



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 23, 2016**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard and Useable Open Space)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 630 Natoma Street	Case No.: 2015-009485VAR
Cross Street(s): 7th and 8th Streets	Building Permit: TBD
Block / Lot No.: 3727/049	Applicant/Agent: Scott Couture, Couture Architecture
Zoning District(s): RED / 40-X / Western SoMa Special Use District	Telephone: 415-482-0224
Area Plan: Western SoMa	E-Mail: design@couturearchitecture.net

PROJECT DESCRIPTION

The proposal includes demolition of the existing one-story industrial building (measuring 2,620 square feet) and the new construction of a four-story residential building with three dwelling units (7,700 square feet) and two off-street parking spaces.

PER SECTION 134 OF THE PLANNING CODE , the subject property is required to maintain a rear yard of 18-feet, 9-inches. The project would maintain a rear yard of 9-feet 6-inches. Therefore, the project requires a variance.

PER SECTION 135 OF THE PLANNING CODE , the subject project is required to provide 80 square feet of usable open space for each dwelling unit. Per Section 823, roof decks shall not qualify as required private or common useable open space pursuant to Planning Code Section 135. Additionally, Section 135 establishes minimum requirements for usable open space. The private usable open space at the rear of the building does not meet minimum requirements and the private usable open space on the roof deck does not count towards the required amount of open space. Therefore, the project requires a variance.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Richard Sucre** Telephone: **415-575-9108** Mail: Richard.Sucre@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2015-009485VAR.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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PLANNING NOTES

1. Front Facade
 - a. Ground floor entry is recessed matching neighborhood pattern and providing additional space at the street level.
 - a. Double bay window continues rhythm of north side of the street neighboring facades.
 - a. 2 story bay windows picks up scale of bay windows of the neighboring buildings to the east while picking up the scale (height) of the neighboring buildings to the west.
 - a. Recessed upper floor continues the scale (height) of the neighboring buildings to the east while picking up the scale (height) of the neighboring buildings to the west.
 - a. The shape and form of front facade match the residential characteristics of the neighborhood while the simple finishes and windows pick up the neighboring light industrial building characteristics (i.e. across the street).
 - a. Two new street trees are added to provide a greening effect on the neighborhood. Currently there is only two nearby street tree (just to the east).
2. Rear Facade
 - a. Requested rear setback is 9'-6" on the west property line and 15'-3" on the east property line. Western neighbor has an existing building setback of +/- 9'-6" and deck setback of +/- 3'-9". Eastern neighbor has an existing building setback of +/- 8'-8" and deck setback of +/- 0'-9".
 - a. The stepped rear building profile matches the setback of each of the neighboring buildings at the side property lines. This allows privacy between all three neighbors from within each building. While the rear yard decks of both adjacent neighbors can intrude on the privacy from inside the proposed residence at 630 Natoma this proposal excludes the proposal of decks to minimize the privacy impact they may have on the adjacent neighbors.
 - a. The addition of a solid rear wall (parallel to the side property lines) provides privacy screening between the proposed residence and the existing windows on the stepped back portion of the neighbor to the east.
 - a. The adjacent property to the rear is a 100' wide parking lot and will not be impacted by the requested rear setback.
 - a. Most (perhaps all) properties nearby on the north side of Natoma Street and the south side of Minna Street have rear yard setbacks equal to or less than the requested proposal. The proposal continues the pattern of the neighborhood while maintaining a larger setback than the majority of the neighborhood.

3. Roof
 - a. The third floor and roof edge have been setback 3' from the property line.
 - a. The roof deck (and railings) has been setback from the front, rear and sides of the building to minimize visibility and impacts.
 - a. The roof access stair penthouse has been located in the center of the building and cannot be seen from the street of rear yards. The height of the roof has been minimized, focused into the center of the building and tapered down at the sides to the height of the parapet to minimize its visibility and impacts.
 - a. The roof parapet has been set to the minimum per code (30").
4. Unit Open Space
 - a. Unit 1 has a private, large (370 sq.ft.) open space yard with access provided from the unit. This space is larger and more usable than deck space provided of the rear of the first floor and this space does not have the privacy & noise impact to the adjacent neighbors than a first floor rear yard deck would.
 - a. Unit 2 & 3 have private, large (350 sq.ft.) open space areas provided with access from each unit on the roof top. This space is larger and more usable than deck space provided of the rear of the second and third floors and have greater access to sunlight. Also this space does not have the privacy & noise impact to the adjacent neighbors that second floor and third floor rear yard decks would.
 - a. Unit 1,2 & 3 are all designed to have open indoor/outdoor space at each living area. This is provided with floor to ceiling sliding glass doors that can be opened effectively making the interior space a covered outdoor deck. This will provide ample access to light and air and be a more effective way to create usable outdoor areas than smaller rear yard decks would. This, in combination with the outdoor yard and roof deck areas, provides valuable outdoor space for each unit that is private, easy to access and has minimum impacts to the neighbors.

PROJECT INFORMATION

Demolition of existing 1 story over basement, 2,620 sq.ft. storage building (S-3, 2001 CBC) and construction of new three unit condominium over 2 car parking garage.

PROJECT NOTES

1. 4 Story Type V-A sprinklered, 3-Story R-2 Over 1-story U
2. 3 Individual Dwelling Units
3. 2 garage parking spaces
4. Height: 40'-0" top of roof
5. Front Setback:
 - Garage Level: 4'-3"
 - First & Second Floor: 0'-0"
 - Third Floor: 3'-0"
6. Rear Setback: 15'-3" east side, 9'-6" west side
7. Bay Window: 24" projection over front property line

