SAN FRANCISCO
PLANNING DEPARTMENT

MEMO

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

SAN FRANCISCO
PLANNING DEPARTMENT
1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 26, 2017**
Time: **Not before 9:30 AM**
Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
Case Type: **Variance**
Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	**531 30th Street**	Case No.:	**2015-008473VAR**
Cross Street(s):	**Laidley Street**	Building Permit:	**2015.09.14.6920**
Block /Lot No.:	**6651/020**	Applicant:	**Bana Inc.**
Zoning District(s):	**RH-2 / 40-X**	Telephone:	**(415) 752-2824**
Area Plan:	**N/A**	E-Mail:	**banainc@icloud.com**

PROJECT DESCRIPTION

The proposal is to construct an approximately 640 gross square foot vertical addition above the existing nonconforming building.

PER SECTION 134 OF THE PLANNING CODE requires a rear yard of 56 feet 3 inches in depth. The project proposes to construct a vertical addition above the existing nonconforming building that is wholly within the required rear yard (within 3 feet 6 inches of the rear property line). Therefore, a variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://notice.sfplanning.org/2015-008473VAR.pdf

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
Planner: **Nancy Tran** Telephone: **(415) 575-9174** E-Mail: **nancy.h.tran@sfgov.org**

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

VERTICAL ADDITION FOR SINGLE FAMILY DWELLING

531 30TH STREET

SAN FRANCISCO CA 94131

GENERAL NOTES:

1. CONTRACTOR SHALL VISIT THE SITE, REVIEW THE BUILDING SHELL DRAWINGS AS SUBMITTED BY THE LANDLORD AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.

2. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES.

3. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.

4. CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES, AND NOTIFY THE LANDLORD OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.

5. CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS OR OTHER SURFACES IDENTIFIED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.

6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.

SHEET INDEX

A0	COVER SHEET, PROJECT DATA, WINDOW DETAIL
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A1.1	EXISTING ROOF PLAN
A1.2	PROPOSED GROUND FLOOR AND SECOND FLOOR PLANS
A1.3	PROPOSED THIRD FLOOR AND ROOF PLANS
A2	EXISTING FRONT AND WEST ELEVATIONS
A2.1	EXISTING REAR AND EAST ELEVATIONS
A2.2	EXISTING FRONT (STREET) ELEVATION
A2.3	PROPOSED FRONT AND WEST ELEVATIONS
A2.4	PROPOSED REAR AND EAST ELEVATIONS
A2.5	PROPOSED FRONT (STREET) ELEVATION

SCOPE OF WORK

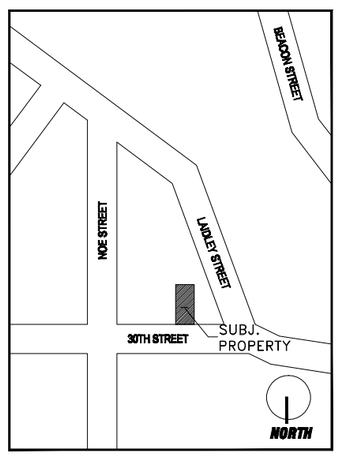
- VERTICAL ADDITION OF THIRD FLOOR (616 SF) FOR EXISTING TWO STORY SINGLE FAMILY DWELLING

PROJECT DATA

PROPERTY OWNER:	DEVEN R. GADULE
	531 30TH STREET, SF, CA 94131
	415-541-7978
BLOCK:	6651
LOT:	020
TYPE OF CONSTR:	TYPE V-B
SPRINKLERS:	NON-SPINRKLERED
NO. OF STORIES:	(E) 2, (N) 3
PRESENT USE:	SINGLE FAMILY DWELLING
(E) OCCUPANCY:	R3
ZONING:	RH-2
HEIGHT & BULK:	40-X

VICINITY MAP

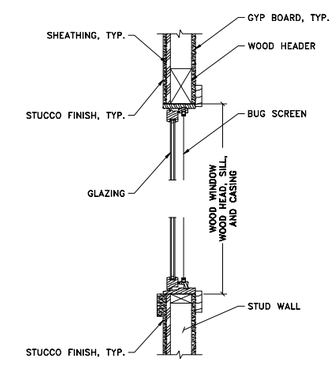
SCALE: NTS



APPLICABLE CODES:

JURISDICTION: CITY AND COUNTY OF SAN FRANCISCO BUILDING CODE:

2013 CALIFORNIA BUILDING CODE ADMENDMENTS
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA FIRE CODE & ALL RELATED
2013 SAN FRANCISCO BUILDING CODE ORDINANCES
OF THE CITY & COUNTY OF SAN FRANCISCO



1 WOOD WINDOW SECTION
N.T.S.

GROSS AREA SUMMARY TABLE

FLOOR	(E) SQUARE FOOTAGE	(N) TOTAL SQUARE FT	NET CHANGE
GROUND FLOOR	1,054 SF	1,054 SF	0 SF (NO CHANGE)
SECOND FLOOR	926 SF	948 SF	+22 SF
THIRD FLOOR	0 SF	616 SF	+616 SF
TOTAL	1,980 SF	2,618 SF	+638 SF

LANDSCAPING CALCULATIONS

LANDSCAPING REQUIREMENTS:
20% OF FRONT SETBACK = 0.20x7.66'x35' = 54 SF REQ'D
LANDSCAPING PROVIDED = 180 SF IN FORM OF (E) LANDSCAPING, SEE 2/A01

PERMEABILITY REQUIREMENTS:
50% OF FRONT SETBACK = 0.50x7.66'x35' = 134 SF REQ'D
PERMEABLE AREA PROVIDED = 180SF IN FORM OF (E) LANDSCAPING, SEE 2/A01

STREET TREE CALCULATIONS

STREET TREE REQUIREMENT:
(30' FRONTTAGE) / (20' PER TREE) = 1 TREE REQ'D
1 (E) TREE PROVIDED, SEE 2/A01

REVISIONS

BANA INC.
71 BLAKE STREET
SAN FRANCISCO, CA 94118
TEL. 415-752-2824

531 30TH STREET
SAN FRANCISCO CA 94131

COVER SHEET, PROJECT DATA, WINDOW DETAIL

DATE: 06/21/2017

SCALE: AS NOTED

SHEET:

