



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



SHEET INDEX:

ARCHITECTURAL

A0.00 COVER SHEET AND VICINITY MAP
A0.01 RENDERINGS
A0.02 SITE PHOTOS (EXISTING)
A0.03 SITE PHOTOS (EXISTING)

A0.10 SITE PLANS (NEW & EXISTING)
A0.11 ZONING AND DATA CALCULATIONS
A0.12 DEMOLITION CALCULATIONS & DIAGRAMS

A1.01 FLOOR PLAN - LEVEL 01 (NEW & EXISTING)
A1.02 FLOOR PLAN - LEVEL 02 (NEW & EXISTING)
A1.03 FLOOR PLAN - LEVEL 03 (NEW)
A1.04 FLOOR PLAN - ROOF (NEW)

A2.00 EXTERIOR ELEVATION - NORTH (EXISTING)
A2.01 EXTERIOR ELEVATION - EAST (EXISTING)
A2.02 EXTERIOR ELEVATION - SOUTH (EXISTING)
A2.03 EXTERIOR ELEVATION - WEST (EXISTING)

A2.10 EXTERIOR ELEVATION - NORTH (NEW)
A2.11 EXTERIOR ELEVATION - EAST (NEW)
A2.12 EXTERIOR ELEVATION - SOUTH (NEW)
A2.13 EXTERIOR ELEVATION - WEST (NEW)

A3.00 BUILDING SECTION (EXISTING)
A3.10 BUILDING SECTION (NEW)
A3.20 BUILDING SECTION (NEW)

PROJECT INFORMATION:

ADDRESS: 253 PIXLEY STREET
SAN FRANCISCO, CA 94123

LOT: 016A

BLOCK: 0515

NO:	DATE:	SUBMISSION:
01	10/23/15	SITE PERMIT APP.
02	01/26/16	NOPDR#1 / VARIANCE
03	04/15/16	NOPDR#2

APPLICABLE CODES:

2013 CALIFORNIA BUILDING CODE & SF AMENDMENTS
2013 CALIFORNIA RESIDENTIAL CODE & SF AMENDMENTS
2013 CALIFORNIA MECHANICAL CODE & SF AMENDMENTS
2013 CALIFORNIA PLUMBING CODE & SF AMENDMENTS
2013 CALIFORNIA ELECTRICAL CODE & SF AMENDMENTS
2013 CALIFORNIA ENERGY CODE

2013 SAN FRANCISCO HOUSING CODE
2013 SAN FRANCISCO ENERGY CODE

BUILDING LIMITATIONS (PER 2010 CBC TABLE 503):

OCCUPANCY: R-3
CONSTRUCTION: TYPE V
FIRE SPRINKLERS: NO
MAXIMUM HEIGHT: 40-X
MAXIMUM AREA: UNLIMITED

INFORMATION BASED ON CBC TABLE 503
* ALLOWABLE HEIGHT INCREASE PER CBC 504.2 WHICH STATES THAT "WHERE A BUILDING IS EQUIPPED WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1, THE VALUE SPECIFIED IN TABLE 503 FOR MAXIMUM HEIGHT IS INCREASED BY 20 FEET AND THE MAXIMUM NUMBER OF STORIES IS INCREASED BY ONE.

NOPDR#2

EDMONDS + LEE ARCHITECTS, INC.

2401 Mission St., #503
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com

WORK HOURS:

BUILDING CONSTRUCTION IS ALLOWED DURING THE HOURS OF 7:00 AM TO 8:00 PM, SEVEN DAYS A WEEK, INCLUDING HOLIDAYS. ANY WORK DONE BEFORE OR AFTER THESE HOURS MUST NOT EXCEED THE NOISE LEVEL OF FIVE DECIBELS AT THE NEAREST LOT LINE UNLESS A SPECIAL PERMIT HAS BEEN GRANTED.

PROJECT DESCRIPTION:

THE PROPOSED PROJECT IS FOR AN INTERIOR RENOVATION OF A ONE UNIT BUILDING WITH VERTICAL ADDITION AND FACADE REDESIGN.

WORK CONSISTS OF THE FOLLOWING:

ARCHITECTURE INTERIOR:

- (EXISTING) NOTED PORTIONS OF WALLS THE HOUSE WILL BE DEMOLISHED AND/OR RECONFIGURED, SEE PLANS.
- (NEW) FINISHES, FIXTURES AND APPLIANCES WILL BE INSTALLED THROUGHOUT THE HOUSE.

ARCHITECTURE EXTERIOR:

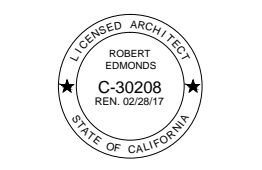
- THE SECOND FLOOR WILL BE RAISED 3'-4" IN ORDER TO MAKE THE FIRST FLOOR HABITABLE SPACE, WHICH CURRENTLY HAS A CEILING HEIGHT OF 5'-8".
- A NEW THIRD FLOOR WILL BE ADDED TO THE EXISTING STRUCTURE.
- (EXISTING) NOTED PORTIONS OF EXTERIOR FRONT FACADE WILL BE EXPANDED PER DRAWINGS.

STRUCTURAL:

- (NEW) SEISMIC UPGRADE PER STRUCTURAL PLAN.

MECHANICAL, ELECTRICAL & PLUMBING:

- (NEW) ELECTRICAL & PLUMBING FIXTURES.
- (NEW) RADIANT HEATING SYSTEM.