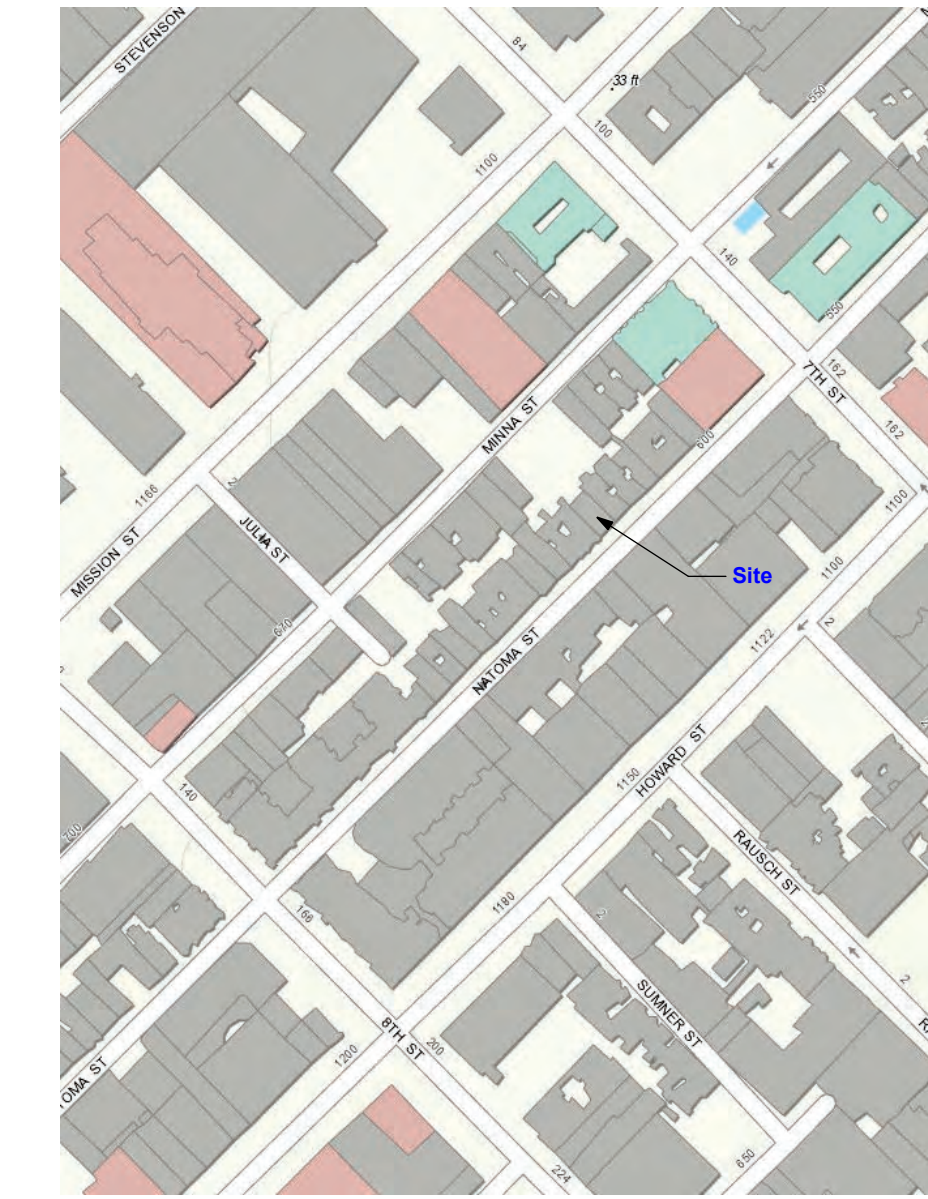
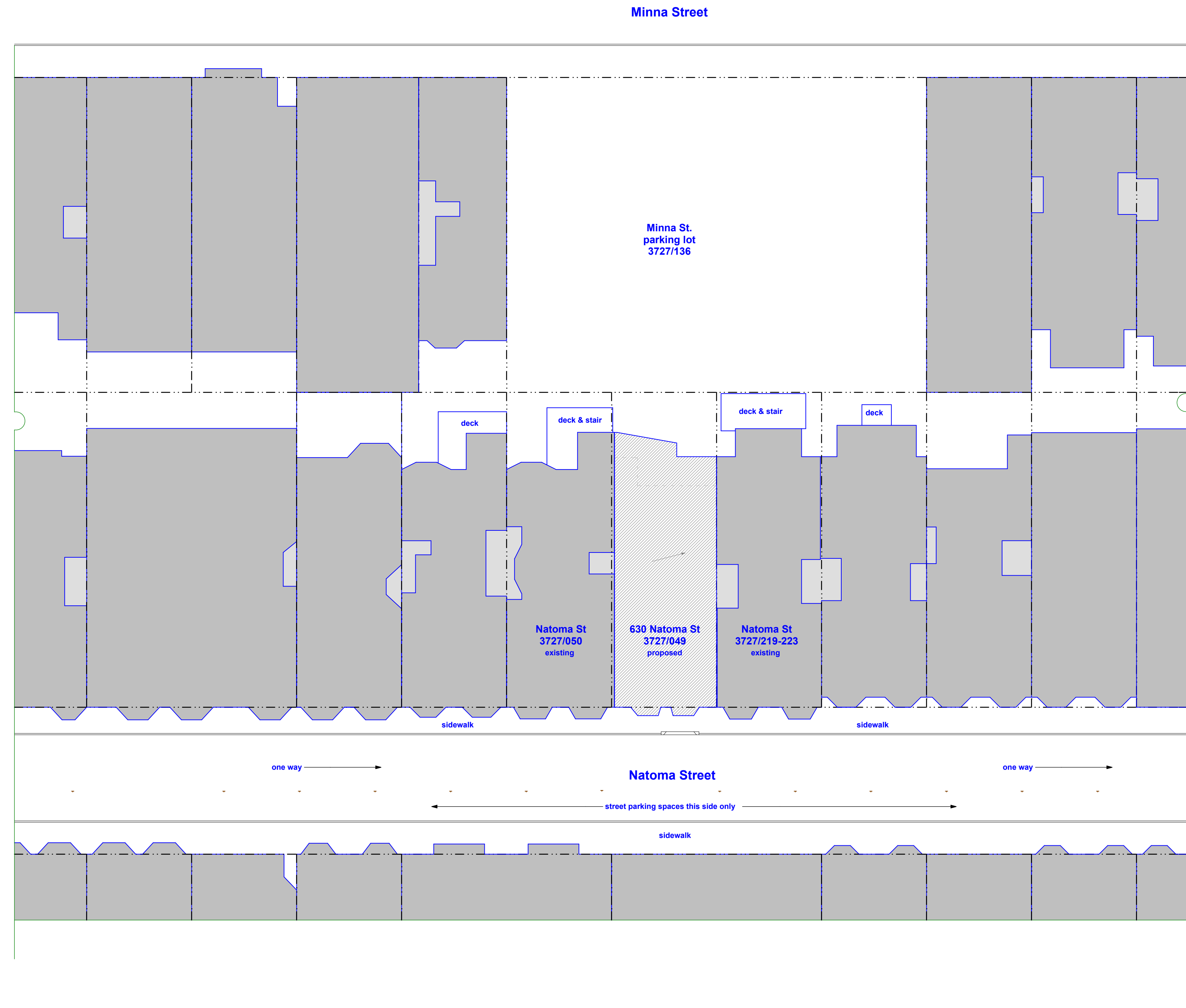
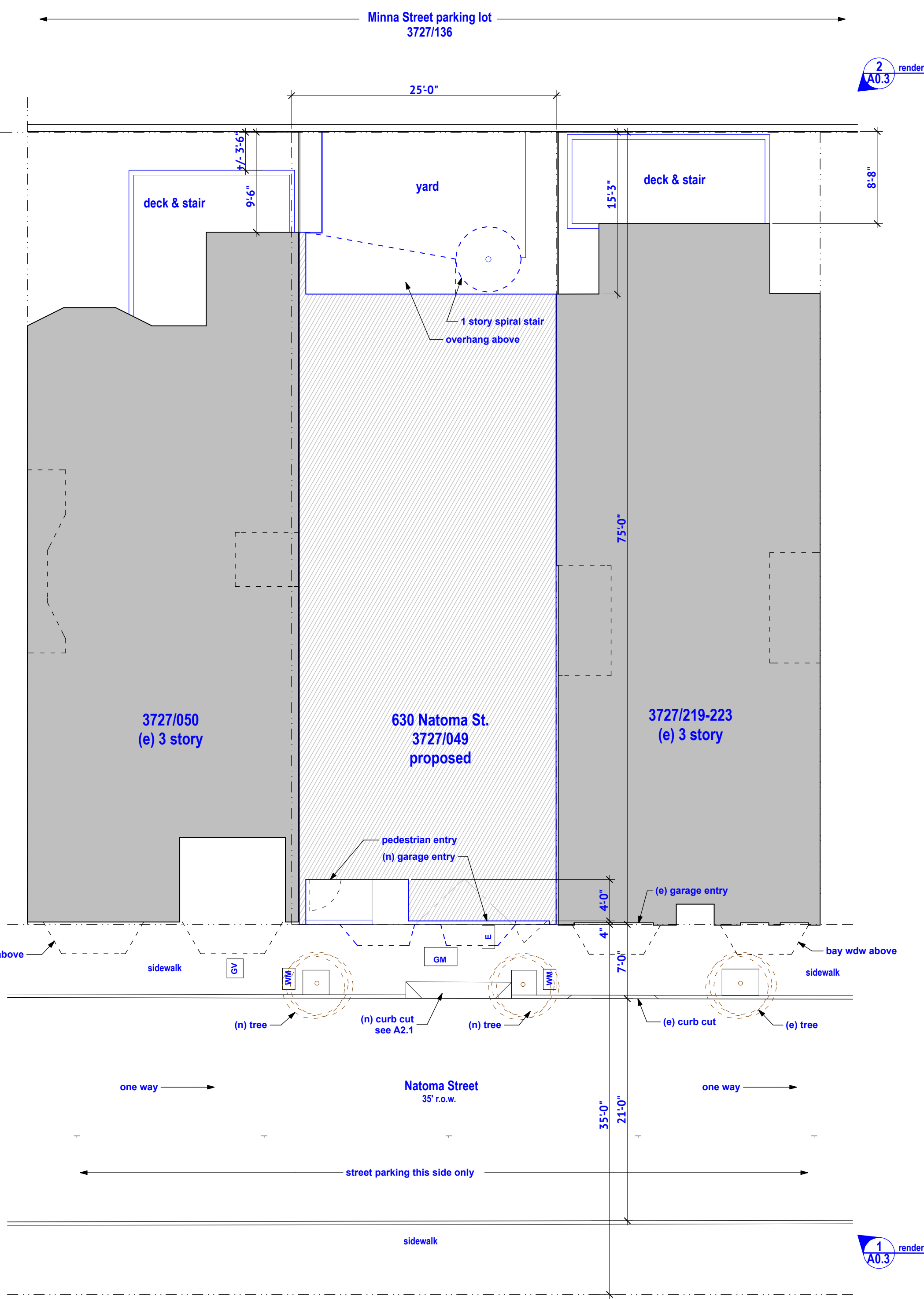
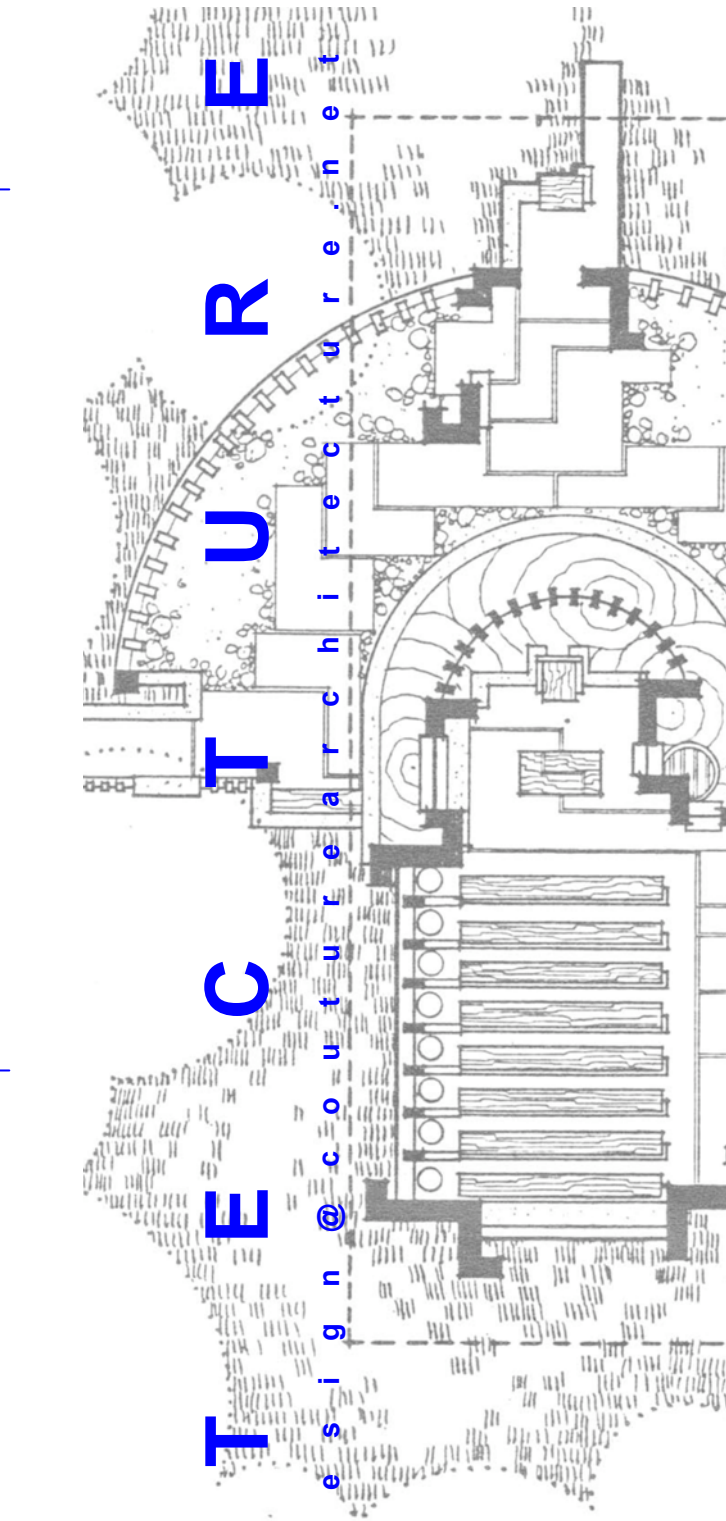
SITE NOTES

