING BASEMENT PLAN  
1/8" = 1'-0"



**3** PROPOSED LEVEL 1 PLAN  
1/8" = 1'-0"



**1** PROPOSED BASEMENT PLAN  
1/8" = 1'-0"

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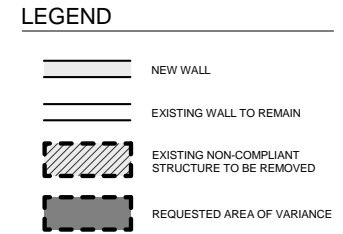
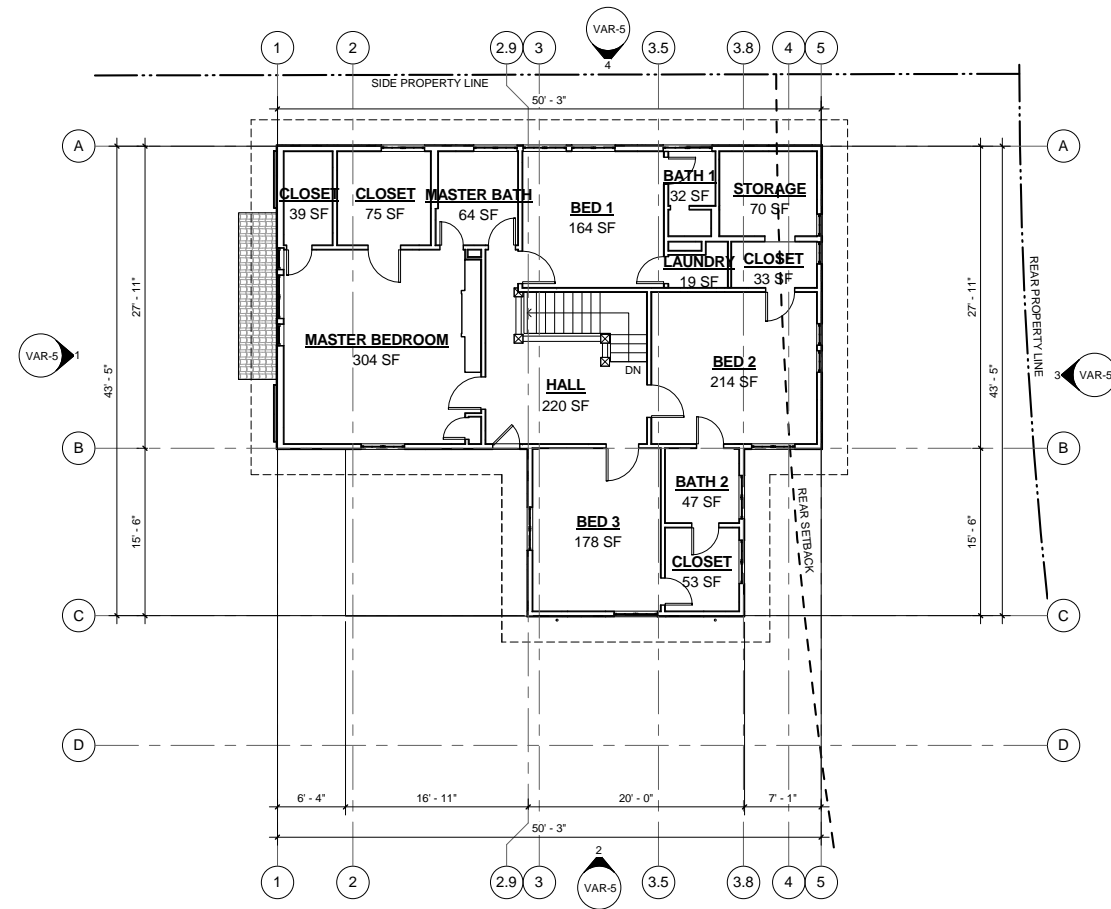
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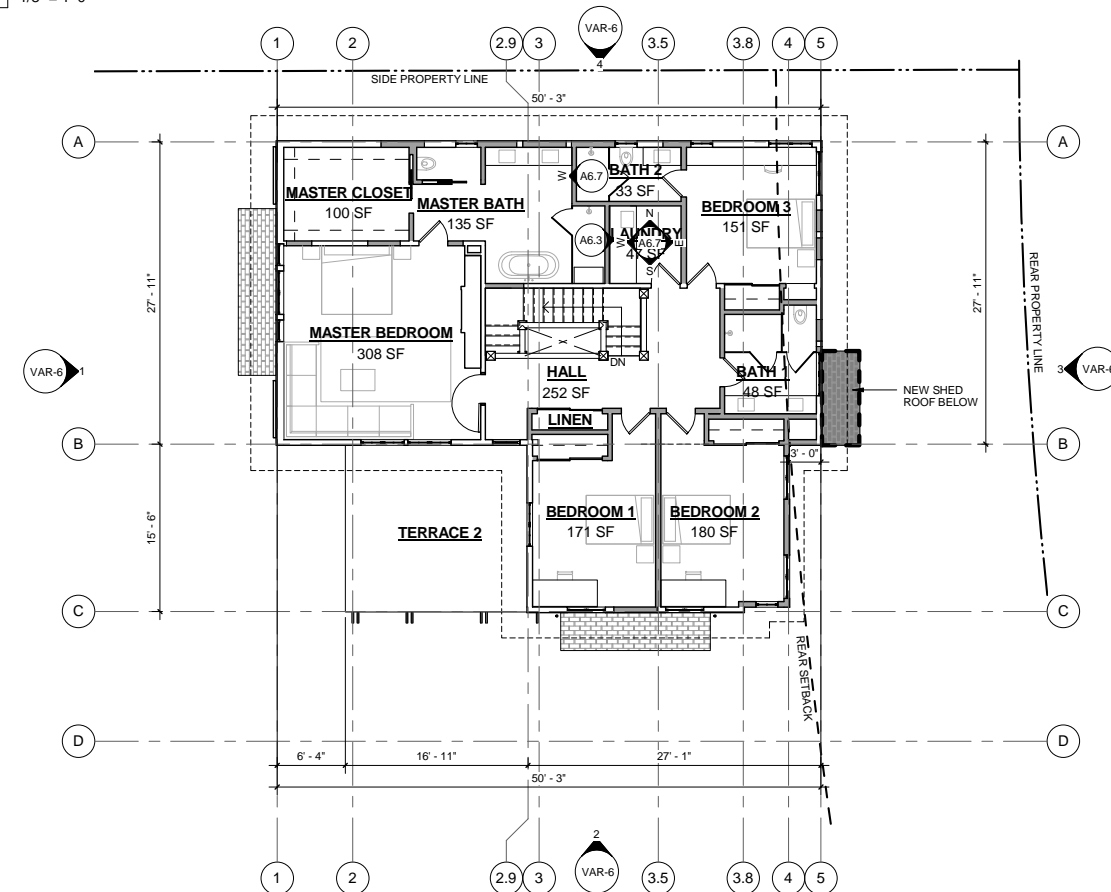
HISTORY	DESC.	DATE
Δ	DESC.	2.25.16
	HRE RESUBMITTAL	2.25.16
	PLANNING RESUBMITTAL	6.22.16

