



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 26, 2016**
Time: **Not before 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 2650 Hyde Street Cross Street(s): North Point Street Block /Lot No.: 0027 / 019 Zoning District(s): RH-3 / 40-X Area Plan: Northeast Waterfront Fisherman's Wharf	Case No.: 2015-009511VAR Building Permit: 2015.07.08.0940 Applicant: John Kevlin Telephone: (415) 567-9000 E-Mail: jkevin@reubenlaw.com

PROJECT DESCRIPTION

The proposal proposes interior renovations to the existing building, altering the rear portion of the existing gable roof to a flat roof with roof deck above, new small deck at rear of third floor and replacement of railing on existing third floor deck at rear of building.

PER SECTION 134 OF THE PLANNING CODE, the subject lot is required to maintain a rear yard of approximately 21 feet, 11 inches, with the last 10 feet of the building envelope limited to 30 feet in height. As proposed, the last 2 feet, 6.5 inches of the building envelope exceed 30 feet in height. The proposed change from gable roof to flat roof will increase the height of the non-complying structure within the required rear yard; therefore, a rear yard variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2015-009511VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Andrew Perry** Telephone: **(415) 575-9017** E-Mail: andrew.perry@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On September 30, 2016, the Department issued the required Section 311 notification for this project (expires October 30, 2016).**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ABBREVIATIONS

ENERGY NOTES

CODE REQUIREMENTS

1. MASONRY AND FACTORY BUILT FIREPLACES SHALL BE EQUIPPED WITH TIGHT FITTING DOORS, FLUE DAMPER AND OUTSIDE AIR INTAKE (MIN. 6 SQ. IN.) WITH DAMPER. NO OUTSIDE AIR INTAKE REQUIRED AT FIREPLACES ON SLAB FLOOR AWAY FROM EXTERIOR WALL.
2. SMOKE DETECTORS SHALL BE INSTALLED IN HALLWAYS GIVING ACCESS TO BEDROOMS AND ABOVE STAIRWELLS IN ACCORDANCE WITH THE 2013 C.B.C.
3. ALL HANDRAILS SHALL BE 1-1/2" MIN., 2" MAX. @ 34"-38" ABOVE STAIR NOSING TYPICAL. ALL RAILINGS SHALL COMPLY WITH REQUIREMENTS OF THE 2013 C.B.C.
4. ALL TOILETS SHALL BE LOW WATER CONSUMPTION TYPE, 1.6 GAL. MAX.
5. MAINTAIN 2" CLEARANCE BETWEEN STAINLESS STEEL FLUES AND ALL COMBUSTIBLE MATERIALS. INSTALL CHIMNEY SUPPORTS, INSULATING FLUES, FIRE STOP, AND CHIMNEY CAP PER MANUFACTURERS SPECIFICATIONS. CAP SHALL INCLUDE SPARK ARRESTING MESH NOT TO EXCEED 1/2".
7. PROVIDE FIRE AND DRAFT STOPS AS REQUIRED BY CODE.

ENERGY NOTES

1. ALL NEW EXTERIOR WALLS TO BE 2X6 STUDS 16" ON CENTER, W/ R19 BATT INSUL.
2. ALL EXTERIOR JOINTS AROUND DOOR AND WINDOW FRAMES BETWEEN SOLE PLATES AND FLOORS, AND ALL OPENINGS FOR PLUMBING, ELECTRICAL AND GAS LINES IN WALLS, CEILING AND FLOOR SHALL BE CAULKED.
3. ALL WINDOWS SHALL BE DUAL GLAZED. ALL EXTERIOR DOORS SHALL BE DUAL SAFETY GLAZED. ALL GLASS WITHIN 16" OF FLOOR, WITHIN 60" OF A TUB OR SHOWER OR ANY OTHER LOCATION SPECIFIED UNDER U.B.C. '98, SECTION 2604 SHALL BE TEMPERED OR SAFETY GLASS. DOORS AND WINDOWS TO BE WEATHER-STRIPPED AND CERTIFIED BY THE MANUFACTURER.
4. INSULATE ALL INTERIOR ACOUSTIC WALLS WHERE INDICATED ON PLANS, AND AT CEILINGS OF ROOMS BOUNDED BY ACOUSTIC WALLS AS FOLLOWS:
WALLS: 3 1/2" or 6" METAL STUD FRAMING, 16" O.C. W/ 5/8" "QUIET ROCK" SHEATHING EA. SIDE. INSTALL, WITH ACOUSTIC SEALANTS PER MANUFACTURER'S RECOMMENDATIONS. PLACE ACOUSTIC BATT INSULATION IN STUD BAYS. CEILINGS: INSTALL ACOUSTIC BATT INSULATION IN CEILING JOIST BAYS. ALL INSULATION SHALL BE CERTIFIED BY THE MANUFACTURER IN ACCORDANCE WITH TITLE 24, SECTION 20, 5352.
5. THERMOSTATS SHALL BE AUTOMATIC SETBACK TYPE WITH INTEGRAL CLOCK PROGRAMMABLE FOR TWO PERIODS WITH 24 HOURS.
6. EXHAUST SYSTEMS SHALL HAVE BACK-DRAFT OR AUTOMATIC DAMPERS.
7. HVAC EQUIPMENT, WATER HEATERS, SHOWER HEADS AND FAUCETS SHALL BE CERTIFIED BY THE C.E.C.
8. GAS-FIRED APPLIANCES SHALL HAVE INTERMITTENT IGNITION DEVICE. GAS SHUT OFF VALVES SHALL BE WITHIN 3 FEET OF APPLIANCE SERVED.
9. WATER HEATER BLANKET INSULATION: MIN. R-12. FIRST FIVE FEET OF PIPES CLOSEST TO WH: MIN R-4.
10. GENERAL LIGHTING IN KITCHEN AND BATHROOMS SHALL HAVE A MINIMUM ILLUMINANCE OF 40 LUMENS PER WATT.
11. REFRIGERATORS, FREEZERS AND FLUORESCENT LAMP BALLAST SHALL BE CERTIFIED BY THE C.E.C.

CONTRACTOR NOTES

1. THE CONTRACTOR WILL VISIT THE SITE AND BE FULLY COGNIZANT OF ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY PROPOSITIONS OR BIDS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFEKEEPING OF ALL EXISTING UTILITIES, AMENITIES AND SITE IMPROVEMENTS DURING CONSTRUCTION, WHETHER OR NOT SHOWN ON DRAWINGS OR UNCOVERED DURING WORK.
3. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM RESIDENCE.
4. THE CONTRACTOR SHALL AT ALL TIMES, KEEP THE CONSTRUCTION SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS.
5. AT THE COMPLETION OF THE WORK, HE SHALL CLEAN ALL SURFACES AND LEAVE THE WORK "BROOM CLEAN". ALL CARPETS ARE TO BE VACUUMED CLEAN.
6. TRENCH BACKFILL WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OR COUNTY STANDARDS.
7. CONTRACTOR SHALL PROVIDE FOR TRAFFIC CONTROL AS REQUIRED.
8. CONTRACTOR SHALL PROVIDE AND UTILIZE FACILITIES NECESSARY TO CONTROL DUST.
9. UNLESS OTHERWISE NOTED (I.I.O.N), DIMENSIONS ARE TO FACE OF STUD (F.O.S) AT NEW (N) CONSTRUCTION. FACE OF CONCRETE (F.O.C) OR CENTERLINE OF ENTRY.

- IF ANY ASBESTOS OR KNOWN MATERIALS CONTAINING ASBESTOS ARE DISCOVERED, THEN THE CONTRACTOR WILL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, AS REQUIRED FOR THE REMOVAL OF THESE CONDITIONS, PRIOR TO THE BEGINNING OF THIS PROJECT. IF THE CONTRACTOR PARTICIPATES IN ANY PORTION OF THE REMOVAL PROCESS IN HIS COORDINATION WITH THE OWNER, THEN THE CONTRACTOR WILL PROVIDE THE OWNER WITH A WRITTEN STATEMENT RELEASING THE OWNER OF ANY FUTURE LIABILITY FROM THE CONTRACTOR, HIS EMPLOYEES AND ANY SUBCONTRACTORS HIRED BY THE CONTRACTOR RELATED TO THIS WORK.
11. THESE DRAWINGS AND SPECIFICATIONS DO NOT REPRESENT AN ASSESSMENT OF THE PRESENCE OR AN ASSESSMENT OF THE ABSENCE OF ANY TOXIC OR HAZARDOUS MATERIALS ON THIS PROJECT SITE. THE OWNERS ARE SOLELY RESPONSIBLE FOR SUCH ASSESSMENT AND SHOULD BE CONSULTED FOR ANY QUESTIONS THEREON.
THE CONTRACTOR WILL RESOLVE THE APPLICABLE REGULATIONS AND PROCEDURES WITH THE OWNER AT THE TIME OF DISCOVERY.
12. ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES AND REGULATIONS, WHICH RELATE TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO: STATE OF CALIFORNIA ADMINISTRATIVE CODE TITLE 24, LATEST ACCEPTED EDITION; UNIFORM BUILDING CODE 1995, CBC 1998 OR LATEST ACCEPTED EDITION; NATIONAL ELECTRIC CODE AND CEC LAST ACCEPTED EDITION.
UPC AND CPC LAST ACCEPTED EDITION
UMC, AND CMC LAST ACCEPTED EDITION.
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT AT ONCE UPON DISCOVERY OF ANY CONFLICTS OR DISCREPANCIES BETWEEN THE AFOREMENTIONED AND THE DRAWINGS AND SPECIFICATIONS OF THIS PROJECT.
14. THE CONTRACTOR WILL COORDINATE AND BE RESPONSIBLE FOR ALL WORK BY HIS SUBCONTRACTORS AND THEIR COMPLIANCE WITH ALL THESE GENERAL CONDITIONS. THE CONTRACTOR WILL IDENTIFY ANY CONFLICTS BETWEEN THE WORK OF THE SUBCONTRACTORS, AS DIRECTED BY THESE DRAWINGS, DURING THE LAYOUT OF THE AFFECTED TRADES. THE CONTRACTOR WILL REVIEW THESE CONDITIONS WITH THE ARCHITECT FOR DESIGN CONFORMANCE BEFORE BEGINNING ANY INSTALLATION.
15. THE CONTRACTOR WILL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS AND CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT AT ONCE UPON DISCOVERY OF ANY CONFLICTS OR DISCREPANCIES BETWEEN THE AFOREMENTIONED AND THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL FOLLOW DIMENSIONS AND SHOULD NOT SCALE DRAWINGS.
IF DIMENSIONS ARE REQUIRED BUT NOT SHOWN THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
16. ANY CHANGES, ALTERNATIVES OR MODIFICATIONS TO THESE DRAWINGS AND SPECIFICATIONS MUST BE APPROVED IN WRITING FROM THE ARCHITECT AND OWNER, AND ONLY PROCEED WHEN SUCH WRITTEN APPROVAL CLEARLY STATES THE AGREED COST OR CREDIT OF THE CHANGE, ALTERNATIVE OR MODIFICATION TO THIS PROJECT.
17. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL ITEMS NECESSARY FOR A COMPLETE JOB. THE CONTRACTOR WILL PROVIDE ALL MATERIALS, LABOR AND EXPERTISE NECESSARY TO ACHIEVE A COMPLETE JOB AS SHOWN IN THESE DRAWINGS AND SPECIFICATIONS OR NOT SHOWN, BUT INTENDED
18. THE CONTRACTOR IS FULLY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES FOR THE WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO ENACT THE AFOREMENTIONED IN COMPLIANCE WITH GENERALLY ACCEPTED STANDARDS OF PRACTICE FOR THE CONSTRUCTION INDUSTRY FOR THE TYPE OF WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS.
20. THE CONTRACTOR RESERVES THE RIGHT OF REVIEW FOR ALL MATERIALS AND PRODUCTS, FOR WHICH NO SPECIFIC BRAND NAME OR MANUFACTURER IS IDENTIFIED IN THESE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY WITH THE ARCHITECT THE NEED FOR SHOP DRAWINGS OR SAMPLES OF MATERIALS AND PRODUCTS, WHICH WERE NOT IDENTIFIED, AS WELL AS ANY MATERIAL, PRODUCTS OR EQUIPMENT SUBSTITUTIONS PROPOSED IN PLACE OF THOSE ITEMS IDENTIFIED IN THESE DRAWINGS AND SPECIFICATIONS.
21. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY AND COORDINATE ALL UTILITY TYPE CONNECTIONS, UTILITY COMPANY'S REQUIREMENTS AND INCLUDE ANY RELATED COSTS ASSOCIATED WITH THIS RESPONSIBILITY IN THEIR PROPOSAL, OR BID. THE CONTRACTORS RESPONSIBLE FOR WRITING LETTERS REGARDING OPERATIVE AGREEMENTS FOR THIS PROJECT BETWEEN THE CONTRACTOR AND THE LOCAL FIRE DEPARTMENT, THE LOCAL WATER AGENCY, THE LOCAL NATURAL OR PROPANE GAS PROVIDERS, TV PROVIDER, THE OWNER'S SECURITY SERVICE PROVIDER AND ANY UNNAMED UTILITY TYPE SERVICE PROVIDER. THE CONTRACTOR WILL PROVIDE COPIES OF ANY SUCH AGREEMENTS TO THE ARCHITECT AND OWNER, IF REQUIRED OR REQUESTED.
22. THE CONTRACTOR IS FULLY RESPONSIBLE TO ENACT THE APPROPRIATE SAFETY PRECAUTIONS REQUIRED TO MAINTAIN A SAFE WORKING ENVIRONMENT. THE CONTRACTOR WILL ALSO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ARCHITECT, THEIR CONSULTANTS, AND THEIR EMPLOYEES FROM AND AGAINST ANY CLAIMS FOR DAMAGES, INCLUDING ANY INJURY CLAIMS BY THE CONTRACTOR, HIS EMPLOYEES, HIS SUBCONTRACTORS OR ANYONE HE ALLOWS ON THE CONSTRUCTION SITE, WHICH RESULT FROM THE CONTRACTOR'S PERFORMANCE OF THE WORK SHOWN ON THESE DRAWINGS AND SPECIFICATIONS.
23. THE CONTRACTOR WILL CARRY THE APPROPRIATE WORKMAN'S COMPENSATION AND LIABILITY INSURANCE AS REQUIRED BY THE LOCAL GOVERNMENT AGENCY HAVING JURISDICTION FOR THIS ISSUE, AS WELL AS COMPLY WITH THE GENERALLY ACCEPTED INDUSTRY STANDARDS OF PRACTICE FOR A PROJECT OF THIS SCOPE. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY WITH THE OWNER, IF HE WILL BE REQUIRED TO CARRY FIRE INSURANCE OR OTHER TYPES OF INSURANCE FOR THE DURATION OF THE PROJECT. HE SHOULD ALSO ASSIST THE OWNER IN IDENTIFYING THE AMOUNT OF COVERAGE REQUIRED.
24. WHERE INTENDED, ALL NEW WORK SHALL ALIGN AND BE OF THE SAME MATERIAL FINISH AND QUALITY.