APN: Block 3727 Lot 049
 Lot Size: 1,875 sq. ft.
 Zoning District: RED - South of Market Residential Enclave
 Height & Bulk: 40-X
 Special Use District: Western SoMa
 Planning Area: Western SoMa, South of Market
 Historic District: Western SoMa Light Industrial & Residential
 Historic Resource Survey: South of Market Area Historic Resource Survey, January 2011
 HRE: Part 1 Historical Resource Evaluation report has been prepared by Tim Kelley Consulting, May 2015
 Year Built: 1950, extent building effective construction date.
 Original 1908 building has been added to, remodeled and portions removed, see Kelley HRE report.
 Original 1908 facade was removed in a 1950 permitted remodel, see Kelly HRE report
 Original 1908 roof was replaced in a 1950 permitted remodel, see Kelly HRE report
 Original 1908 building was extended to the rear based upon a 1950 Sanborn Map, see Kelly HRE report

Floor Level:	Occ Goup:	Use	Area (sq.ft.)	Occ. Load	Notes:
Garage Level:	U:	Common Garage:	1,205 sq.ft.	6	Common use for all three units Common egress for all three units Unit 1 private open space
	R-2:	Common Entry & Stair:	190 sq.ft.	1	
	R-2:	Unit 1 yard:	370 sq.ft.		
First Floor:	R-2:	Common Stair:	210 sq.ft.	1	Common egress for all three units Individual Dwelling Unit
	R-2:	Unit 1:	1,325 sq.ft.	7	
Second Floor:	R-2:	Common Stair & Hall:	320 sq.ft.	2	Common egress for all three units Individual Dwelling Unit Individual Dwelling Unit
	R-2:	Unit 2 - Level 1:	600 sq.ft.	3	
	R-2:	Unit 3 - Level 1:	610 sq.ft.	3	
Third Floor:	R-2:	Unit 2 - Level 2:	695 sq.ft.	4	Individual Dwelling Unit Unit 2 private open space Individual Dwelling Unit
	R-2:	Unit 2 Deck:	70 sq.ft.		
	R-2:	Unit 3 - Level 2:	750 sq.ft.	4	
Roof Level:	R-2:	Unit 2 - Level 3:	110 sq.ft.	1	Unit 2 Roof Penthouse Unit 2 private open space Unit 3 Roof Penthouse Unit 3 private open space Un-occupied Roof
	R-2:	Unit 2 - Roof Deck:	350 sq.ft.		
	R-2:	Unit 2 - Level 3:	110 sq.ft.	1	
	R-2:	Unit 3 - Roof Deck:	350 sq.ft.		
	R-2:	Roof Area:	435 sq.ft.		

Unit Information:	Area (sq.ft.):	Usable Open Space (sq.ft.):
Unit 1:	1,325 sq.ft.	370 sq.ft. Yard
Unit 2:	1,405 sq.ft.	420 sq.ft. Deck & Roof Deck
Unit 3:	1,470 sq.ft.	350 sq.ft. Roof Deck
Total:	4,200 sq.ft.	1,140 sq.ft. Usable Open Space

Gross Floor Area:	Area (sq.ft.):
Garage:	1,205 sq.ft.
Circulation:	720 sq.ft.
Units:	4,200 sq.ft.
Total:	6,125 sq.ft.



Location Map

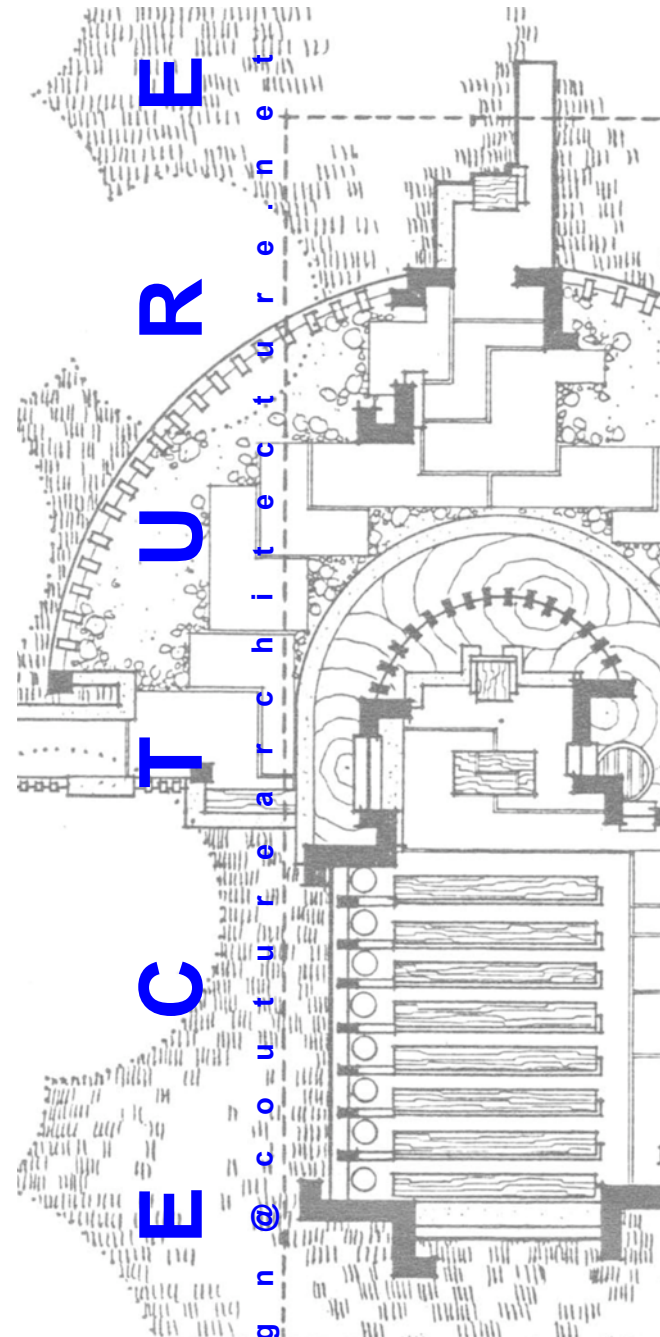
INDEX:

- A0.1 Title Sheet
- A0.2 Survey
- A0.3 Renderings
- A1.1 (e) Plans
- A2.1 (n) Floor Plans
- A2.2 (n) Floor Plans
- A3.1 Elevations
- A3.2 Elevations
- A4.1 Sections

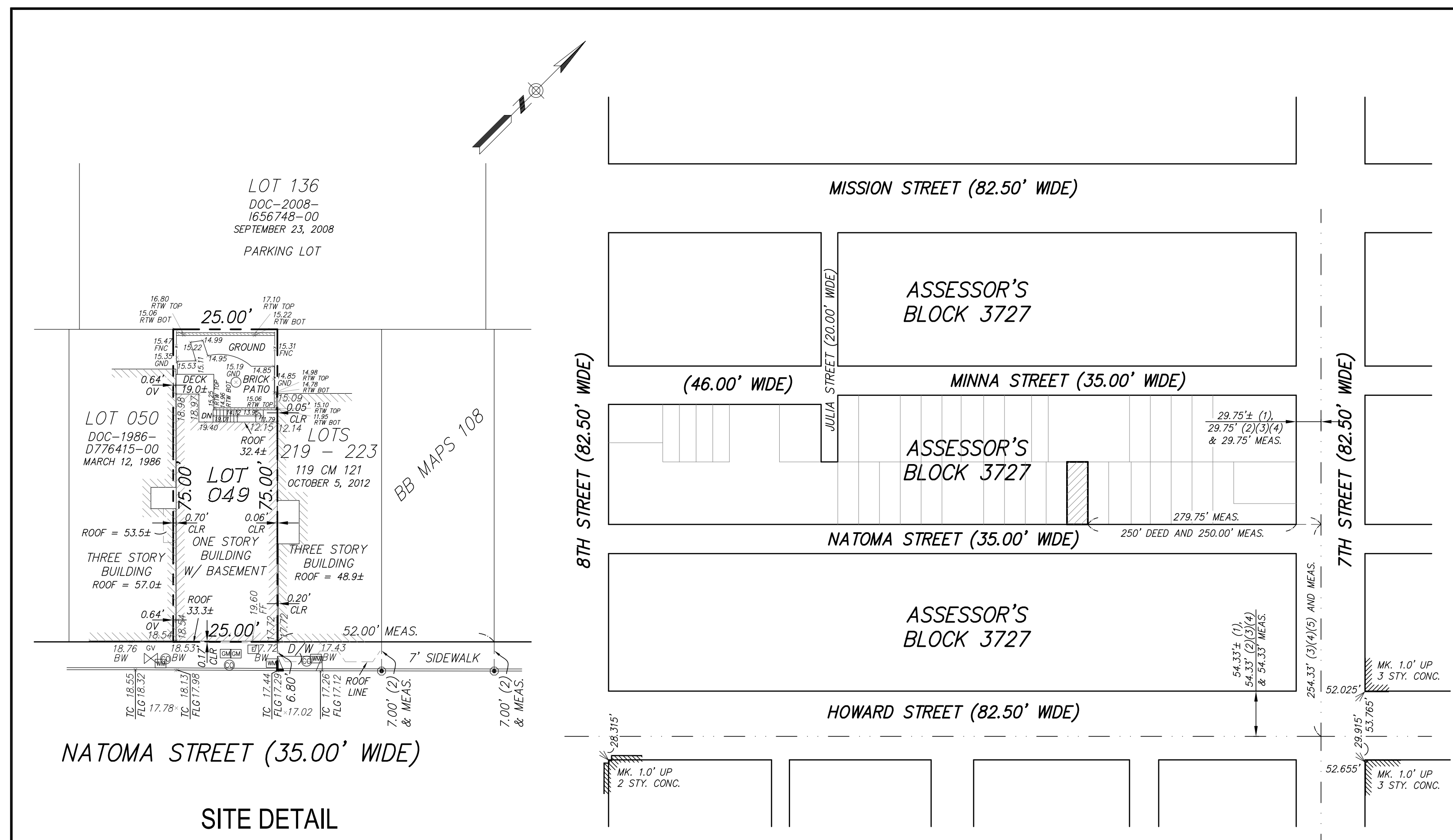
Planning Zoning Conformance
 Rear Yard Setback 15'-0" min.: No, proposal matches side neighbors
 Usable Open Space requirement: No, Unit 2 & 3 use private use roof deck