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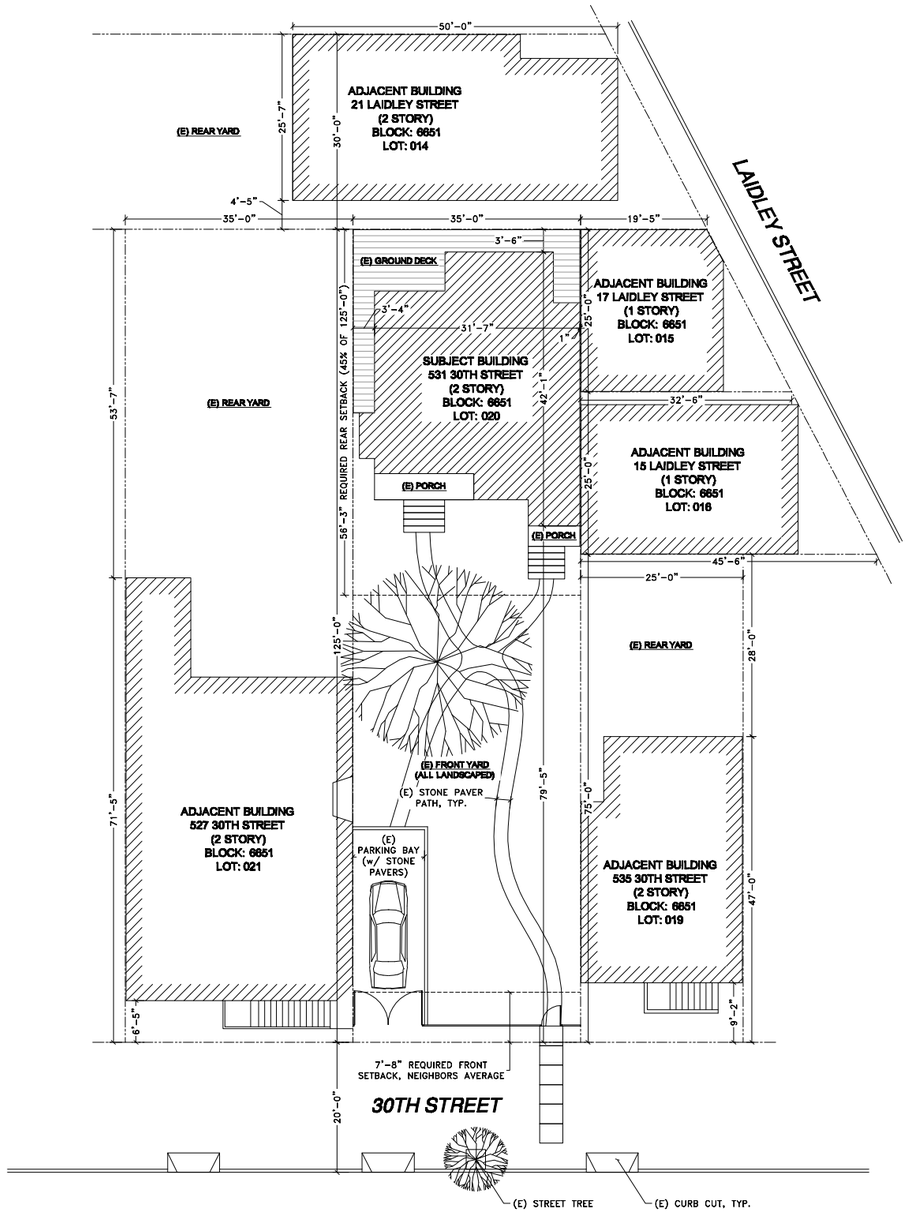
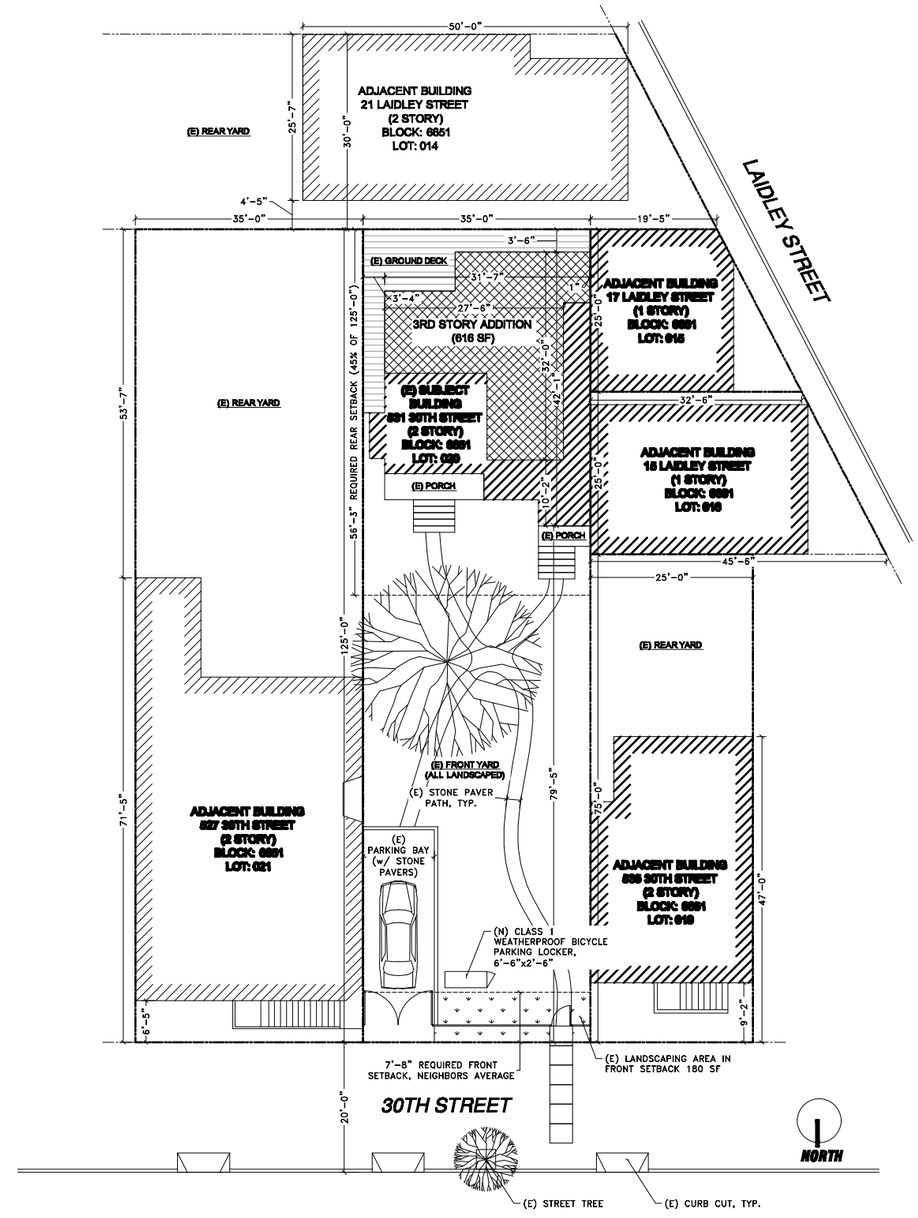