- | | | | | | |
|-----------------|-----------------------|--------|---------------------|--------|--------------------|
| 4 | SQUARE FEET | EQUIP. | EQUIPMENT | R | PROPERTY LINE |
| AND | | EXPO. | EXPOSED | PL. | PLASTIC OR PLATE |
| ANGLE | | EXP. | EXPANSION | PLAS. | PLASTER |
| AT | | EXT. | EXTERIOR | PLYWD. | PLYWOOD |
| DIAMETER | | | | PML. | PANEL |
| PERPENDICULAR | | F.D. | FLOOR DRAIN | PT. | POINT |
| POUND OR NUMBER | | FDN. | FOUNDATION | PR. | PAIR |
| LESS THAN | | FIN. | FINISH | PTD. | PAINTED |
| < | | FL. | FLOOR | PTH. | PARTITION |
| GREATER THAN | | FLASH. | FLASHING | P.T. | PRESSURE TREATED |
| CENTERLINE | | FLUOR. | FLUORESCENT | P.V.C. | POLYVINYL CHLORIDE |
| ABV. | ABOVE | F.O. | FACE OF | | |
| A.P. | ACCESS PANEL | F.O.C. | FACE OF CONCRETE | R. | RISER OR RADIUS |
| A.P.M. | ASSESSOR'S PARCEL | F.O.F. | FACE OF FINISH | R.D. | R.OOF RAIN |
| ACOUS. | ACOUSTICAL | F.O.S. | FACE OF STUD | REINF. | REINFORCING |
| ADJ. | AREA DRAIN | F.F.R. | FIREPROOF | REQ. | REQUIRED |
| ADJ. | ADJACENT | FT. | FOOT OR FEET | RESIL. | RESILIENT |
| AF. | ABOVE FIN.FL. | FTG. | FOOTING | R.O. | ROUGH OPENING |
| AGGR. | AGGREGATE | FURR. | FURRING | RDW. | REDWOOD |
| AL | ALUMINUM | FUT. | FUTURE | R.W.L. | RAIN WATER LEADER |
| APPROX. | APPROXIMATE | | | | |
| ARCH. | ARCHITECT | GA. | GAGE | S. | SOUTH |
| ASPH. | ASPHALT | GALV. | GALVANIZED | S.C. | SOLID CORE |
| BO. | BOARD | G.B. | GRAB BAR | SCHED. | SCHEDULE |
| BKG. | BACKING | GR. | GUARDRAIL | SH. | SHELF |
| BLDG. | BUILDING | GL. | GLASS | SHR. | SHOWER |
| BLK. | BLOCKING | G.F.I. | GROUND FAULT | SHT. | SHEET |
| BM. | BEAM | | INTERRUPT | SIM. | SIMILAR |
| B.O. | BOTTOM OF | GND. | GROUND | SPEC. | SPECIFICATION |
| B.U.R. | BUILT-UP ROOFING | GR. | GRADE OR GUARD RAIL | SQ. | SQUARE |
| | | GYP. | GYPSPUM | S.S. | STAINLESS STEEL |
| CAB. | CABINET | G.I. | GALVANIZED IRON | S.S.D. | SEE STRUCTURAL |
| C.B. | CATCH BASIN | H.B. | HOSE BIB | | DRAWINGS |
| CEM. | CEMENT | H.C. | HOLLOW CORE | STD. | STANDARD |
| CER. | CERAMIC | HDWD. | HARDWOOD | STL. | STEEL |
| C.I. | CAST IRON | HDWE. | HARDWARE | STOR. | STORAGE |
| CLG. | CEILING | HDR. | HANDRAIL | STRUL. | STRUCTURAL |
| CLKG. | CADLING | H.M. | HOLLOW METAL | S.V. | SHEET VINYL |
| CLD. | CLOSET | HORIZ. | HORIZONTAL | SYM. | SYMMETRICAL |
| CLR. | CLEAR | H.P. | HIGH POINT | | |
| C.O. | CLEANOUT | HR. | HOUR OR HAND RAIL | T. | TREAD |
| COL. | COLUMN | HT. | HEIGHT | T.B. | TOWEL BAR |
| CON. | CONCRETE | I.D. | INSIDE DIAMETER | TEL. | TELEPHONE |
| C.M.U. | CONCRETE MASONRY UNIT | INFO. | INFORMATION | TEMP | TEMPERED |
| | | INSUL. | INSULATION | T&G. | TONGUE & GROOVE |
| CNT. | CONTINUOUS | INT. | INTERIOR | TH. | THRESHOLD |
| C.J. | CONTROL JOINT | JT. | JOINT | THK. | THICK |
| CSWK. | CASEWORK | KIT. | KITCHEN | T.O. | TOP OF |
| CNTR. | COUNTER | LAM. | LAMINATE | T.P.D. | TOILET PAPER DISP. |
| C.T. | CERAMIC TILE | L.V. | LAVATORY | T.V. | TELEVISION |
| CTR. | CENTER | L.P. | LOW POINT | T.O.W. | TOP OF WALL |
| CTSK. | COUNTERSUNK | LT. | LIGHT | T.S. | TUBE STEEL |
| | | MAX. | MAXIMUM | TYP. | TYPICAL |
| DBL. | DOUBLE | M.C. | MEDICINE CAB | UNF. | UNFINISHED |
| DET. | DETAIL | MECH. | MECHANICAL | U.O.N. | UNLESS OTHERWISE |
| DIA. | DIAMETER | MEMB. | MEMBRANE | | NOTED |
| DIM. | DIMENSION | MET. | METAL | | |
| DN. | DOWN | MFR. | MANUFACTURER | VEN. | VENEER |
| D.O. | DOOR OPENING | MIN. | MINIMUM | VERT. | VERTICAL |
| DR. | DOOR | MISC. | MISCELLANEOUS | VEST. | VESTIBULE |
| DWR. | DRAWER | M.O. | MASONRY OPENING | V.T. | VINTILE |
| D.S. | DOWNSPOUT | MUL. | MULLION | VIF. | VERIFY IN FIELD |
| DWG. | DRAWING | | | | |
| (E) | EXISTING | (H) | NEW | W. | WEST |
| E. | EAST | N. | NORTH | W/ | WITH |
| E.A. | EACH | N.C. | NOT IN CONTRACT | WD. | WOOD |
| E.B. | EXPANSION BOLT | N.O. | NOMINAL | W.O. | WHERE OCCURS |
| E.J. | EXPANSION JOINT | N.T.S. | NOT TO SCALE | W/O | WITHOUT |
| E.L. | ELEVATOR | O.C. | ON CENTER | WP. | WATERPROOF |
| ELEC. | ELECTRICAL | O.D. | OUTSIDE DIAMETER OR | WR. | WATER RESISTANT |
| ELEV. | ELEVATION | | OVERFLOW DRAIN | WT. | WEIGHT |
| ENCL. | ENCLOSURE | OPNG. | OPENING | | |
| E.P. | ELECTRICAL PANEL | OPP. | OPPOSITE | | |
| EQ. | EQUAL | | | | |

VICINITY MAP



BUILDING DATA

ARCHITECT
WALKER & MOODY ARCHITECTS
2666 HYDE STREET,
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F: 415-885-1009
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E: dean@walkermoodys.com
CONTACT: JOHN C. WALKER
DEAN MARTELLI

STRUCTURAL ENGINEER
SANTOS AND URRUTIA
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TEL: (415) 642-7722
FAX: (415) 642-7590
CONTACT: ALBERT URRUTIA

SCOPE OF WORK:	REMODEL TO UPPER UNIT OF TWO UNIT BUILDING:
	<ul style="list-style-type: none"> • CHANGE REAR PORTION OF (E) GABLE ROOF TO FLAT ROOF W ROOF DECK ABOVE. INTERIOR REMODEL OF THIRD FLOOR BELOW ROOF. • (N) STAIR TO ROOF DECK. • CHANGE (E) WINDING STAIR TO THIRD FLOOR TO STRAIGHT RUN STAIR. • DEMO PORTIONS OF (E) GABLE: ADD SMALL DECK AT NORTH SIDE OF GABLE AT THIRD FLOOR; ADD NEW SHED DORMER AT SOUTH SIDE OF GABLE. • ADD (N) MOMENT FRAME AT REAR AT GROUND FLOOR; • ADD (N) WINDOW AND GLAZED DOOR

BLOCK/LOT #	0027/019
ZONING	RH-3
OCCUPANCY	R-3 / U-1 TWO UNITS OVER GARAGE
CONST. TYPE	TYPE V-N
# OF STORIES	3 OVER BASEMENT
FLOOR AREAS:	SEE SHEET A0.2