TITLE  
**EXISTING & PROPOSED BASEMENT & LEVEL 1 PLANS**

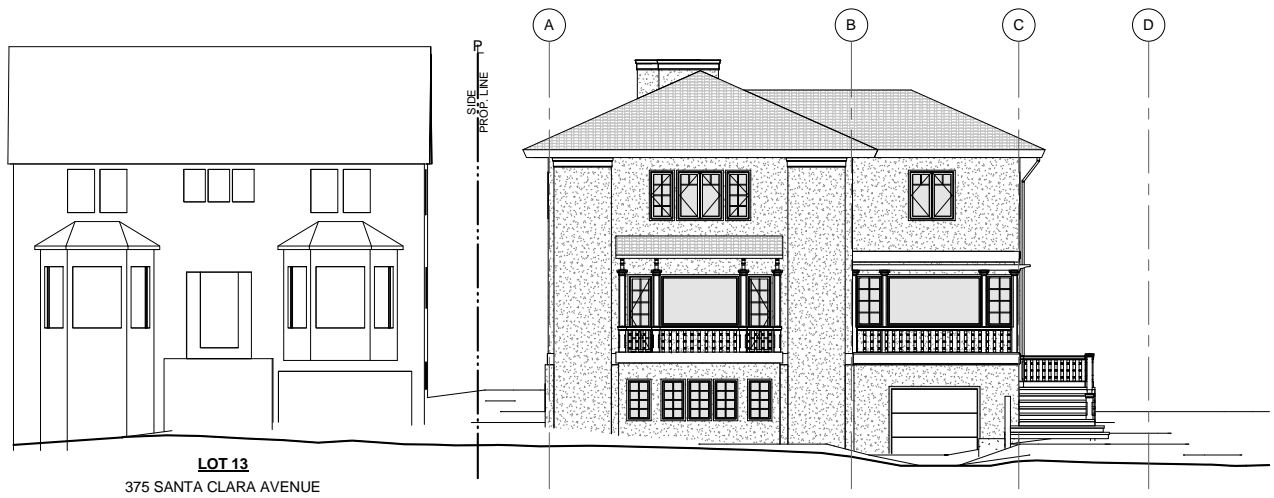
**VAR-3**  
SHEET



**2** EXISTING LEVEL 2 PLAN  
1/8" = 1'-0"





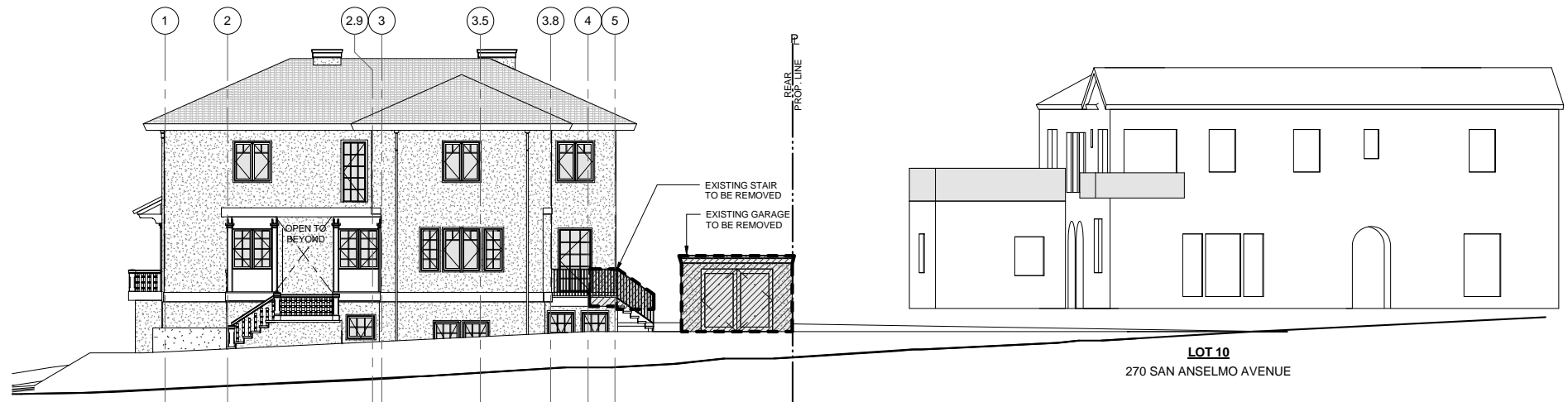
**1** PROPOSED LEVEL 2 PLAN  
1/8" = 1'-0"



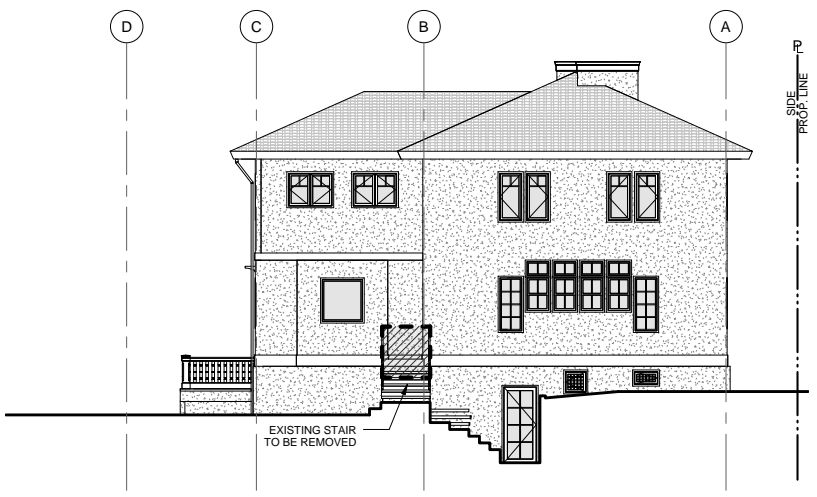
**1** EXISTING WEST ELEVATION - NO REQUESTED VARIANCE  
1/8" = 1'-0"