1 EXISTING SITE PLAN
1" = 10'-0"



2 PROPOSED SITE PLAN
1" = 10'-0"

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EXISTING AND
PROPOSED
SITE PLANS

DATE: 06/21/2017

SCALE: AS NOTED

SHEET:

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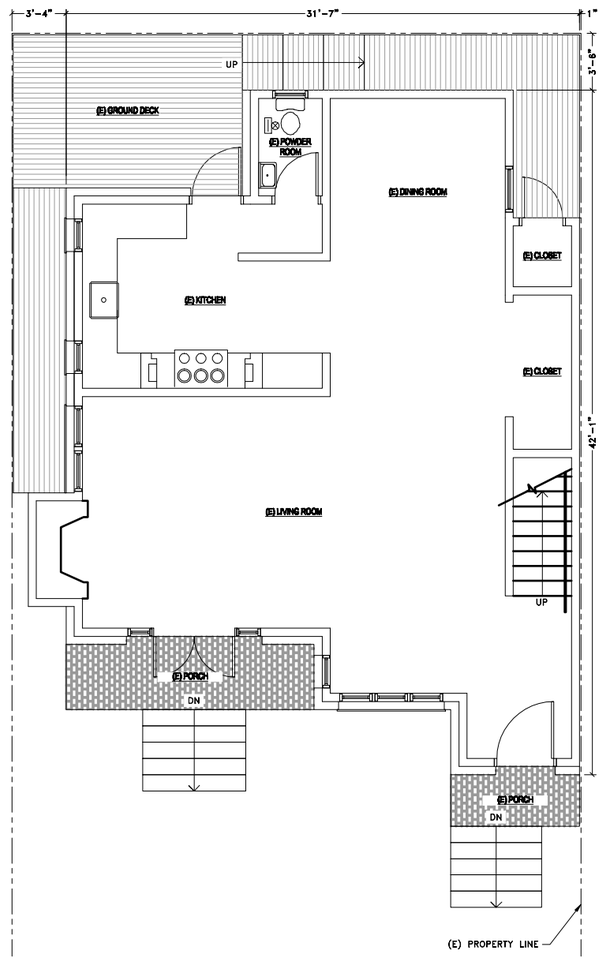
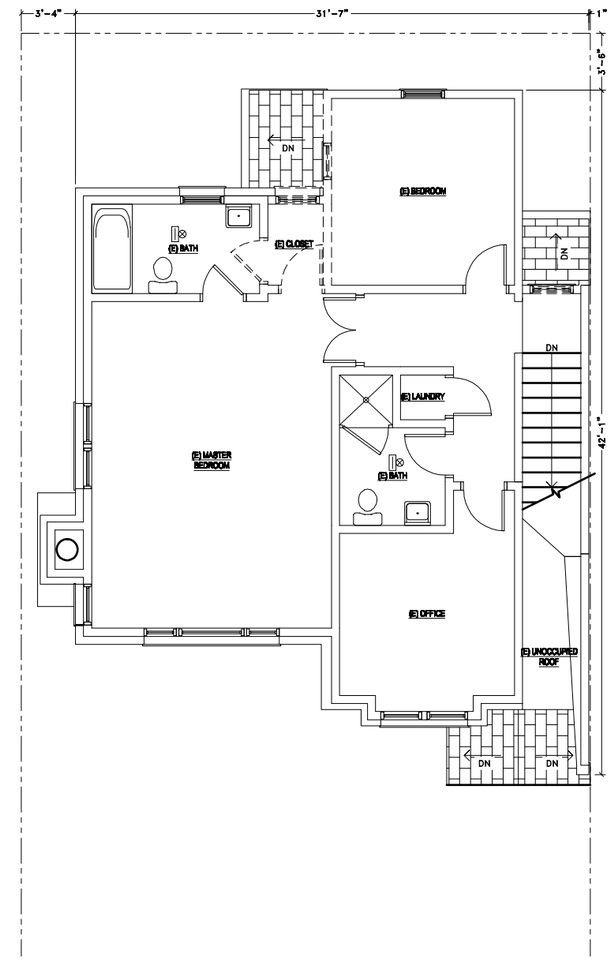


1 EXISTING GROUND FLOOR PLAN
1/4" = 1'-0"

(E) CONDITIONED SPACE: 1,054 SF



2 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"

(E) CONDITIONED SPACE: 926 SF

NORTH

LEGEND

(E)	EXISTING
(N)	NEW / PROPOSED
(R)	REPLACE (E)
SH	SINGLE HUNG WINDOW
SL	SLIDER WINDOW
CS	CASEMENT WINDOW
F	FIXED WINDOW
FL	FULL LITE DOOR
FURN	GAS FURNACE
AFF	ABOVE FINISH FLOOR
CLR	CLEAR
DN	DOWN
HT	HEIGHT
MIN	MINIMUM
MAX	MAXIMUM
SF	SQUARE FOOT (FEET)
SAD	SEE ARCHITECTURAL DRAWINGS
SSD	SEE STRUCTURAL DRAWINGS
TYP	TYPICAL
VIF	VERIFY IN FIELD
UON	UNLESS OTHERWISE NOTED
W/H	WATER HEATER
	(E) WALLS
	(E) TO BE REMOVED
	NEW WALL w/ R-15 INSULATION
	NEW WALL
SD	HARDWIRED SMOKE ALARM w/ BATTERY BACKUP
S-CO	SMOKE / CARBON MONOXIDE ALARM COMBO, HARDWIRED w/ BATT BACKUP
	BATHROOM FLUORESCENT FAN LIGHT, EQUIPPED w/ HUMIDISTAT