	Area	%
Unit Floor Area	4,200 sq.ft.	55%
Deck Area	70 sq.ft.	1%
Roof Deck/Yard	1,140 sq.ft.	14%
Garage Area	1,205 sq.ft.	15%
Roof Area	435 sq.ft.	6%
Circulation	720 sq.ft.	9%
Total	7,700 sq.ft.	

COULTURE ARCHITECTURE
 15 ALLY AVE
 SAN ANSELMO CA 94960
 415.482.0224
 CONDOMINIUM UNITS
630 Natoma Street
 San Francisco, California
 July 10, 2015
 Jan. 28, 2016
A0.1



C O U N T Y O F S A N F R A N C I S C O
 1 5 A L L Y N A V E N U E
 4 1 5 . 4 8 2 . 0 2 2 4
 C O U N T Y O F S A N F R A N C I S C O
 4 1 5 . 4 8 2 . 0 2 2 4



BOUNDARY NOTES
 PROPERTY AND RIGHT OF WAY LINES SHOWN HEREON ARE BASED UPON RECORD DATA AND NOT INTENDED TO BE A DETAILED FINAL SURVEY OF THE PROPERTY. BOUNDARY INFORMATION SHOWN HEREON IS FOR PLANNING PURPOSES ONLY.
 ALL ANGLES ARE 90° UNLESS OTHERWISE SHOWN.
 ALL DISTANCES ARE MEASURED IN FEET AND DECIMALS THEREOF.

DATE OF SURVEY
 TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED MAY 2015.

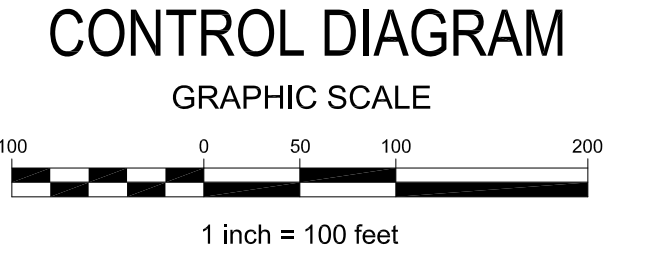
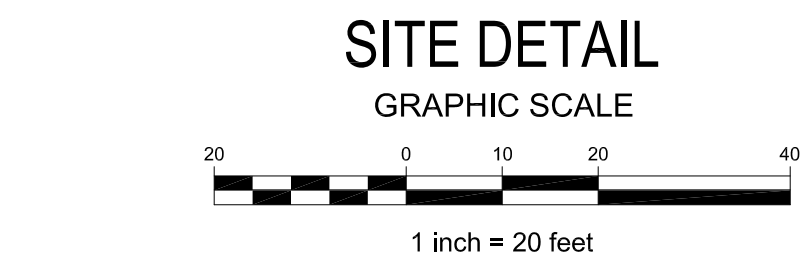
SURVEY REFERENCE
 THIS SURVEY IS BASED ON THE LEGAL DESCRIPTION DESCRIBED IN THE FOLLOWING GRANT DEED: LOT 049, RECORDED MAY 17, 2012, DOCUMENT NUMBER 2012-J414747-00, REEL K649 AT IMAGE 0808.

UTILITY NOTE
 UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THEREFORE, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL & VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY TRANSMERICAN ENGINEERS FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

PROJECT BENCHMARK - DESCRIPTION
 ELEVATIONS SHOWN HEREON WERE OBTAINED FROM THE BENCHMARK LOCATED AT HOWARD STREET AND 7TH STREET (N.E. CORNER) CROW CUT OUTER RIM SWL SAID BENCHMARK IS BASED UPON CITY & COUNTY OF SAN FRANCISCO DATUM AND HAS AN ELEVATION OF 13.793.

OWNER(S)
 LUKE STICKNEY
 630 NATOMA LLC
 735 TAYLOR ST #403
 SAN FRANCISCO, CA 94108

SURVEYOR'S STATEMENT
 THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY.
 BY: _____ DATE: _____
 BARRY A. PIERCE, L.S. 6975
 MY LICENSE EXPIRES SEPTEMBER 30, 2015



ABBREVIATIONS

AB	ASSESSOR'S BLOCK
BOT	BOTTOM
BW	BACK OF SIDEWALK
BLDG	BUILDING
CLR	CLEAR
CM	CONDOMINIUM MAP
DW	DRIVEWAY
ELEV	ELEVATION
FF	FINISH FLOOR
FLG	FLOW LINE GUTTER
FNC	FENCE
GND	GROUND
LS	LAND SURVEYOR
MEAS	MEASURED
OV	OVER
PM	PARCEL MAP
RTW	RETAINING WALL
SQ. FT.	SQUARE FEET
TC	TOP OF CURB
(UO)	UNKNOWN ORIGIN
()	RECORD DATA

LEGEND

---	PROPERTY LINE
---	ADJACENT PARCEL LINES
---	RIGHT OF WAY LINE
---	MONUMENT LINE
---	BUILDING LINE
---	FENCE LINE
▲	MARK MONUMENT MAP
●	FOUND RIVET & TAG PLS 7639 PER (2)
L	L CUT PER SET (UO)
⊙	CLEANOUT
⊕	WATER METER
⊗	GAS METER
⊘	GAS VALVE
⊚	ELECTRIC BOX

REFERENCES

- (1) MONUMENT MAP 285 & 314, ON FILE IN OFFICE OF THE CITY AND COUNTY SURVEYOR
- (2) BB MAPS 108, MAP FILED OCTOBER 10, 2006, OFFICE OF THE COUNTY RECORDER
- (3) 119 CM 121, MAP FILED OCTOBER 5, 2012, OFFICE OF THE COUNTY RECORDER
- (4) 48 PM 145, MAP FILED JULY 31, 2013, OFFICE OF THE COUNTY RECORDER
- (5) HISTORIC BLOCK DIAGRAM: 100 VARA BLOCK 407 DATED APRIL 12, 1910, ON FILE IN OFFICE OF THE CITY AND COUNTY SURVEYOR

TENTATIVE PARCEL MAP
 A XXX RESIDENTIAL UNIT CONDOMINIUM PROJECT
 A SUBDIVISION OF THAT REAL PROPERTY
 DESCRIBED IN THAT CERTAIN DEED
 RECORDED ON MAY 17, 2012
 AS DOC-2012-J414747-00, OFFICIAL RECORDS