**LEGEND**

-  EXISTING NON-COMPLIANT STRUCTURE TO BE REMOVED
-  REQUESTED AREA OF VARIANCE



**2** EXISTING SOUTH ELEVATION  
1/8" = 1'-0"



**3** EXISTING EAST ELEVATION  
1/8" = 1'-0"



**4** EXISTING NORTH ELEVATION  
1/8" = 1'-0"

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HISTORY  
Δ DESC. DATE



TITLE  
**EXISTING EXTERIOR ELEVATIONS**

**VAR-5**  
SHEET

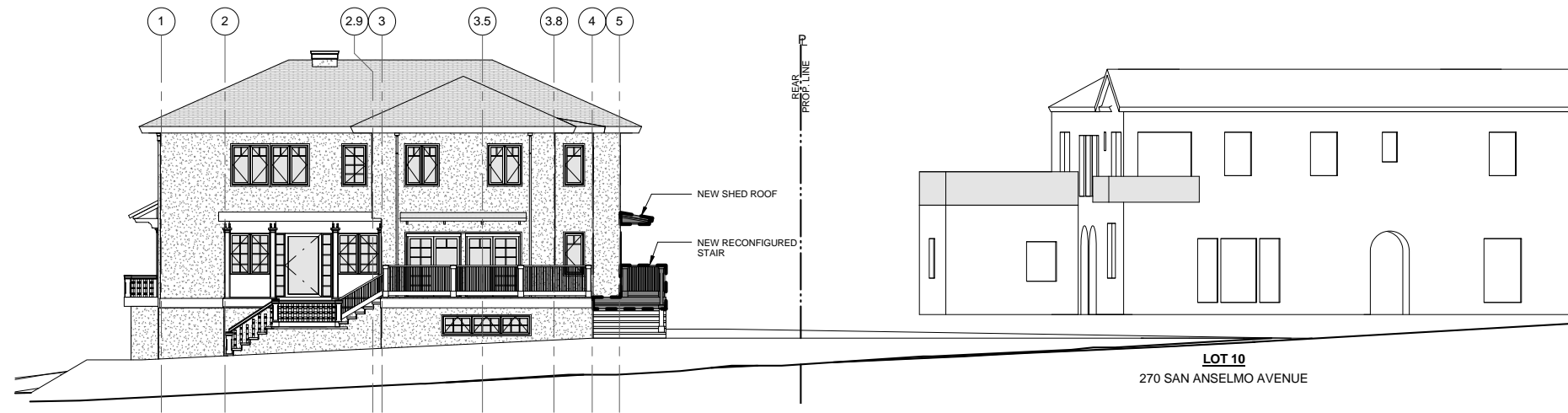




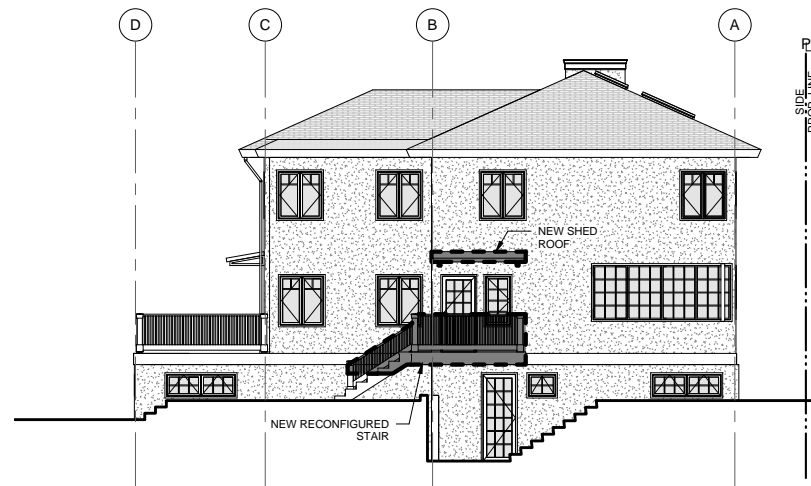
**LEGEND**

-  EXISTING NON-COMPLIANT STRUCTURE TO BE REMOVED
-  REQUESTED AREA OF VARIANCE

**1** PROPOSED WEST ELEVATION - NO REQUESTED VARIANCE  
1/8" = 1'-0"



**2** PROPOSED SOUTH ELEVATION  
1/8" = 1'-0"



**3** PROPOSED EAST ELEVATION  
1/8" = 1'-0"



**4** PROPOSED NORTH ELEVATION  
1/8" = 1'-0"

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DATE  
**07/13/2016**

HISTORY	DESC.	DATE
△	HIRE RESUBMITTAL	2.25.16
	PLANNING RESUBMITTAL	6.22.16

TITLE  
**PROPOSED EXTERIOR ELEVATIONS**

**VAR-6**  
SHEET



VIEW FROM SOUTHWEST OF SIDE STAIRS & GARAGE



VIEW FROM NORTHEAST OF SIDE STAIRS & GARAGE



VIEW FROM EAST OF SIDE STAIRS



VIEW FROM SOUTH OF SIDE STAIRS

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TITLE  
SITE PHOTOS

**VAR-7**  
SHEET