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SAN FRANCISCO CA 94131

EXISTING GROUND FLOOR AND SECOND FLOOR PLANS

DATE: 06/21/2017

SCALE: AS NOTED

SHEET:

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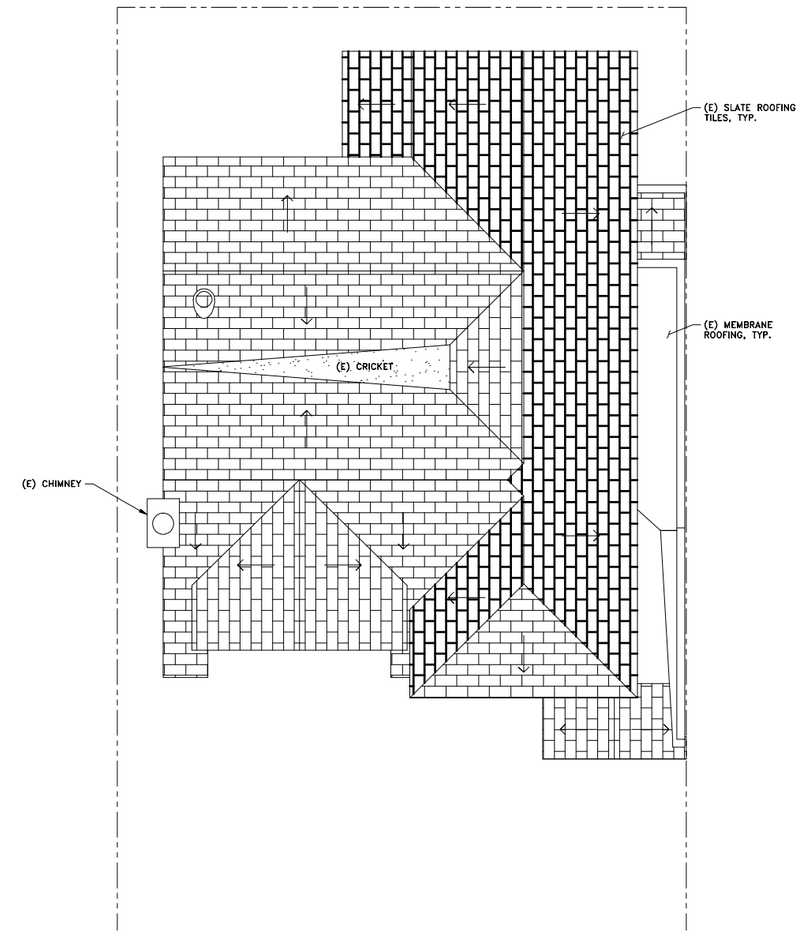

1 EXISTING ROOF PLAN
1/4" = 1'-0"

NORTH

LEGEND

(E)	EXISTING
(N)	NEW / PROPOSED
(R)	REPLACE (E)
SH	SINGLE HUNG WINDOW
SL	SLIDER WINDOW
CS	CASEMENT WINDOW
F	FIXED WINDOW
FL	FULL LITE DOOR
FURN	GAS FURNACE
AFF	ABOVE FINISH FLOOR
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	(E) WALLS
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SD	HARDWIRED SMOKE ALARM w/ BATTERY BACKUP
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	BATHROOM FLUORESCENT FAN LIGHT, EQUIPPED w/ HUMIDISTAT

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531 30TH STREET
SAN FRANCISCO CA 94131