CITY & COUNTY OF SAN FRANCISCO
 SCALE AS SHOWN

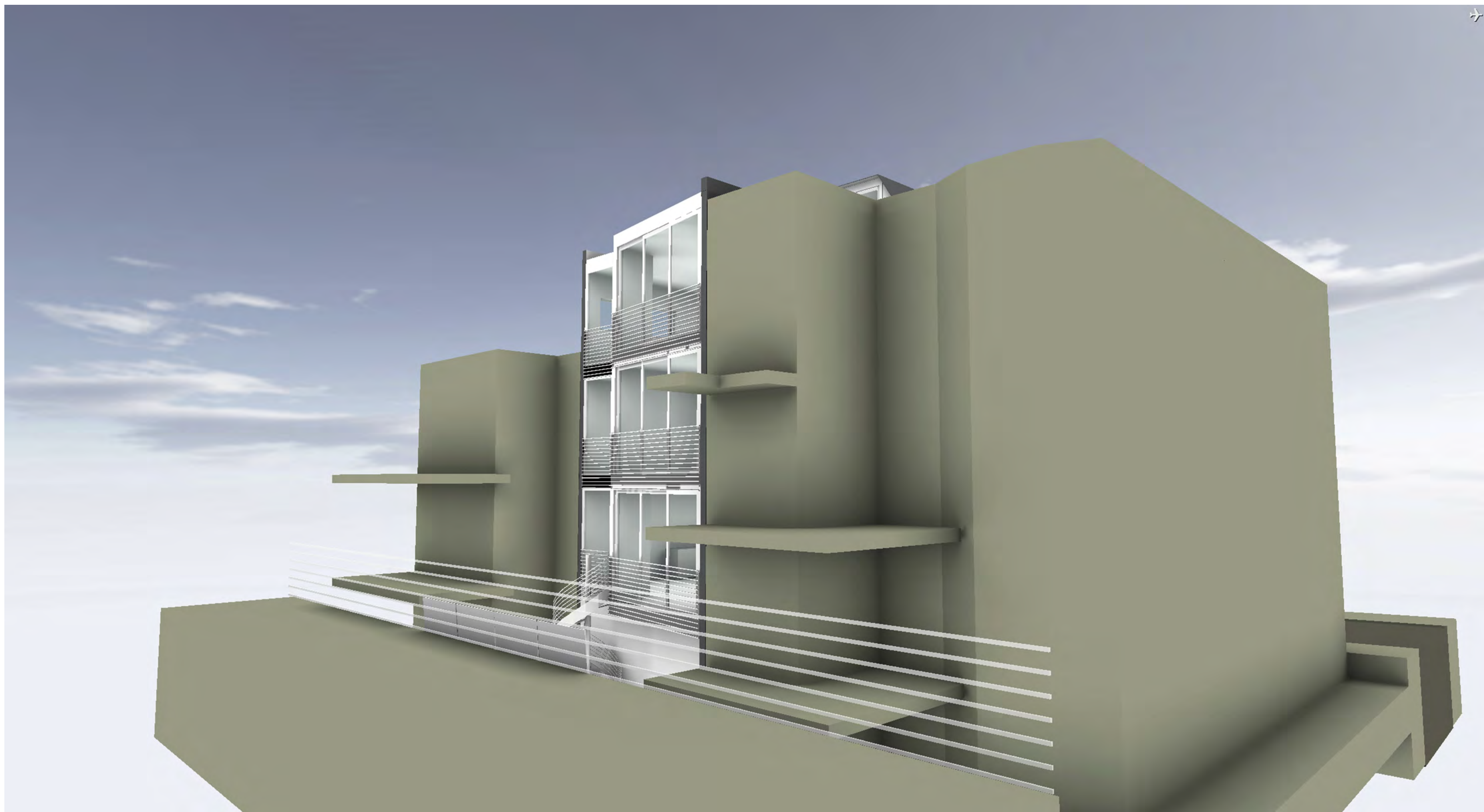
STATE OF CALIFORNIA
 DATE: JULY 2015

BARRY A. PIERCE
 TRANSMERICAN ENGINEERS & ASSOCIATES

SHEET 1 OF 1
 AB: 3727, LOT: 049, ADDRESS: 630 NATOMA STREET

July 10, 2015
Jan. 28, 2016

A0.2



④ Rear Yard, View from West



② Rear Yard, View from East

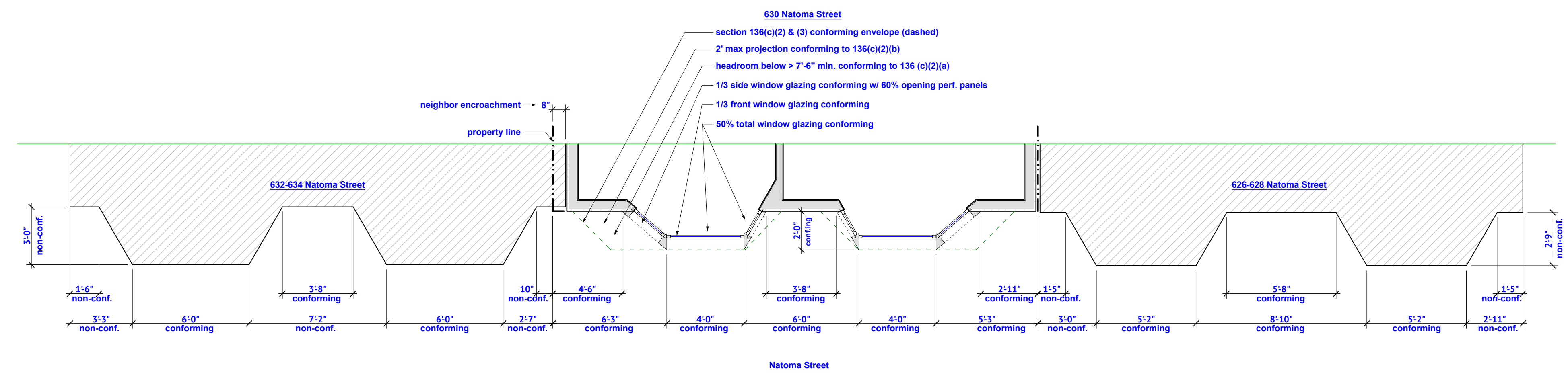


③ Natoma Street, View from West

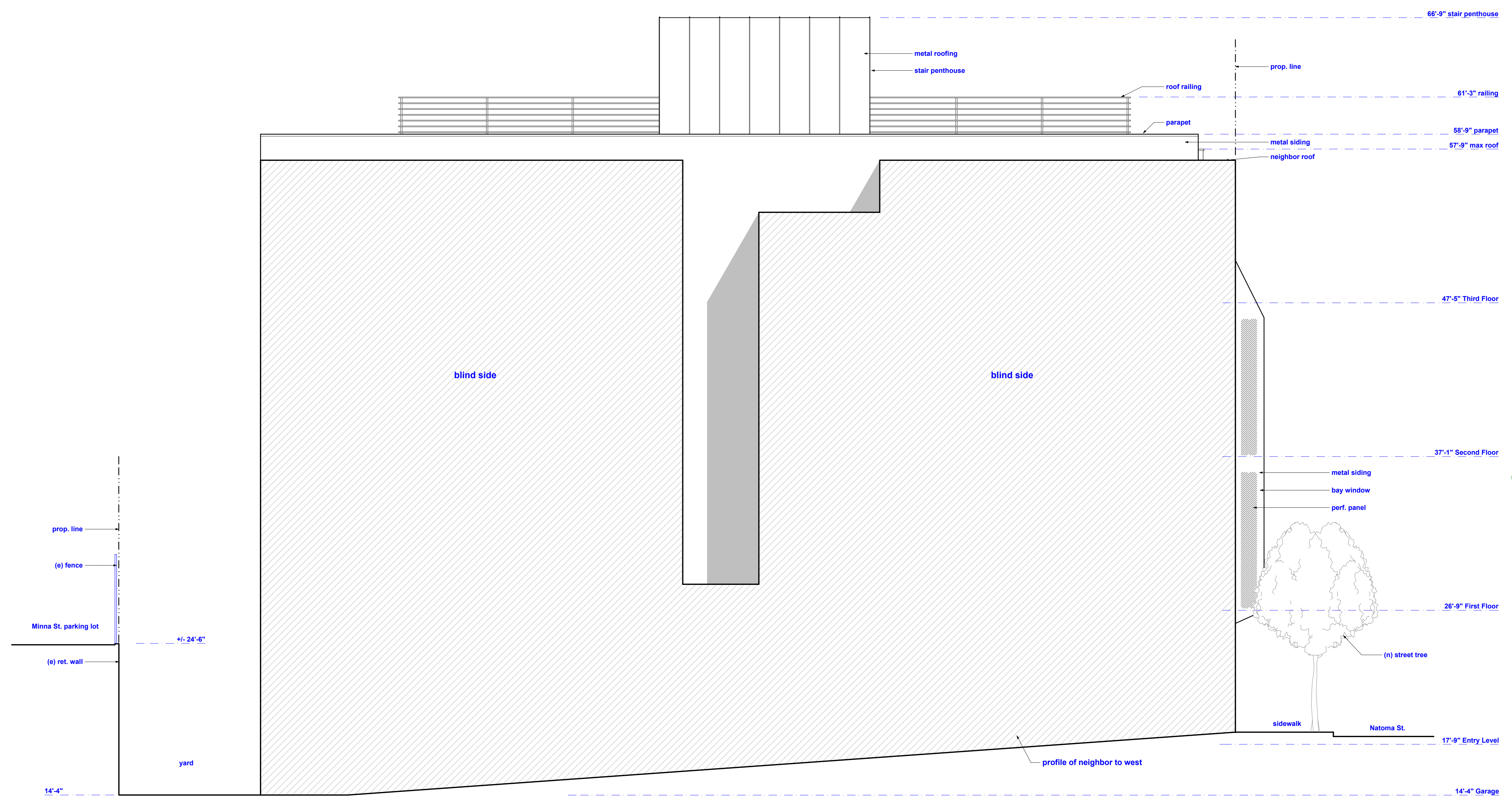
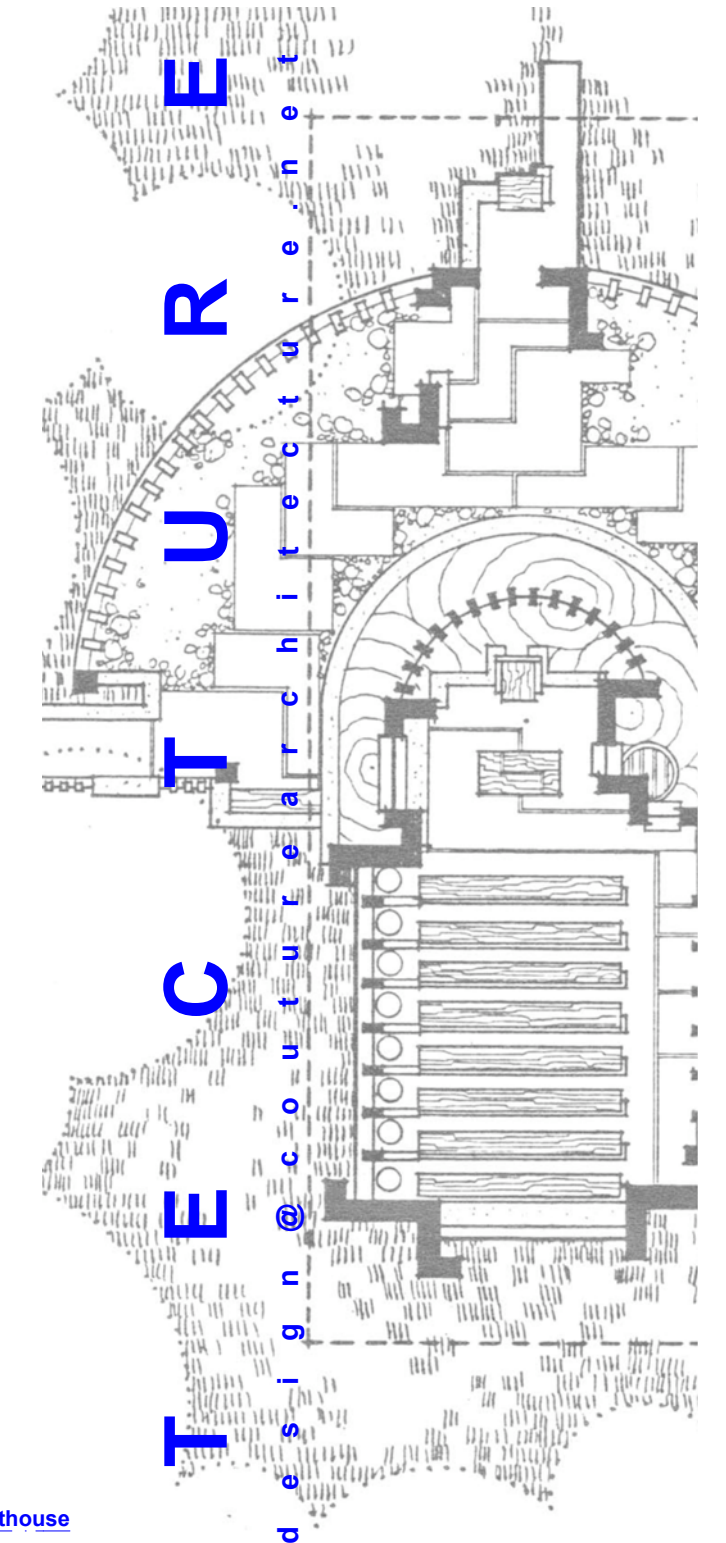