ARCHITECTURAL
AO GENERAL
A-0.1 TITLE SHEET
A-0.2 EXISTING ANALYSIS
A-0.3 GRADE PLANE

A1 SITE/ETC
A-1.1 SITE/PLOT PLAN
A-1.2 PERSPECTIVE/VIEWS

A2 PLANS

- A-2.1 BASEMENT LEVEL PLAN
- A-2.2 FIRST FLOOR: DEMO AND REMODELED PLANS
- A-2.3 SECOND FLOOR: DEMO AND REMODELED PLANS
- A-2.4 THIRD FLOOR: DEMO AND REMODELED PLANS
- A-2.5 ROOF: DEMO AND REMODELED PLANS

A3 EXTERIOR ELEVATIONS (NEW)

A-3.1 NEW WEST (FRONT) ELEVATION
A-3.2 NEW EAST (REAR) ELEVATION
A-3.3 NEW NORTH ELEVATION
A-3.4 NEW SOUTH ELEVATION

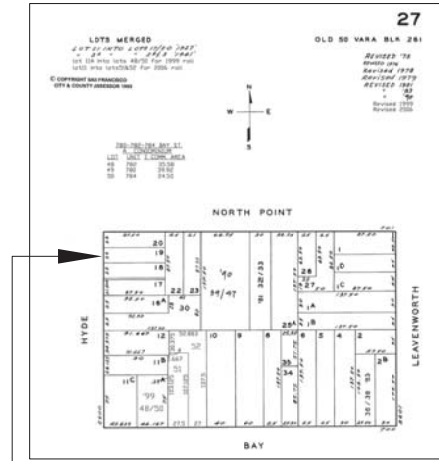
A3E EXTERIOR ELEVATIONS (EXISTING)

A-3E.1 EXISTING WEST (FRONT) ELEVATION
A-3E.2 EXISTING EAST (REAR) ELEVATION
A-3E.3 EXISTING NORTH ELEVATION
A-3E.4 EXISTING SOUTH ELEVATION

A4 BUILDING SECTIONS (NEW)

A-4.1 SECTION
A-4.2 SECTION
A-4.3 SECTIONS

PLOTTED May 31, 2016 — 10:24am



2650-52 HYDE STREET,
 BLOCK 27, LOT 19

2 BLOCK AND LOT MAP
 SCALE: NO SCALE

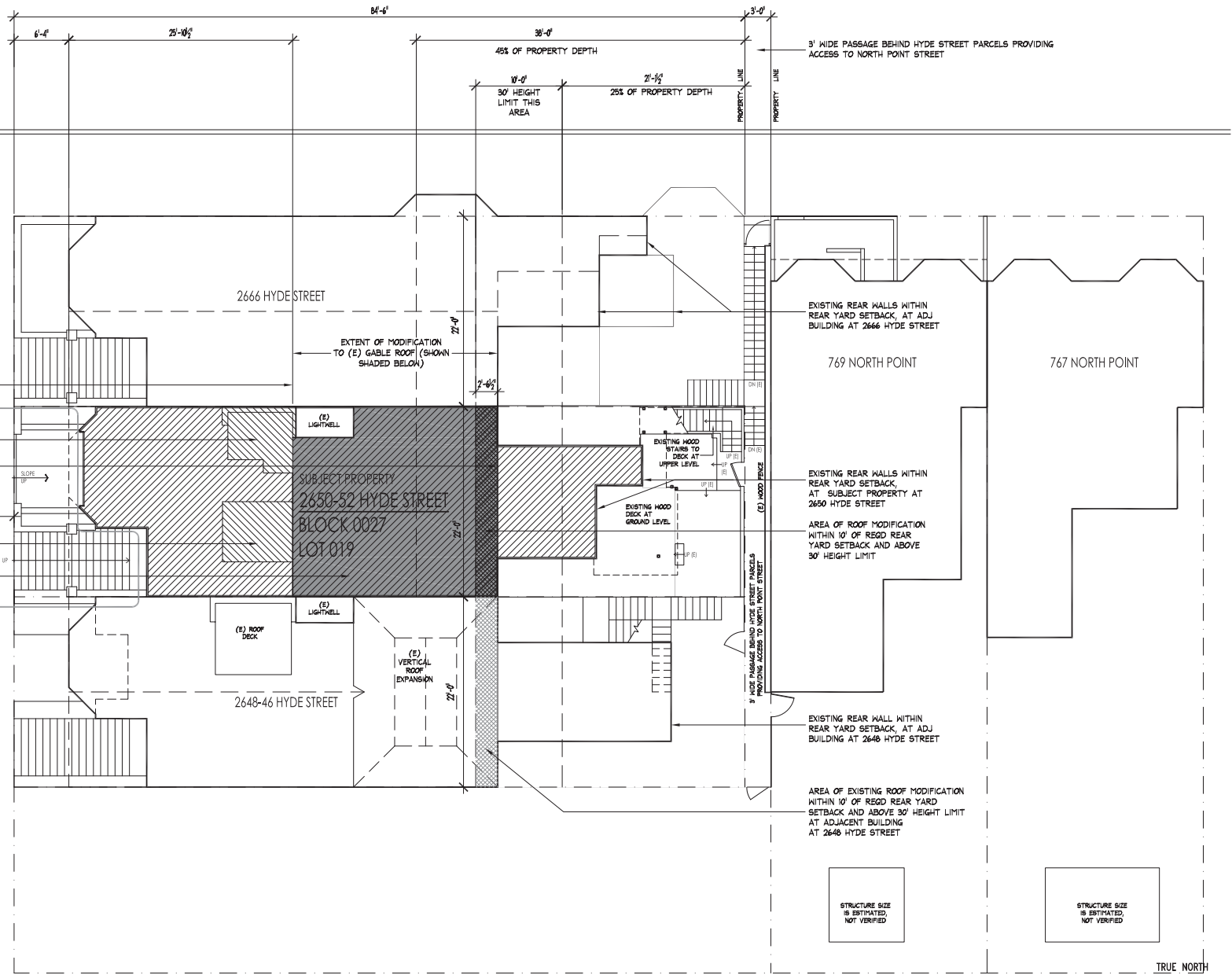
VIEW #4

AREA OF NEW ROOF SET BACK
 FROM FRONT OF BUILDING
 25'-10 1/2" (IN-LINE W LIGHTWELL)
 AREA OF NEW ROOF DECK AT
 LEVEL 3 SHOWN HATCHED, OPP.
 AREA OF NEW ROOF STOPS
 IN-LINE WITH ROOFS OF
 ADJACENT PROPERTIES AND
 EXTENDS NO FARTHER THAN
 EXISTING GABLE ROOF
 AREA OF NEW SHED ROOF DORMER
 SHOWN HATCHED, OPP.
 AREA OF NEW ROOF SHOWN SHADED
 WORK AT FRONT OF HOUSE AND
 SIDEWALK AND STREET TREES
 PART OF SEPARATE PERMITS. SEE
 PERMIT NO. 2008.126.7606R4