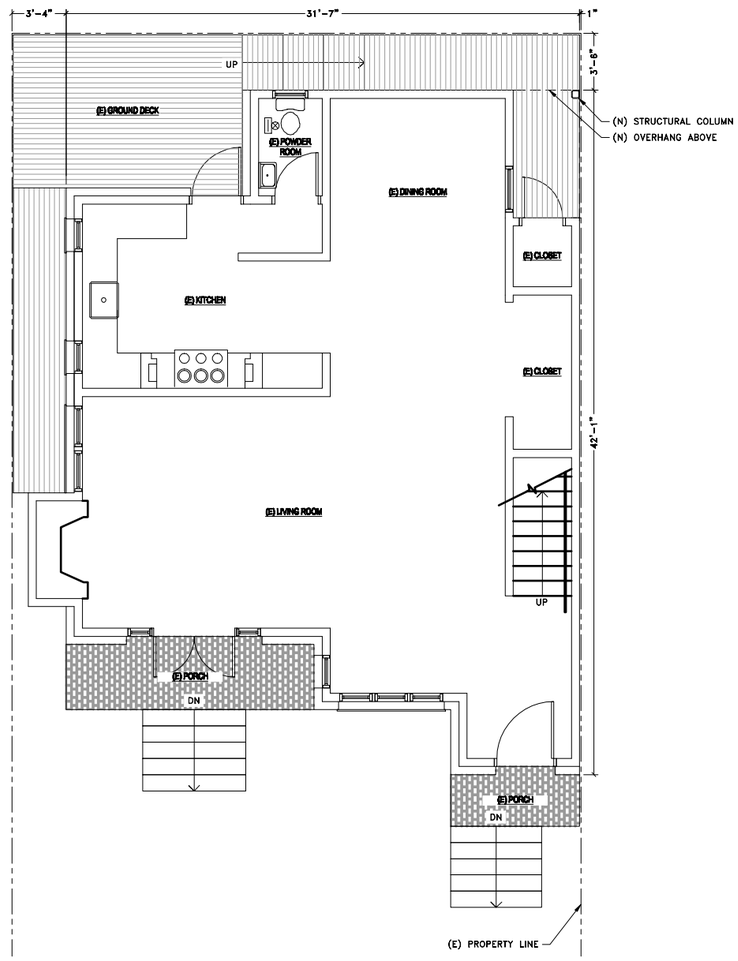
EXISTING ROOF PLAN

DATE: 08/21/2017

SCALE: AS NOTED

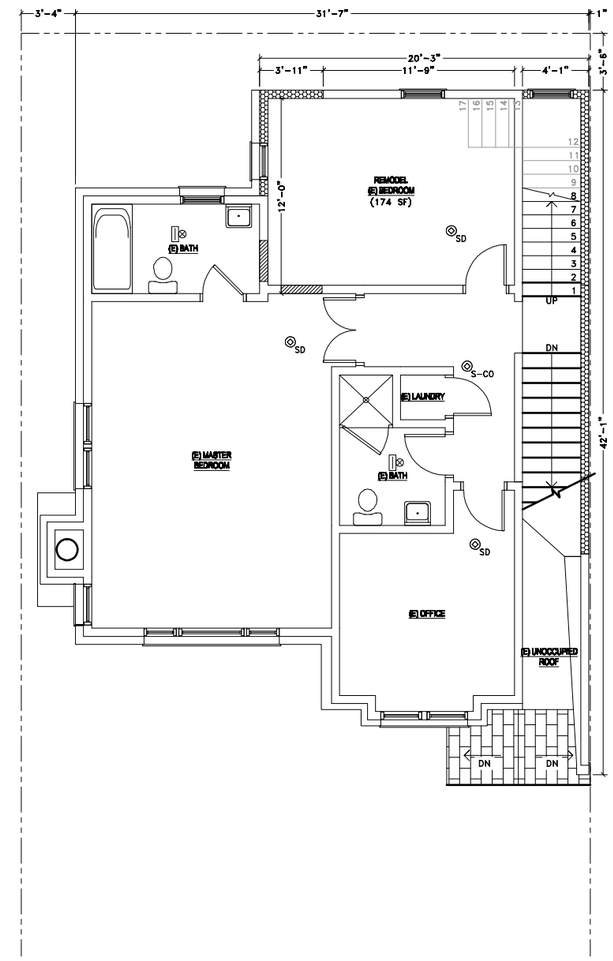
SHEET:

A1.1



1 PROPOSED GROUND FLOOR PLAN
1/4" = 1'-0"

(E) CONDITIONED SPACE: 1,054 SF



2 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

(E) CONDITIONED SPACE: 926 SF
(N) CONDITIONED SPACE: 22 SF

NORTH

LEGEND

(E)	EXISTING
(N)	NEW / PROPOSED
(R)	REPLACE (E)
SH	SINGLE HUNG WINDOW
SL	SLIDER WINDOW
CS	CASEMENT WINDOW
F	FIXED WINDOW
FL	FULL LITE DOOR
FURN	GAS FURNACE
AFF	ABOVE FINISH FLOOR
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MIN	MINIMUM
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W/H	WATER HEATER
	(E) WALLS
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	NEW WALL w/ R-15 INSULATION
	NEW WALL
SD	HARDWIRED SMOKE ALARM w/ BATTERY BACKUP
S-CO	SMOKE / CARBON MONOXIDE ALARM COMBO, HARDWIRED w/ BATT BACKUP
	BATHROOM FLUORESCENT FAN LIGHT, EQUIPPED w/ HUMIDISTAT

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SAN FRANCISCO CA 94131

PROPOSED GROUND FLOOR AND SECOND FLOOR PLANS

DATE: 06/21/2017

SCALE: AS NOTED

SHEET:

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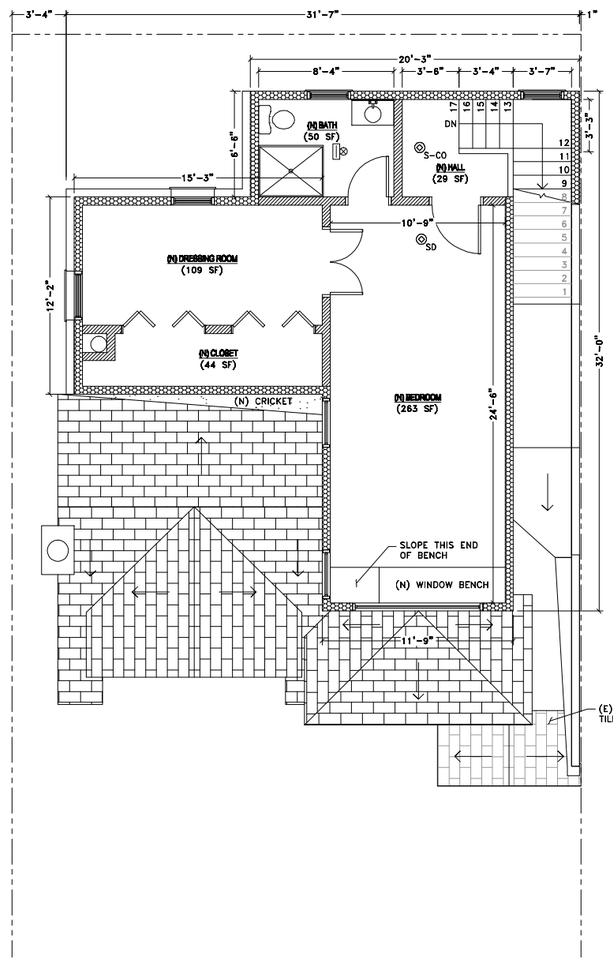
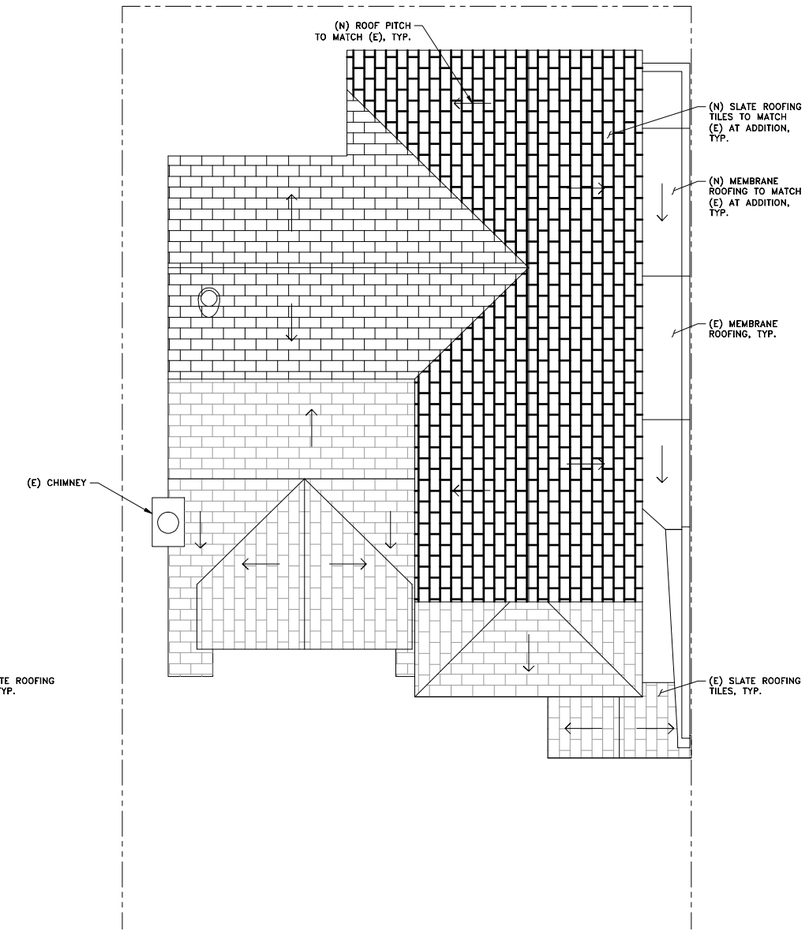