① Natoma Street, View from East

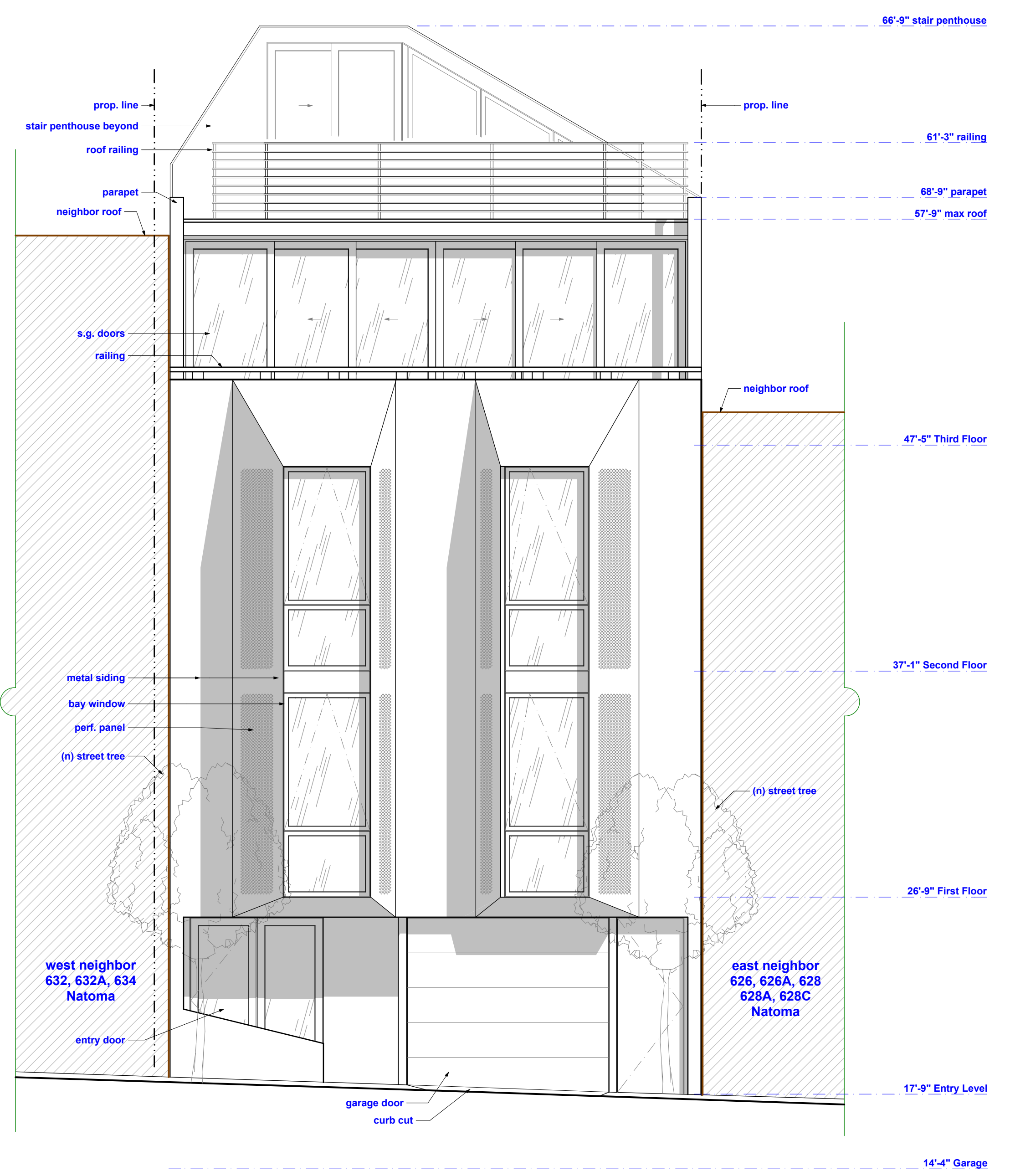
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 630 NATOMA STREET
 SAN FRANCISCO, CALIFORNIA
 July 10, 2015
 Jan. 28, 2016
 A0.3



Bay Window Diagram
 SCALE: 1/4" = 1' - 0"
 136 (2) (C)
 -Vertical surface: 9'-3" w x 10'-4" h = 95 sq. ft.
 -glazing 50% of vertical surface = 47.5 sq. ft.
 -1/3 of req 50% on front = 16 sq. ft. req. 37 sq. ft. provided
 -1/3 of req 50% on side or sides = 16 sq. ft. req. 16 sq. ft. provided

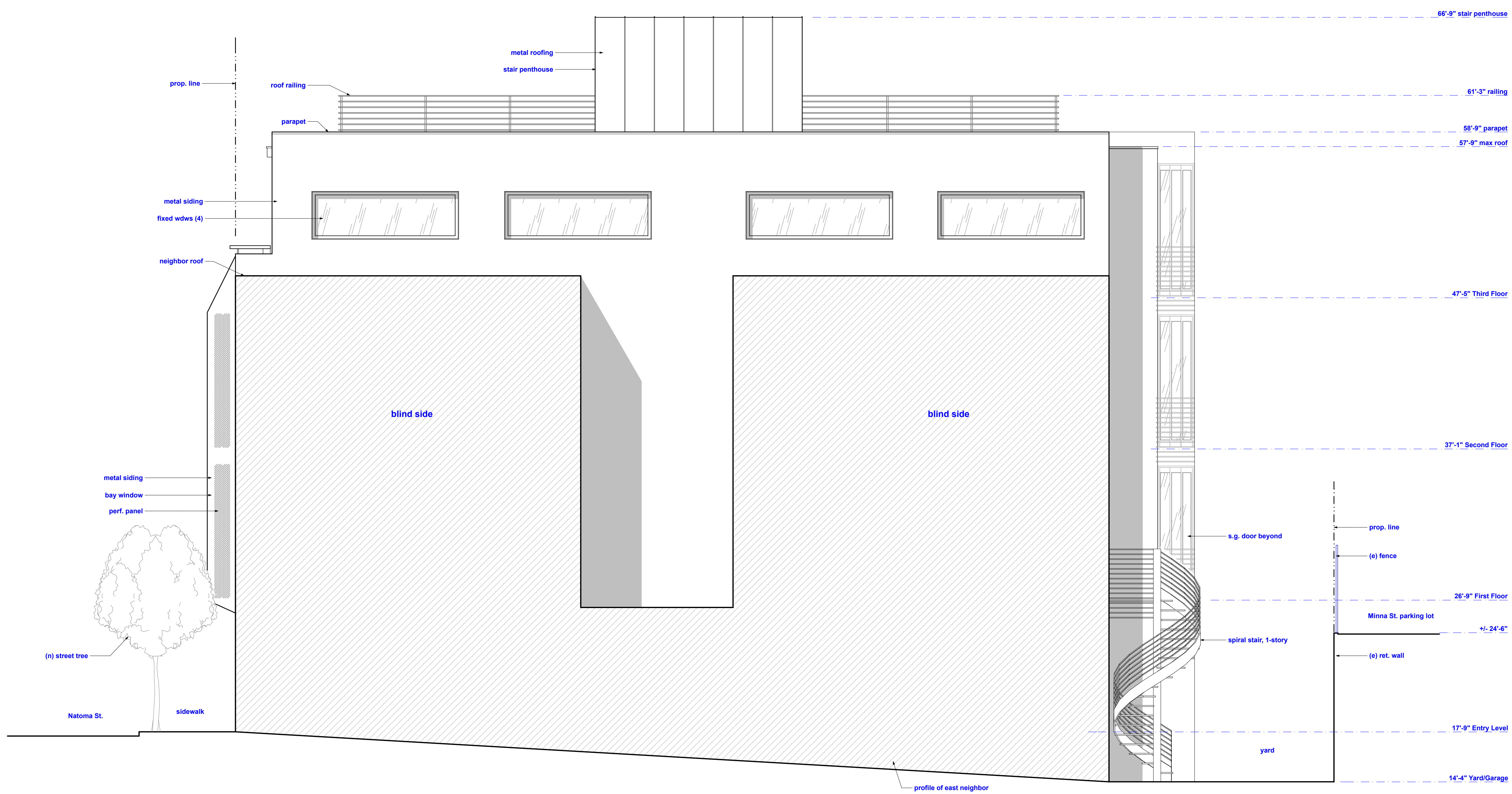


West Elevation
 SCALE: 1/4" = 1' - 0"