NORTH POINT STREET

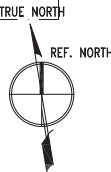
HYDE STREET



STRUCTURE SIZE
 IS ESTIMATED,
 NOT VERIFIED

STRUCTURE SIZE
 IS ESTIMATED,
 NOT VERIFIED

1 PROPOSED SITE PLAN
 SCALE: 1/8"=1'-0"



NEIGHBORHOOD
 MTNG
 SITE PERMIT
 REVISION
 VARIANCE

DATE:
 05-20-15
 REVISED
 06-05-15
 11-13-15
 05-31-16

WALKER & MOODY ARCHITECTS A.I.A.
 2666 HYDE STREET
 SAN FRANCISCO, CALIF. 94109
 (415) 885-0800
 FAX 885-1009

RESIDENTIAL REMODEL
 2650-52 HYDE STREET
 SAN FRANCISCO, CA 94109

PROPOSED
 SITE PLAN
 SHEET NO.
 A1.1
 OF



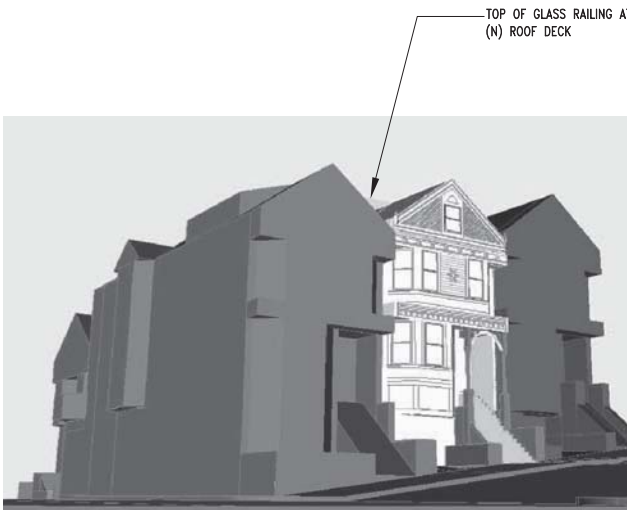
2650-52 HYDE STREET
PHOTO OF EXISTING HYDE STREET
ELEVATION FROM ABOVE



26050-52 HYDE STREET
PHOTO OF EXISTING HYDE STREET
ELEVATION FROM SIDEWALK ACROSS STREET



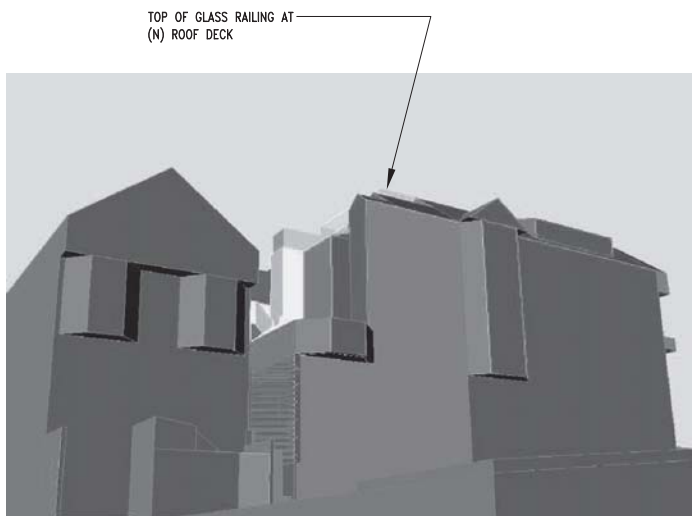
VIEW #1
PHOTO OF EXISTING



VIEW #1
FROM NORTHWEST



VIEW #2
PHOTO OF EXISTING



VIEW #2
FROM NORTHEAST



VIEW #3
PHOTO OF EXISTING



VIEW #3
FROM SOUTHWEST CORNER
OF INTERSECTION

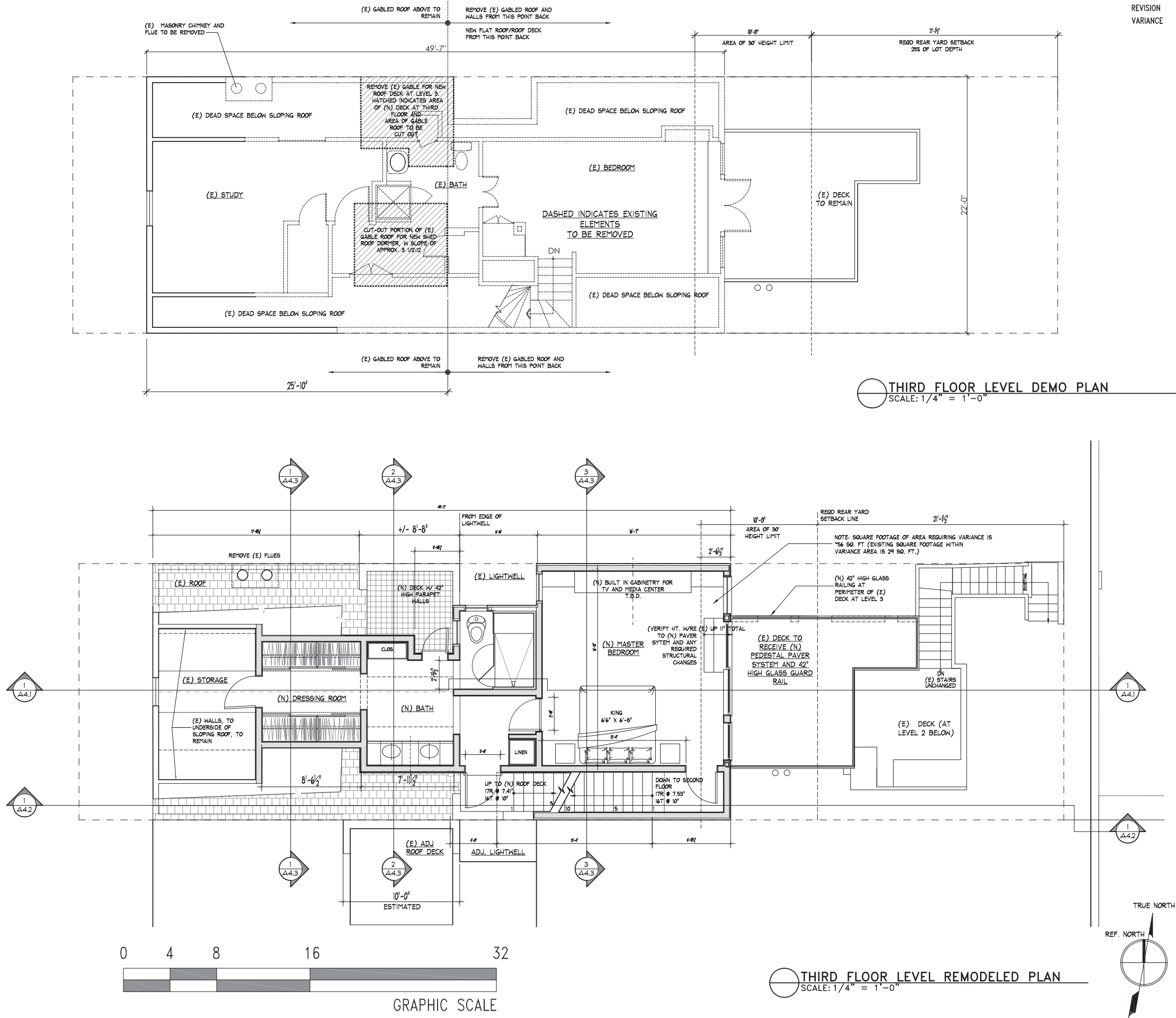


VIEW #4
PHOTO OF EXISTING



VIEW #4
FROM SOUTHWEST
(HYDE STREET)

PLOTTED: May 31, 2016 - 10:42am



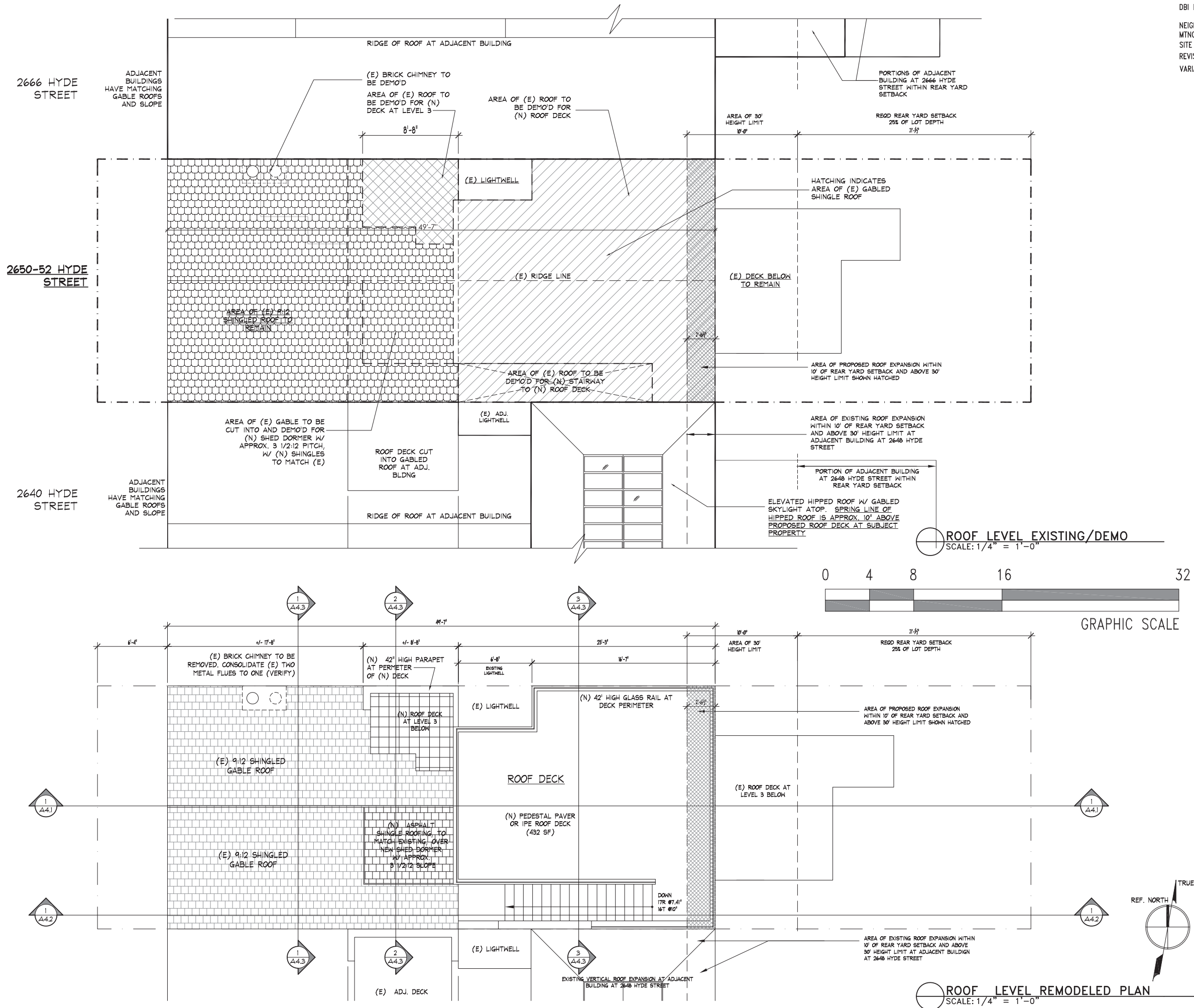
DBI PRE-APP	DATE: 02-26-15
NEIGHBORHOOD MTNG	REVISED 05-20-15
SITE PERMIT	06-05-15
REVISION	11-13-15
VARIANCE	05-31-16

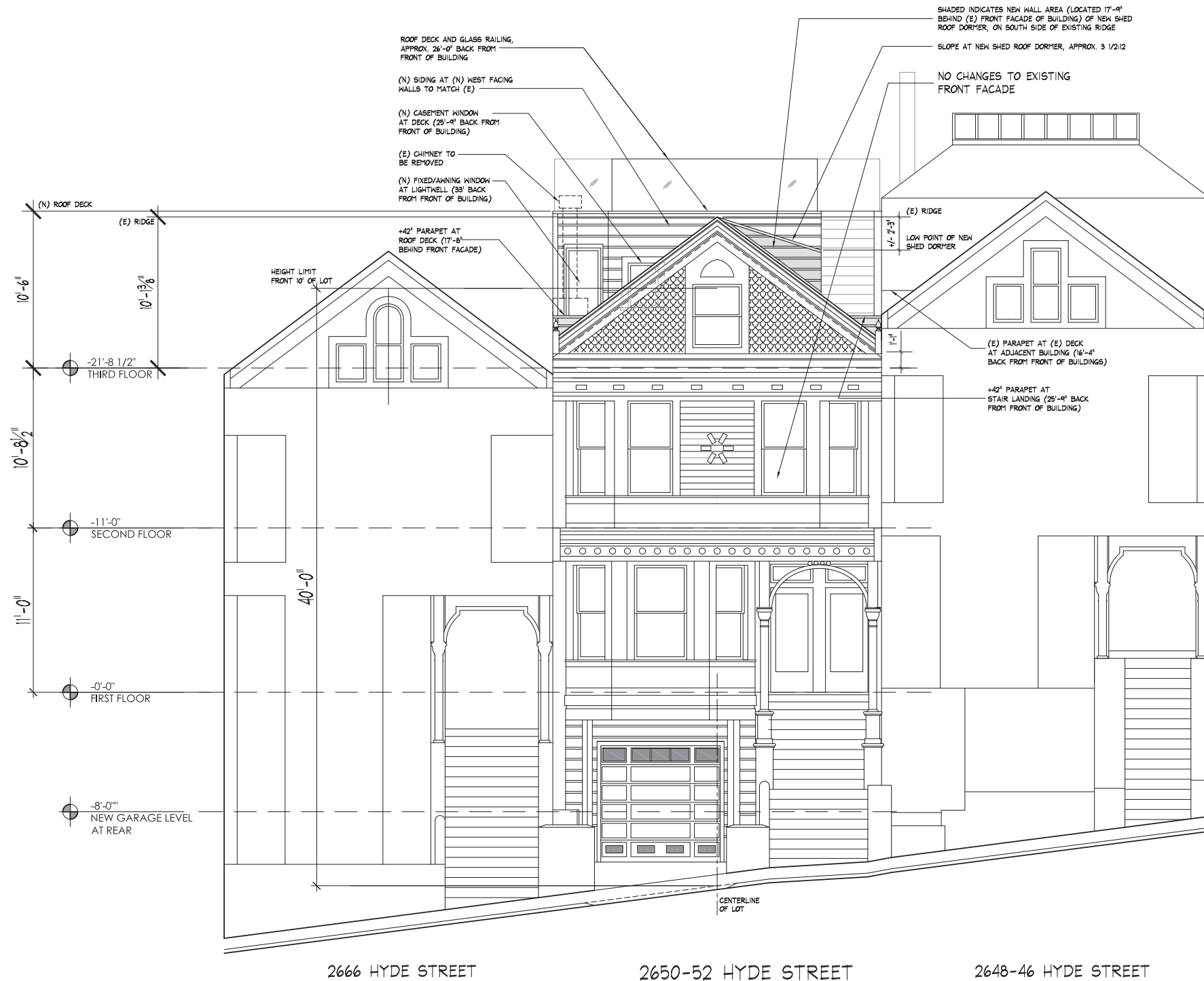
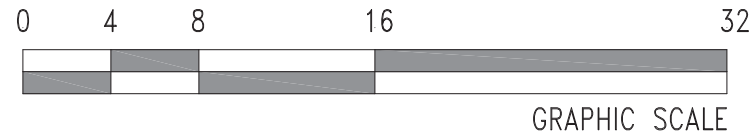
WALKER & MOODY ARCHITECTS A.I.A.
 2666 HYDE STREET
 SAN FRANCISCO, CALIF. 94109
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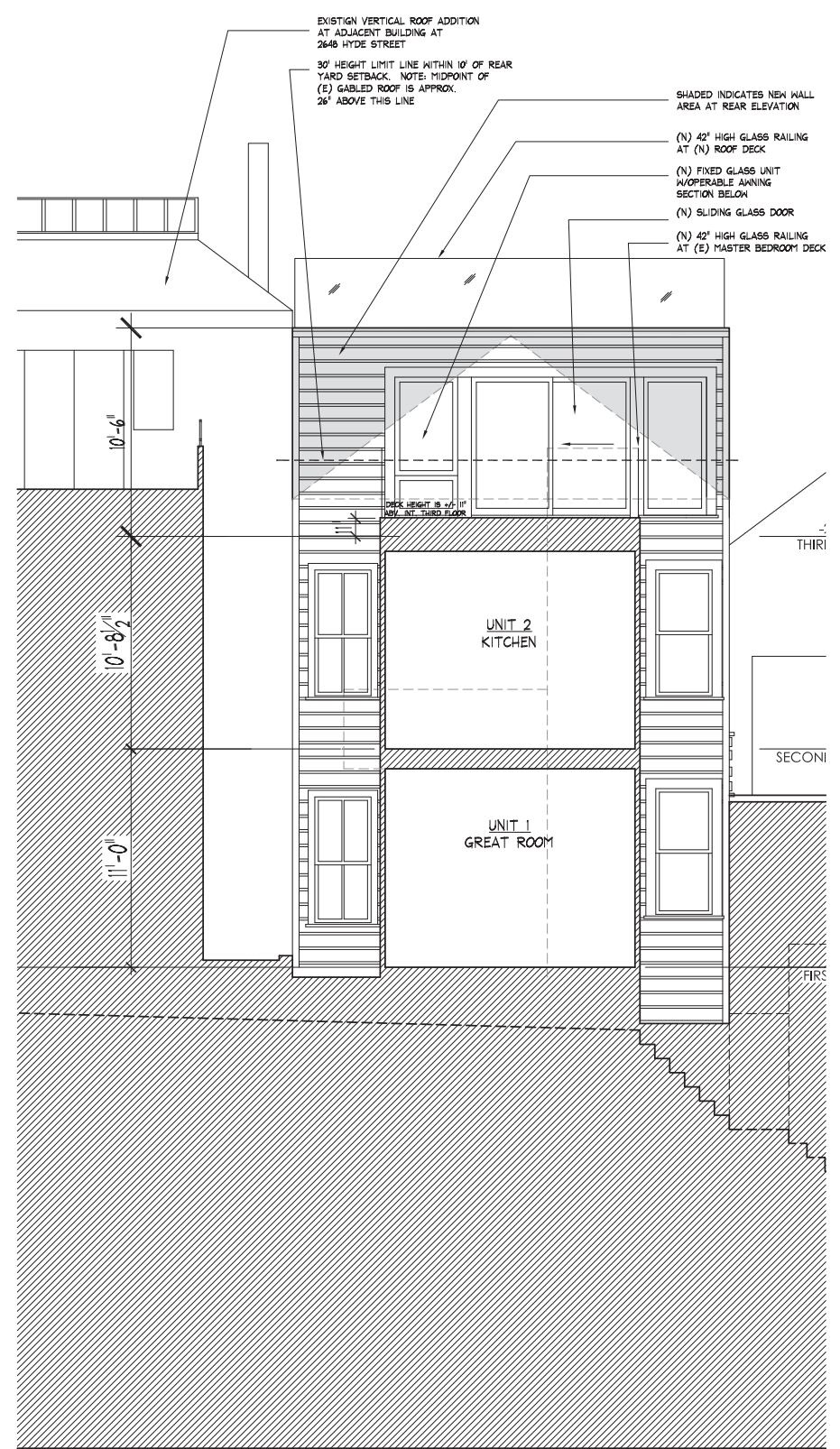
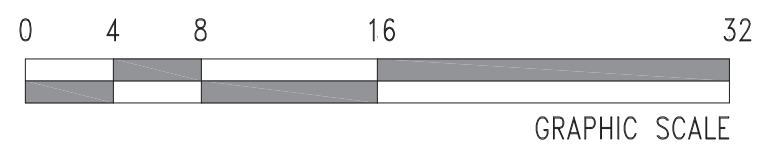
RESIDENTIAL REMODEL
 2650-52 HYDE STREET
 SAN FRANCISCO, CA 94109