1 PROPOSED THIRD FLOOR PLAN
1/4" = 1'-0"

(N) CONDITIONED SPACE:
616 SQ FT



2 PROPOSED ROOF PLAN
1/4" = 1'-0"

NORTH

LEGEND

(E)	EXISTING
(N)	NEW / PROPOSED
(R)	REPLACE (E)
SH	SINGLE HUNG WINDOW
SL	SLIDER WINDOW
CS	CASEMENT WINDOW
F	FIXED WINDOW
FL	FULL LITE DOOR
FURN	GAS FURNACE
AFF	ABOVE FINISH FLOOR
CLR	CLEAR
DN	DOWN
HT	HEIGHT
MIN	MINIMUM
MAX	MAXIMUM
SF	SQUARE FOOT (FEET)
SAD	SEE ARCHITECTURAL DRAWINGS
SSD	SEE STRUCTURAL DRAWINGS
TYP	TYPICAL
VIF	VERIFY IN FIELD
UON	UNLESS OTHERWISE NOTED
W/H	WATER HEATER
	(E) WALLS
	(E) TO BE REMOVED
	NEW WALL w/ R-15 INSULATION
	NEW WALL
SD	HARDWIRED SMOKE ALARM w/ BATTERY BACKUP
S-CO	SMOKE / CARBON MONOXIDE ALARM COMBO, HARDWIRED w/ BATT BACKUP
	BATHROOM FLUORESCENT FAN LIGHT, EQUIPPED w/ HUMIDISTAT

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SAN FRANCISCO CA 94131

PROPOSED
THIRD FLOOR
AND ROOF
PLANS

DATE: 08/21/2017

SCALE: AS NOTED

SHEET:

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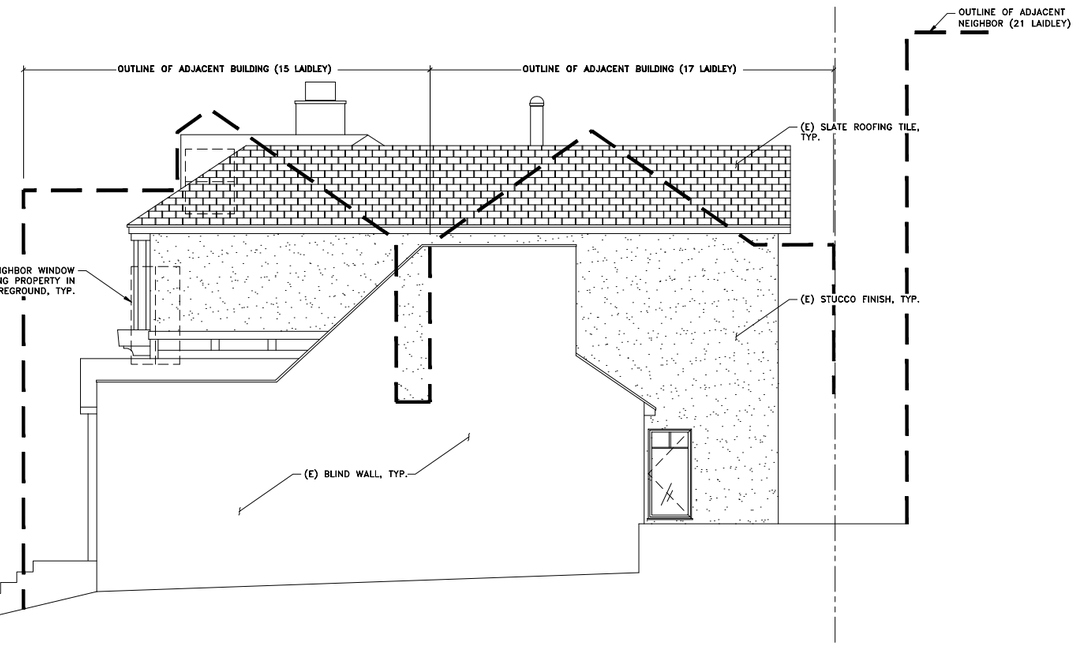
1 EXISTING FRONT ELEVATION
1/4" = 1'-0"



2 EXISTING WEST ELEVATION
1/4" = 1'-0"

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531 30TH STREET
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EXISTING FRONT AND WEST ELEVATIONS