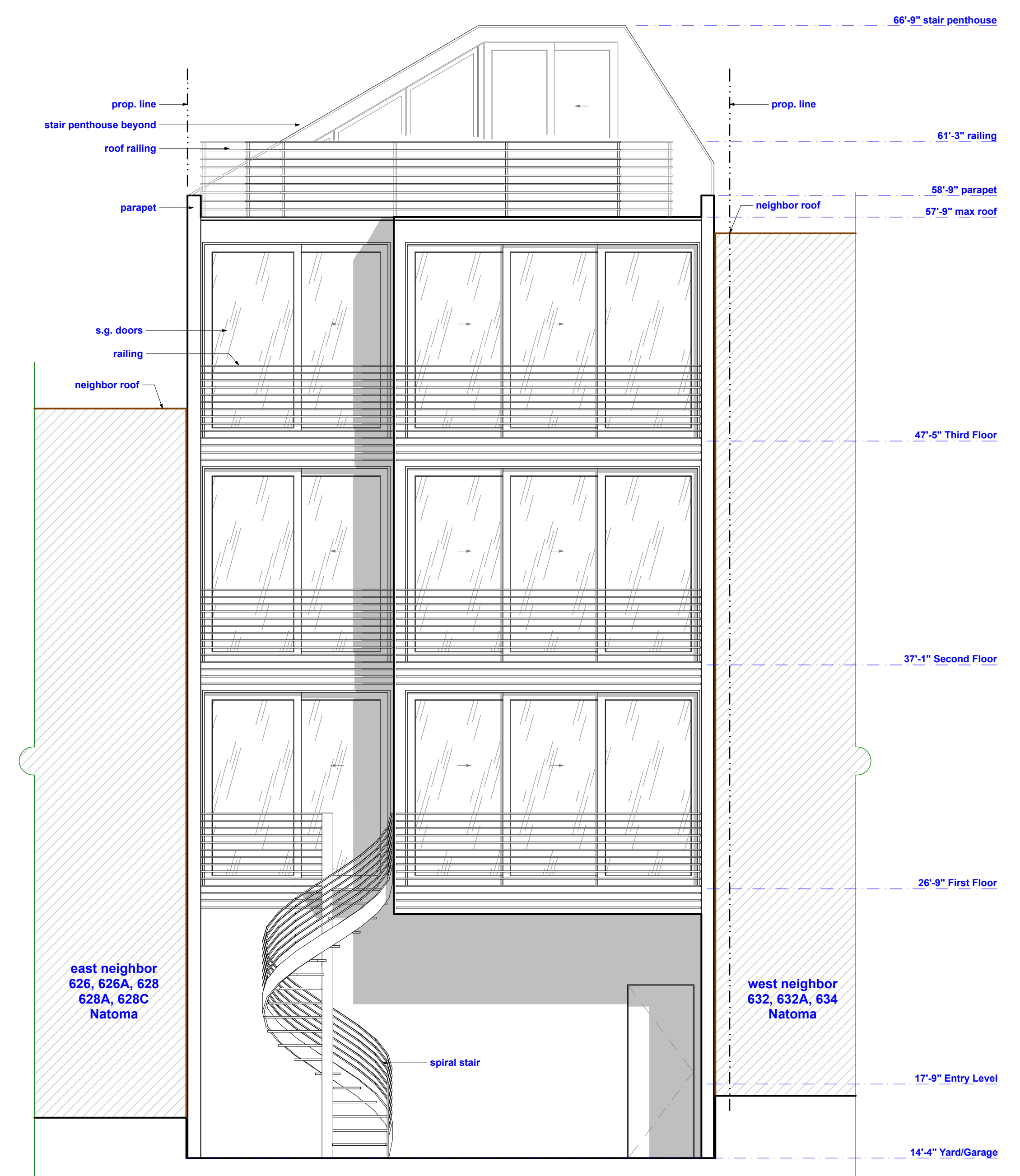


South Elevation
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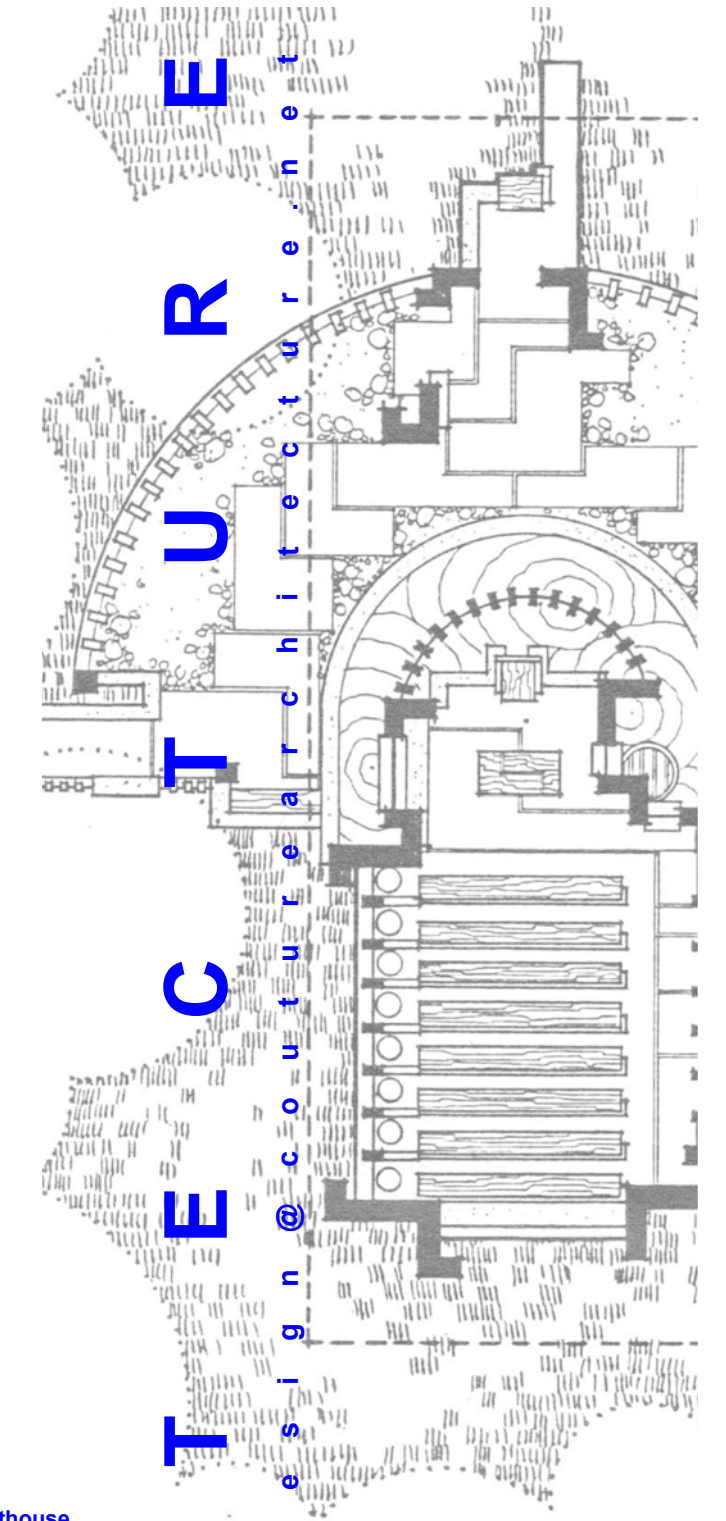
CO U T U R E A R C H I T E C T U R E
 15 ALLY AVE N U E S A N A N S E L M O C A 9 4 9 6 0 4 1 5 . 4 8 2 . 0 2 2 4
 630 Natoma Street
 San Francisco, California
 Condominium Units
 July 10, 2015
 Jan. 28, 2016
A3.1



East Elevation
SCALE: 1/4" = 1' - 0"



North Elevation
SCALE: 1/4" = 1' - 0"