THIRD FLOOR DEMO AND REMODELED PLAN
 SHEET NO. **A2.4**
 OF

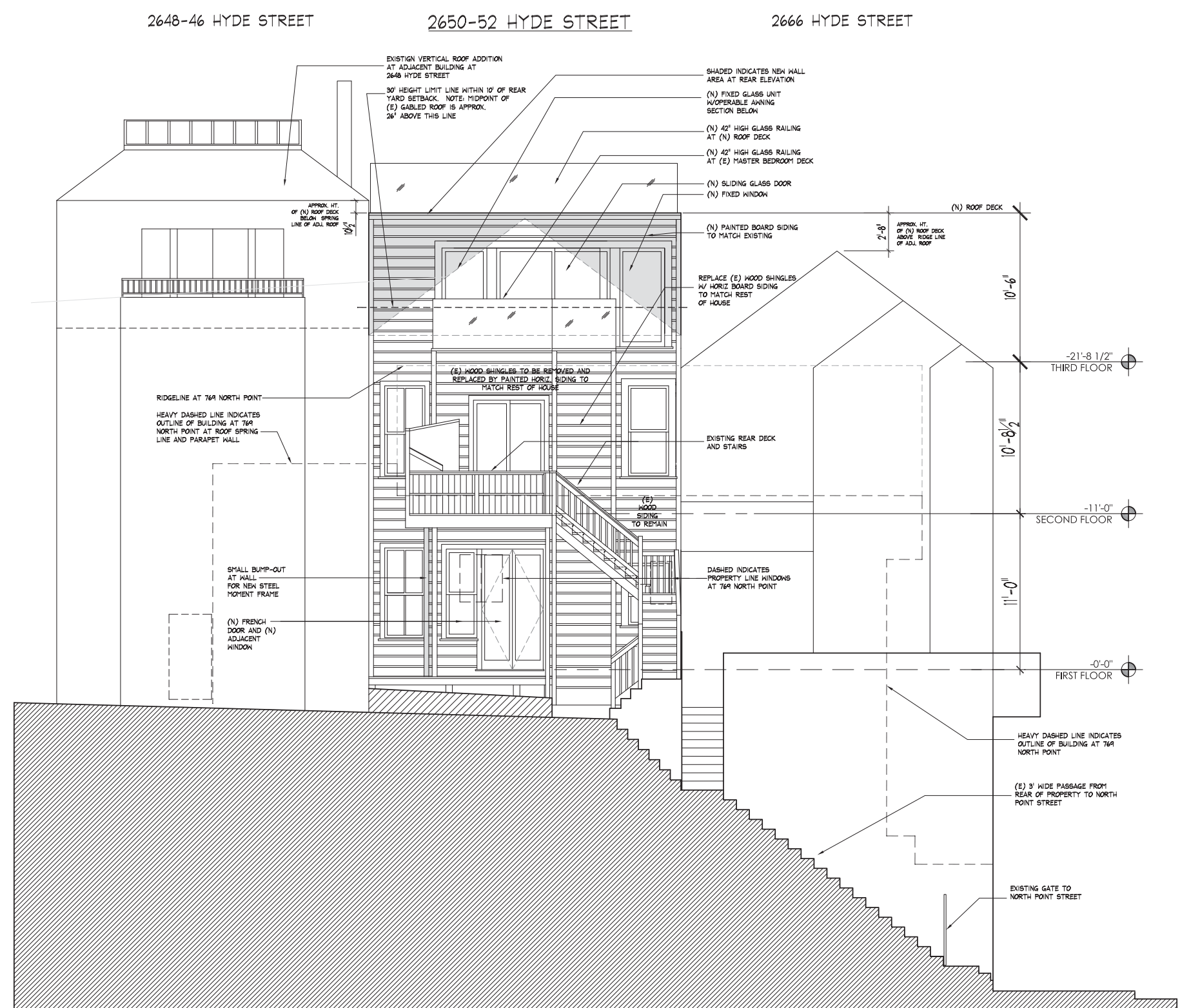
PLOTTED May 27, 2016 - 1:12pm





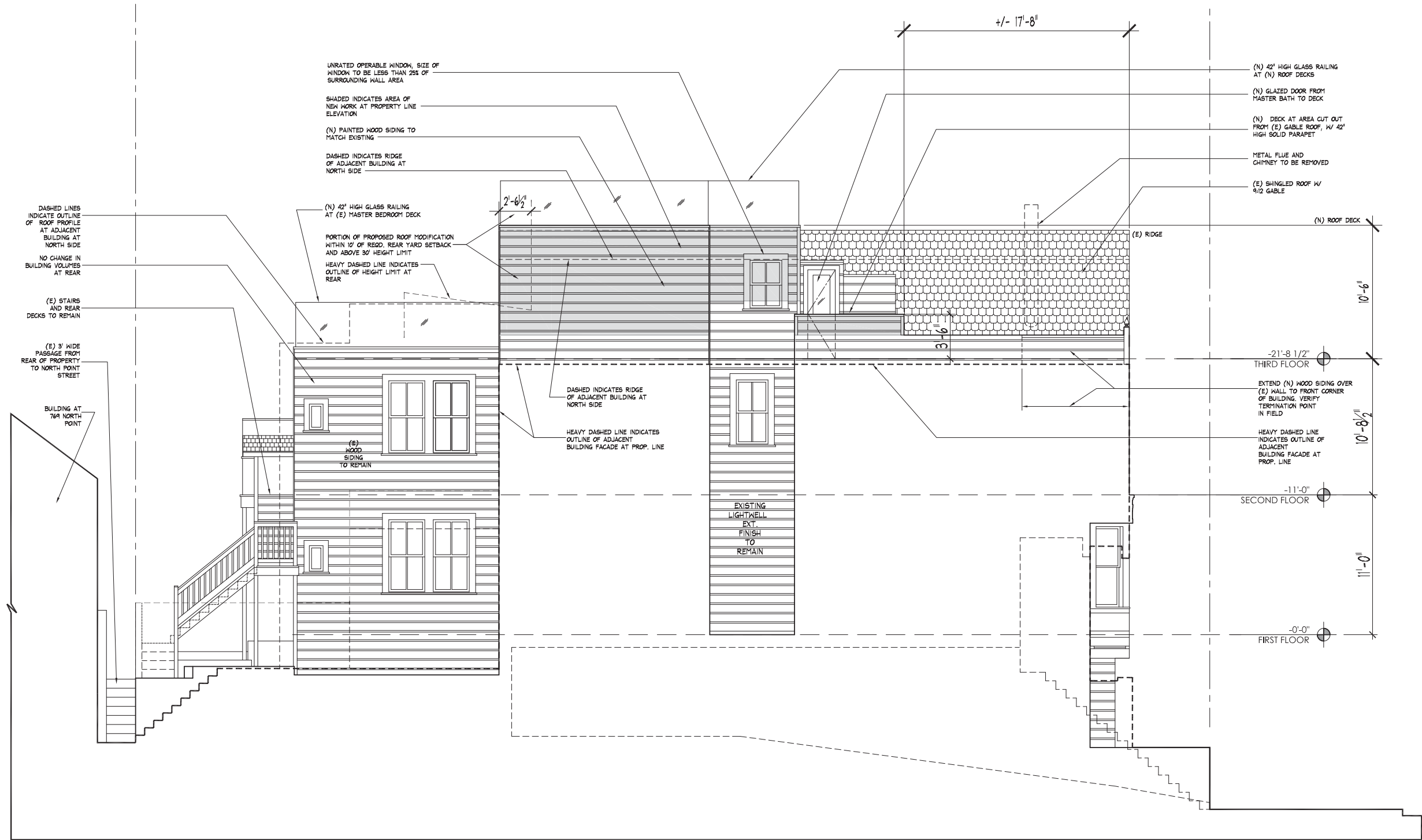


1 EAST (REAR) ELEVATION/SECTION AT REAR WALL OF ADDITION (NEW)
A3.2 SCALE: 1/4" = 1'-0"



2 EAST (REAR) ELEVATION AT PROP LINE (NEW)
A3.2 SCALE: 1/4" = 1'-0"

PLOTTED May 27, 2016 - 11:50am



1 NORTH ELEVATION (NEW)
A3.3 SCALE: 1/4" = 1'-0"

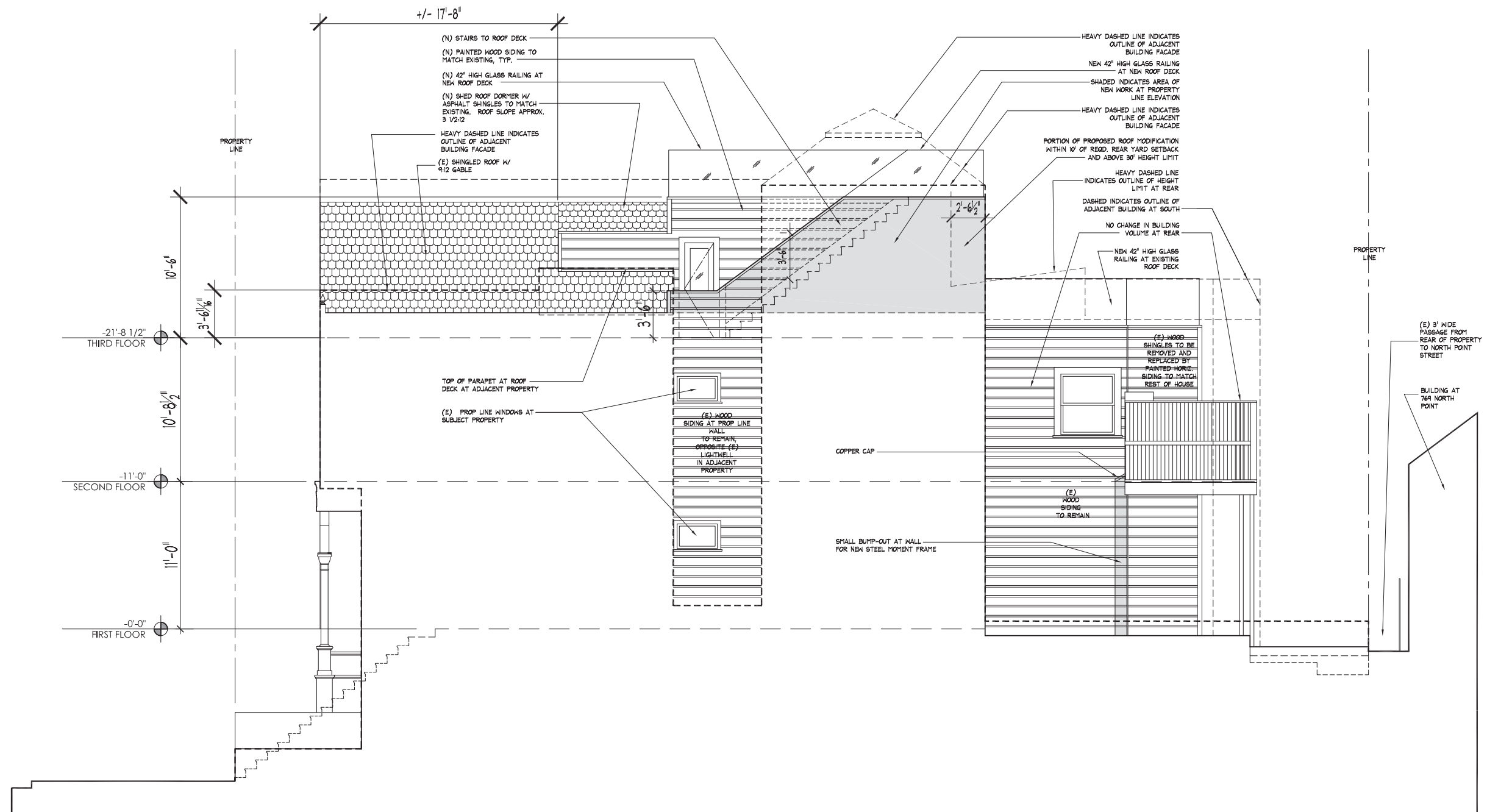
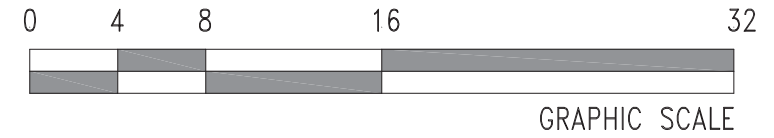
NEIGHBORHOOD	DATE:
MTNG	05-20-15
	REVISED
SITE PERMIT	06-05-15
REVISION	11-13-15
REVISION	02-17-16
VARIANCE	05-31-16

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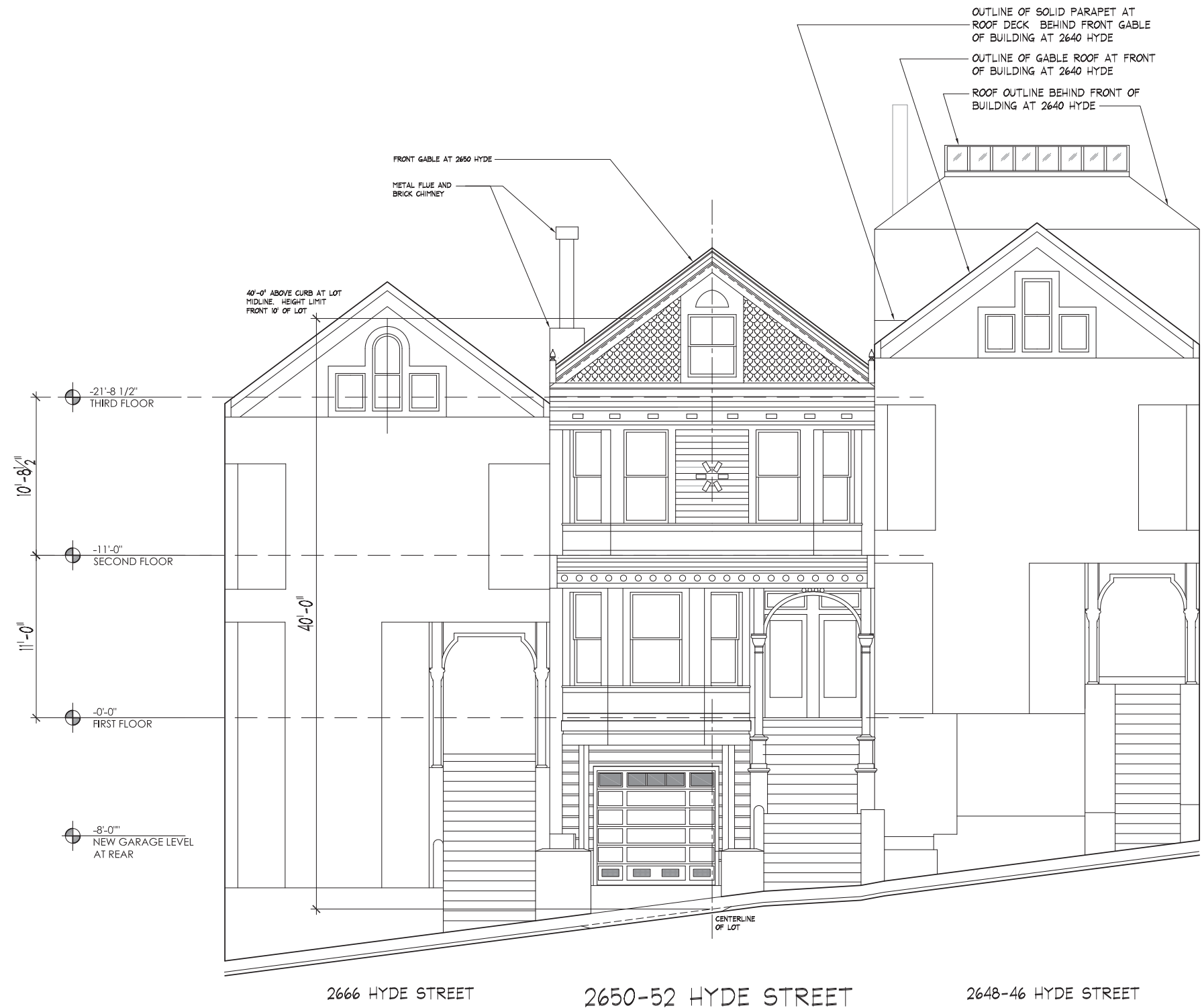
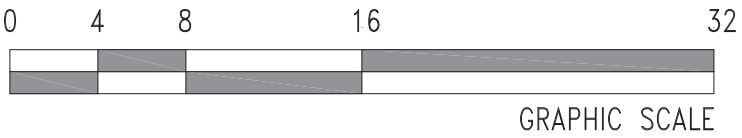
RESIDENTIAL REMODEL
2650-52 HYDE STREET
SAN FRANCISCO, CA 94109

NEW
NORTH
ELEVATION

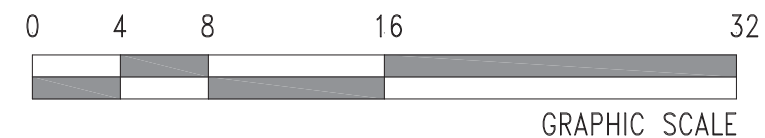
SHEET NO.
A3.3



1 SOUTH ELEVATION (NEW)
A3.4 SCALE: 1/4\" = 1'-0\"



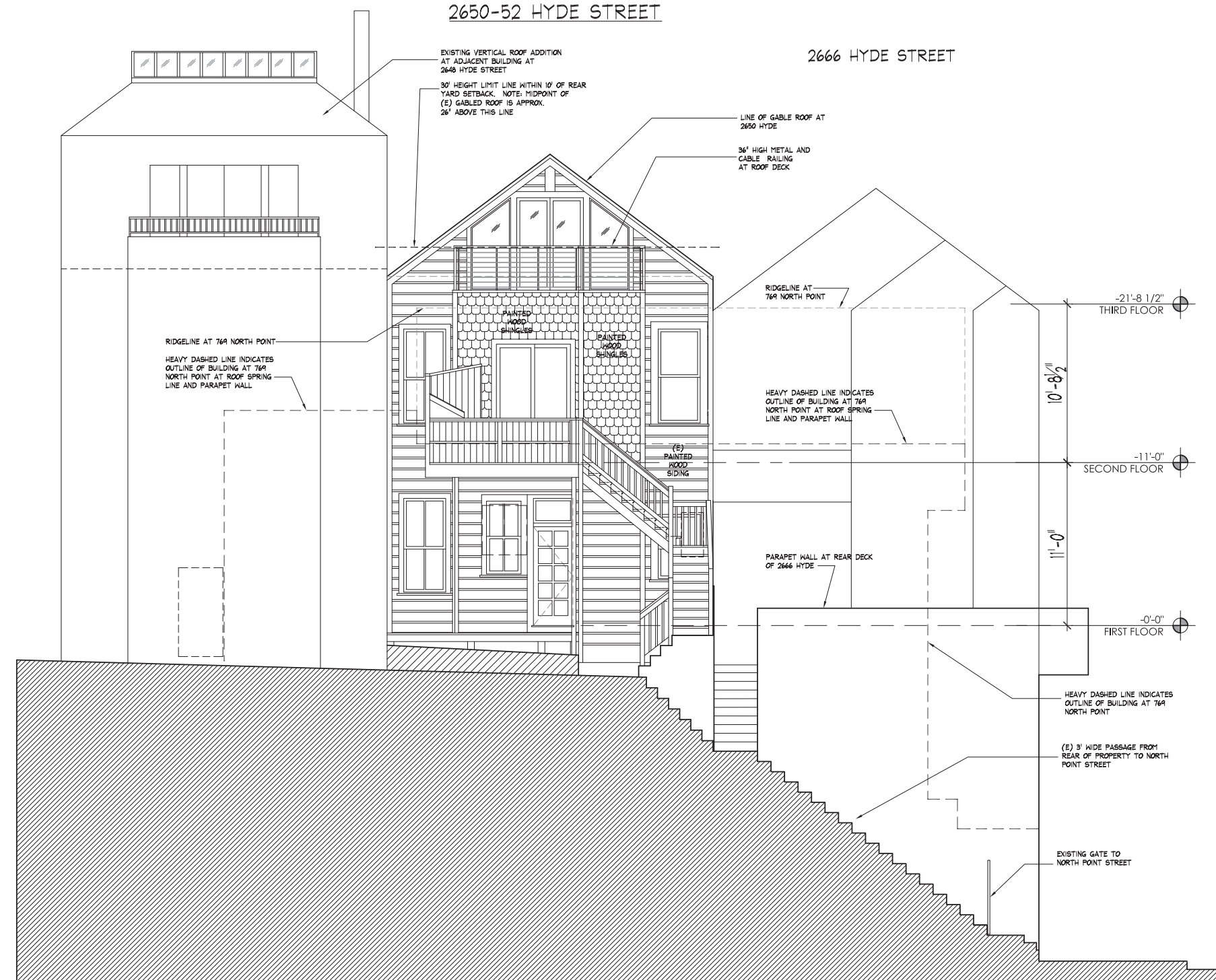
1 WEST (FRONT) EXISTING ELEVATION
A3E.1 SCALE: 1/4" = 1'-0"