DATE: 08/21/2017

SCALE: AS NOTED

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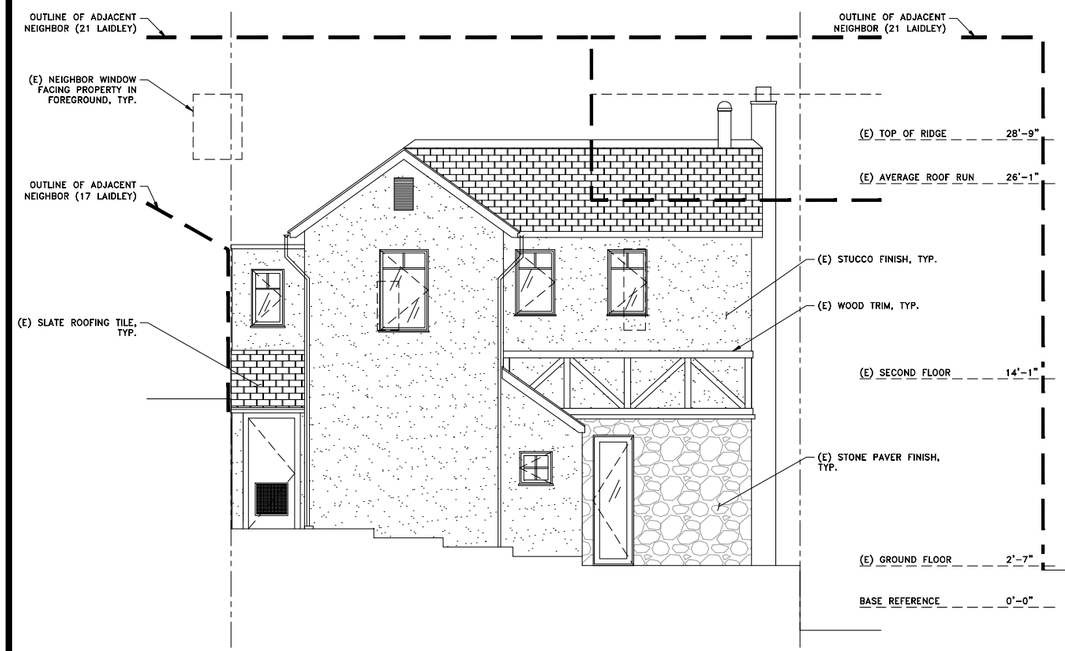

1 EXISTING REAR ELEVATION
1/4" = 1'-0"

2 EXISTING EAST ELEVATION
1/4" = 1'-0"

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SAN FRANCISCO, CA 94118
TEL. 415-752-2824

531 30TH STREET
SAN FRANCISCO CA 94131

EXISTING REAR AND EAST ELEVATIONS

DATE: 08/21/2017

SCALE: AS NOTED

SHEET:

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1 EXISTING FRONT (STREET) ELEVATION
1/4" = 1'-0"

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SAN FRANCISCO, CA 94118
TEL. 415-752-2824

531 30TH STREET
SAN FRANCISCO CA 94131

EXISTING FRONT (STREET) ELEVATION

DATE: 06/21/2017

SCALE: AS NOTED

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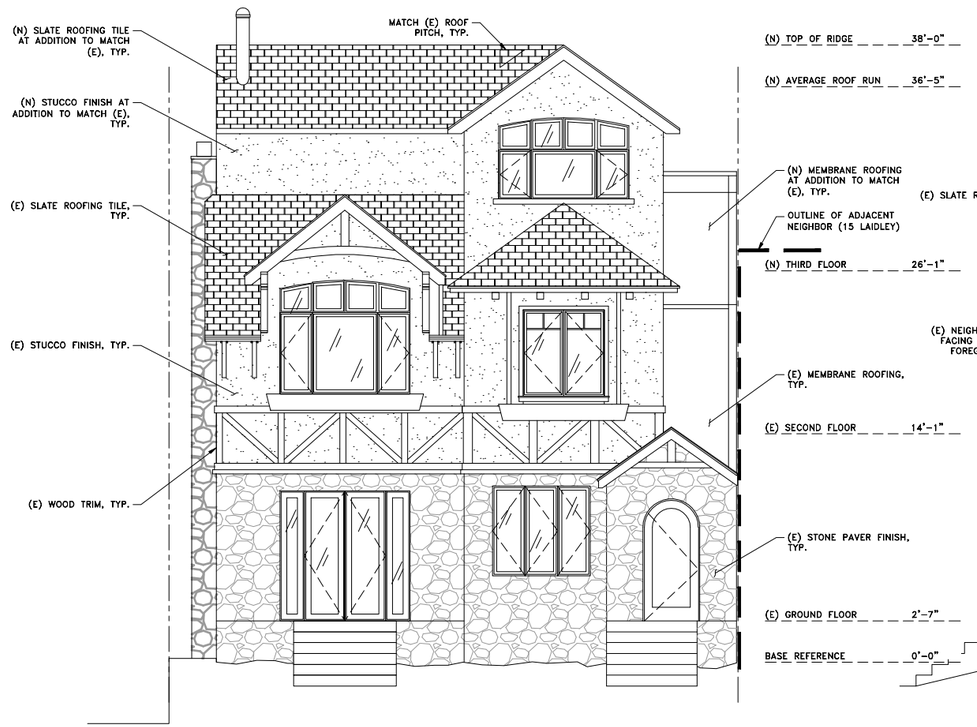
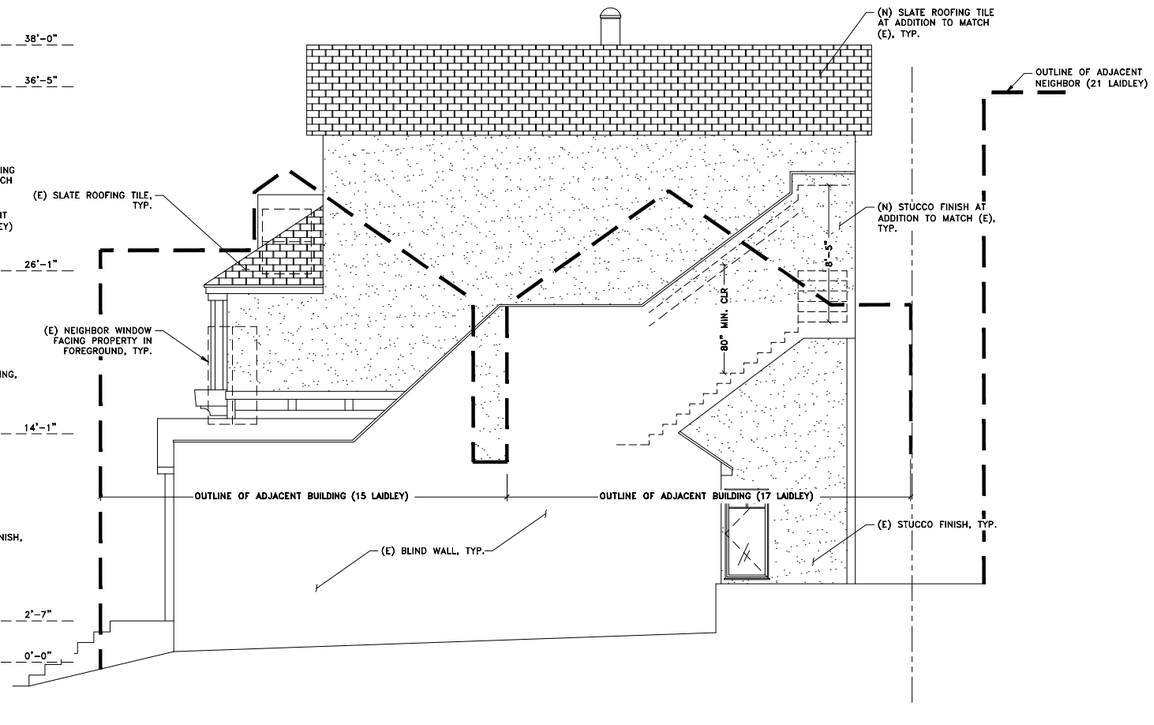