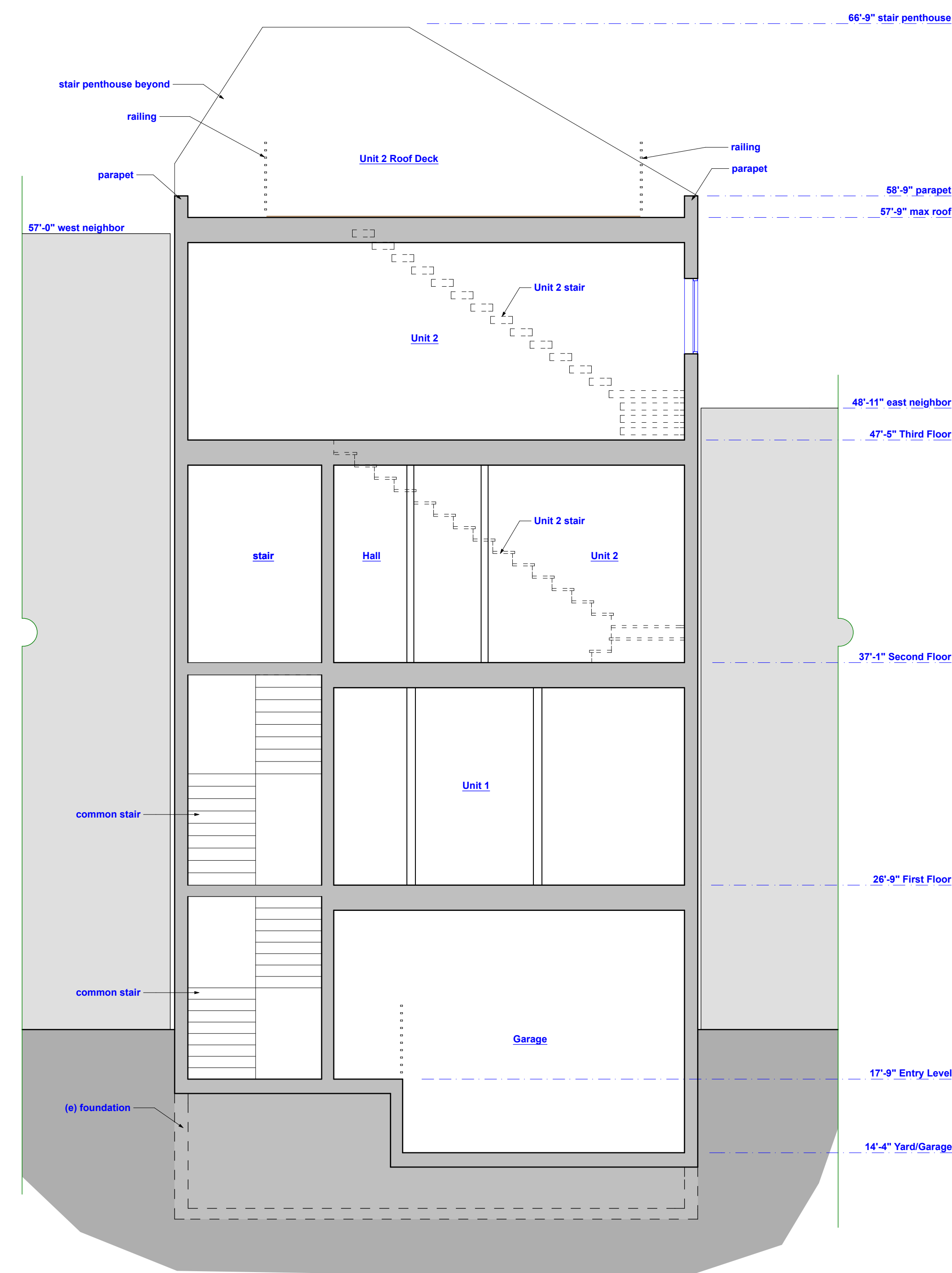


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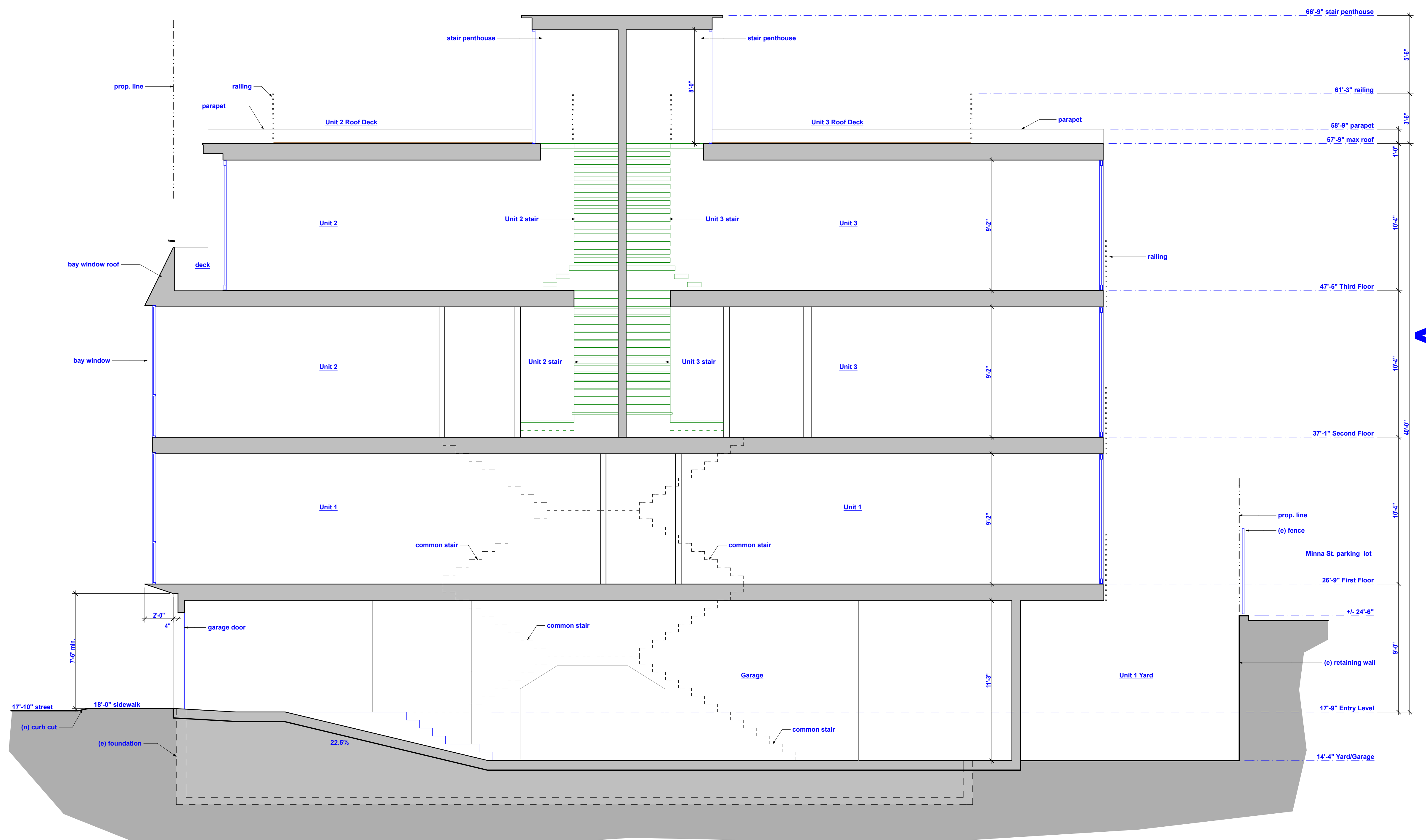
Condominium Units
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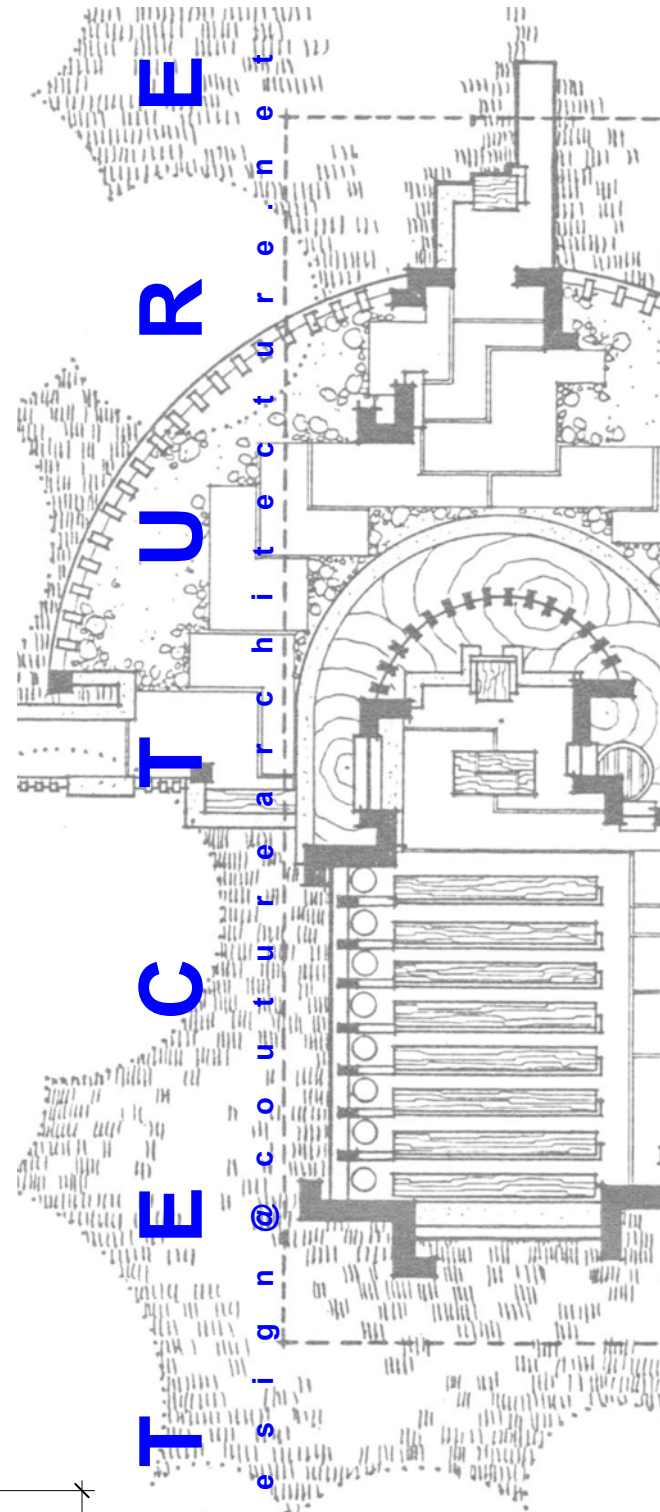
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B Section
SCALE: 1/4" = 1' - 0"



A Section
SCALE: 1/4" = 1' - 0"



COULTURE ARCHITECTURE
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Condominium Units
630 Natoma Street
 San Francisco, California

July 10, 2015
 Jan. 28, 2016

A4.1