2648-46 HYDE STREET

2650-52 HYDE STREET

2666 HYDE STREET



2 EAST (REAR) EXISTING ELEVATION (AT PROP LINE)
A3E.2 SCALE: 1/4" = 1'-0"

PLOTTED May 26, 2016 - 4:41pm

WALKER & MOODY ARCHITECTS A.I.A.
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FAX 885-1009

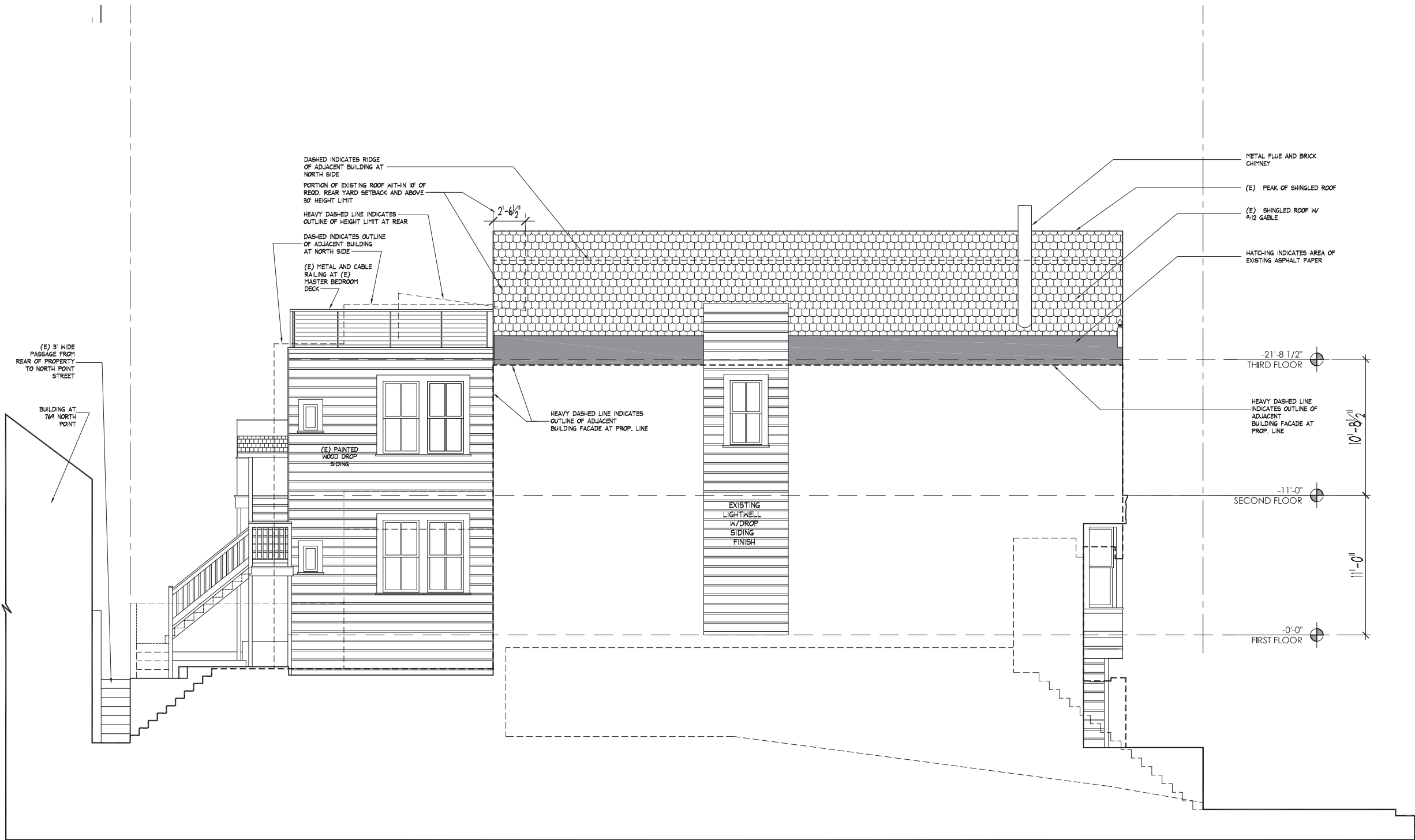
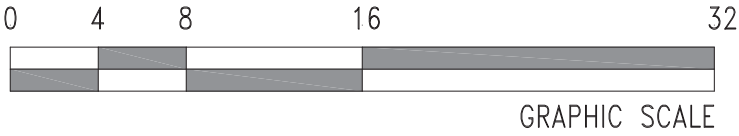
RESIDENTIAL REMODEL
2650-52 HYDE STREET
SAN FRANCISCO, CA 94109

EXISTING
ELEVATION
EAST (REAR)

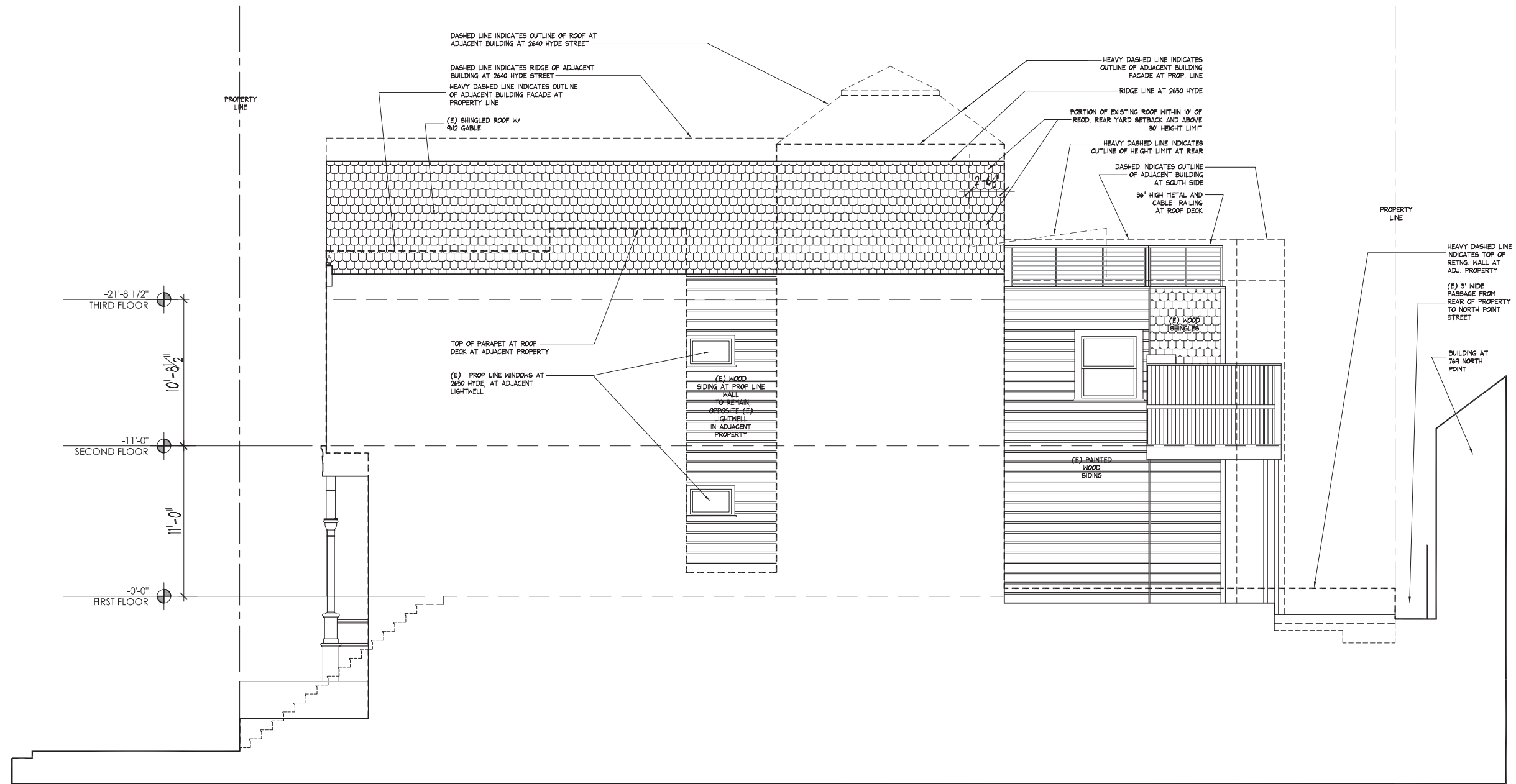
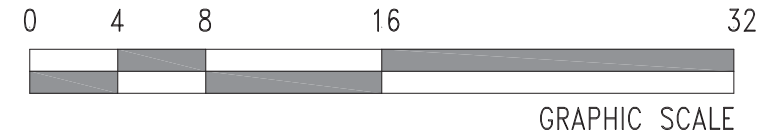
SHEET NO.

A3E.2

On

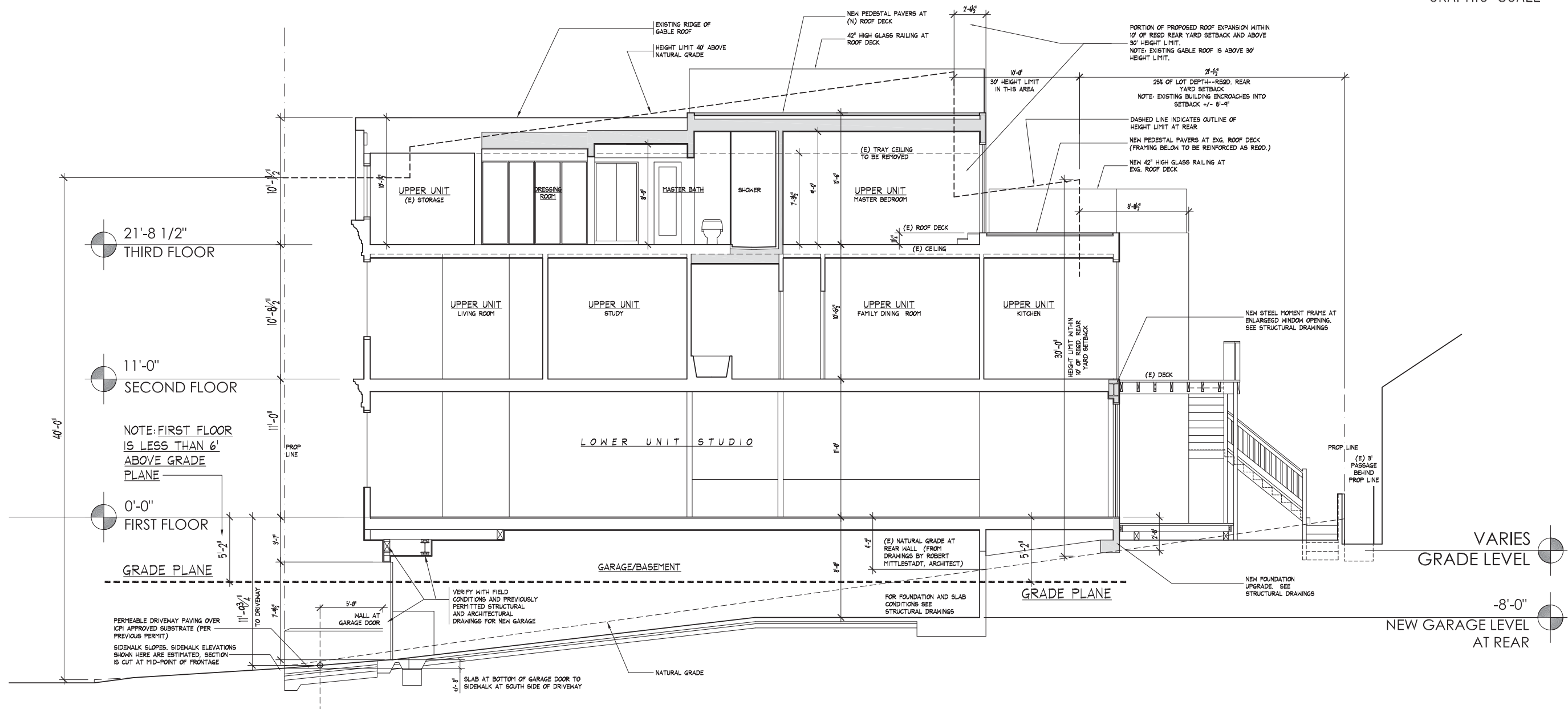
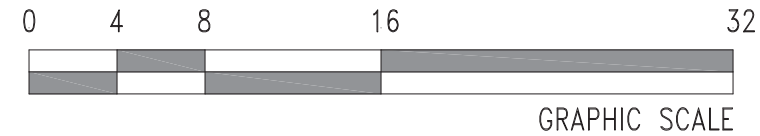