1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
1/4" = 1'-0"

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SAN FRANCISCO CA 94131

PROPOSED FRONT AND WEST ELEVATIONS

DATE: 08/21/2017

SCALE: AS NOTED

SHEET:

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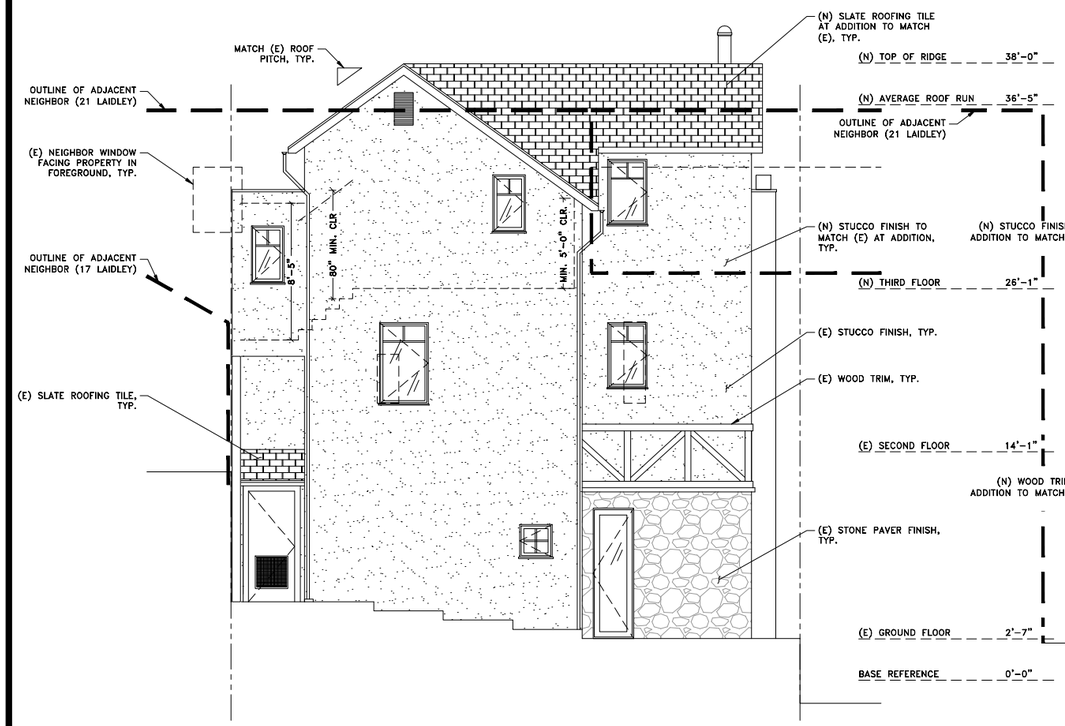
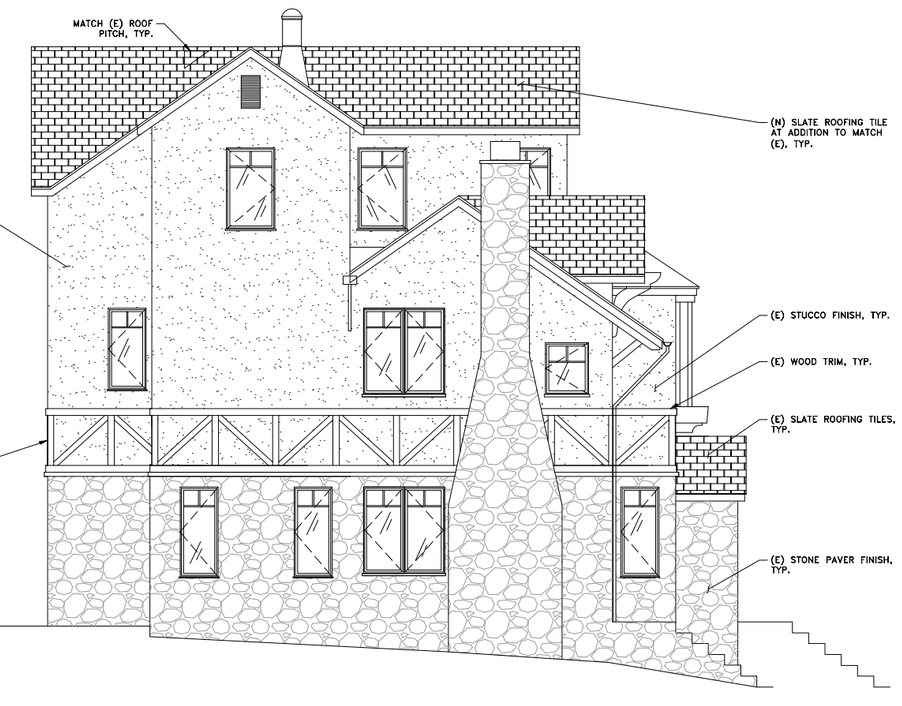


1 PROPOSED REAR ELEVATION
1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
1/4" = 1'-0"

REVISIONS

BANA INC.
71 BLAKE STREET
SAN FRANCISCO, CA 94118
TEL. 415-752-2824

531 30TH STREET
SAN FRANCISCO CA 94131

PROPOSED REAR AND EAST ELEVATIONS

DATE: 08/21/2017

SCALE: AS NOTED

SHEET:

A2.4

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1 PROPOSED FRONT (STREET) ELEVATION
1/4" = 1'-0"

REVISIONS

BANA INC.
71 BLAKE STREET
SAN FRANCISCO, CA 94118
TEL. 415-752-2824

531 30TH STREET
SAN FRANCISCO CA 94131

PROPOSED
FRONT
ELEVATION

DATE: 08/21/2017

SCALE: AS NOTED

SHEET:

A2.5

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