1 NORTH (EXISTING) ELEVATION
A3E.3 SCALE: 1/4" = 1'-0"



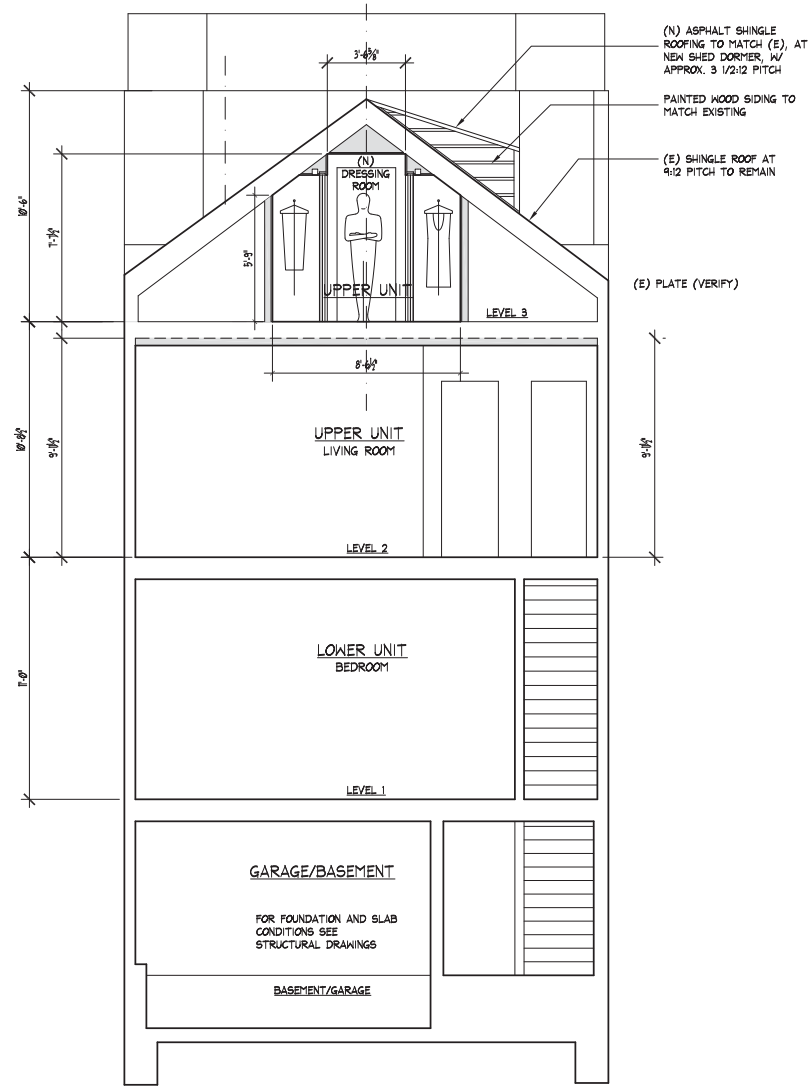
1 SOUTH (EXISTING) ELEVATION
A3E.4 SCALE: 1/4" = 1'-0"

DBI PRE-APP	DATE: 02-26-15
NEIGHBORHOOD MTNG	REVISED 05-20-15
SITE PERMIT	06-05-15
REVISION	11-13-15
REVISION	02-17-16
VARIANCE	05-31-16

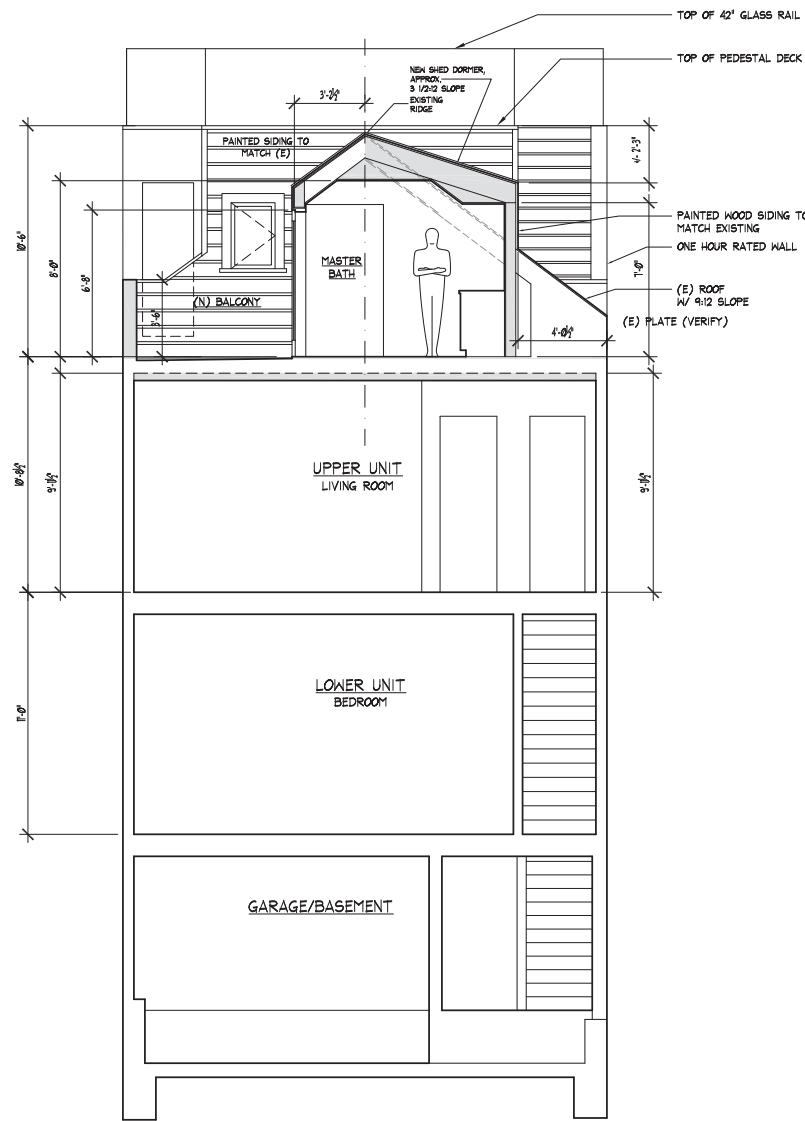


1 SECTION AT RIDGE
A4.1 SCALE: 1/4" = 1'-0"

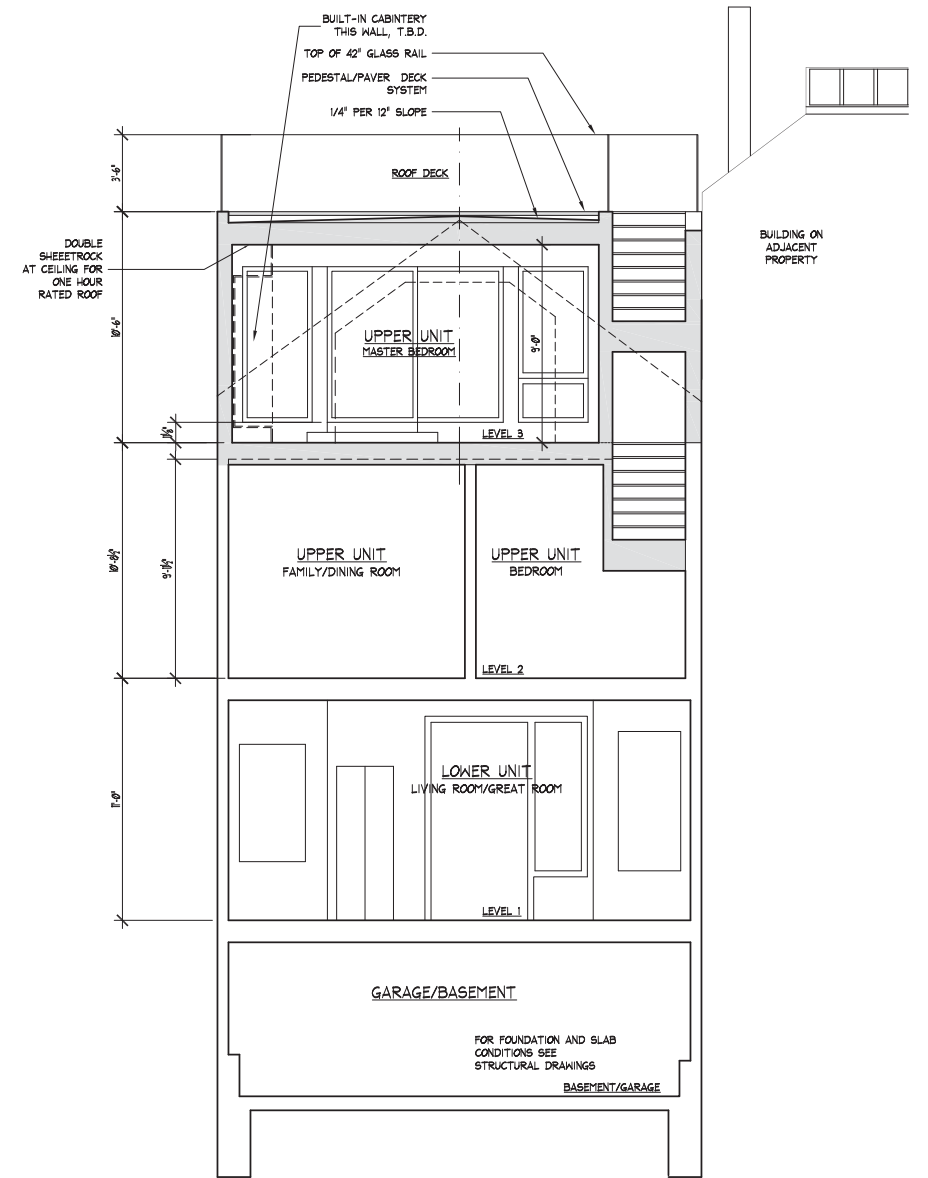
PLOTTED Nov 11, 2015 - 5:30pm



1 CROSS SECTION AT (E) ROOF
A4.3 SCALE: 1/4" = 1'-0"



2 CROSS SECTION AT (N) SHED DORMER
A4.3 SCALE: 1/4" = 1'-0"



3 CROSS SECTION AT MASTER BEDROOM
A4.3 SCALE: 1/4" = 1'-0"