GOLDUBER RESIDENCE

253 PIXLEY STREET, SAN FRANCISCO, CA 94123

ISSUED FOR NOPDR#2:
APRIL 15, 2016

PROJECT DIRECTORY:

CLIENT / OWNER: YELENA AND IGOR GOLDUBER
253 PIXLEY STREET,
SAN FRANCISCO, CA 94123

CONTRACTOR: T.B.D.

ARCHITECT: EDMONDS + LEE ARCHITECTS
CONTACT: ROBERT EDMONDS
2601 MISSION STREET, 503
SAN FRANCISCO, CA 94110
T (415) 285-1300

STRUCTURAL ENGINEER: T.B.D.

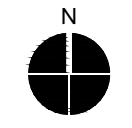


PROJECT:
GOLDUBER RESIDENCE
253 PIXLEY STREET
SAN FRANCISCO, CA 94123
BLOCK: 0515 / LOT: 016A

DRAWING:
COVER SHEET

SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

01 VICINITY MAP
SCALE: N.T.S.



A0.00

NOPDR#2

EDMONDS + LEE
 ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



04 AERIAL VIEW - LOOKING SOUTHWEST
 SCALE: NTS



03 AERIAL VIEW - LOOKING SOUTH/EAST
 SCALE: NTS



02 NORTH FACADE - LOOKING SOUTHWEST
 SCALE: NTS



01 NORTH FACADE - LOOKING SOUTH/EAST
 SCALE: NTS



PROJECT:
GOLDUBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:

RENDERINGS

SCALE:	NTS
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	



04 STREET VIEW - LOOKING SOUTHWEST
SCALE: NTS



03 STREET VIEW - LOOKING SOUTHEAST
SCALE: NTS



02 STREET VIEW - LOOKING EAST
SCALE: NTS



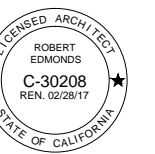
01 STREET VIEW - LOOKING SOUTH/EAST
SCALE: NTS

NO: DATE: SUBMISSION:

- 01 10/23/15 SITE PERMIT APP.
- 02 01/26/16 NOPDR#1 / VARIANCE
- 03 04/15/16 NOPDR#2

NOPDR#2

EDMONDS + LEE
ARCHITECTS, INC.
2401 Mission St., #503
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com



PROJECT:
GOLDBER RESIDENCE
253 PIXLEY STREET
SAN FRANCISCO, CA 94123
BLOCK: 0515 / LOT: 016A

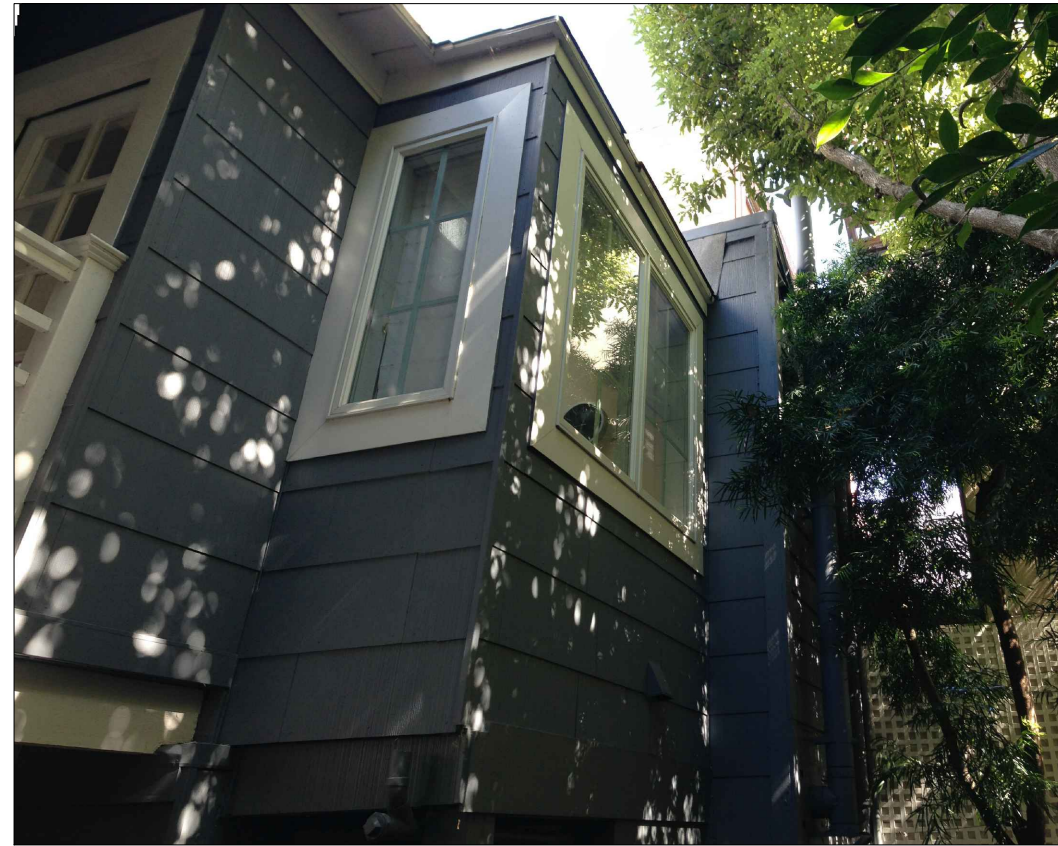
DRAWING:

EXISTING SITE PHOTOS

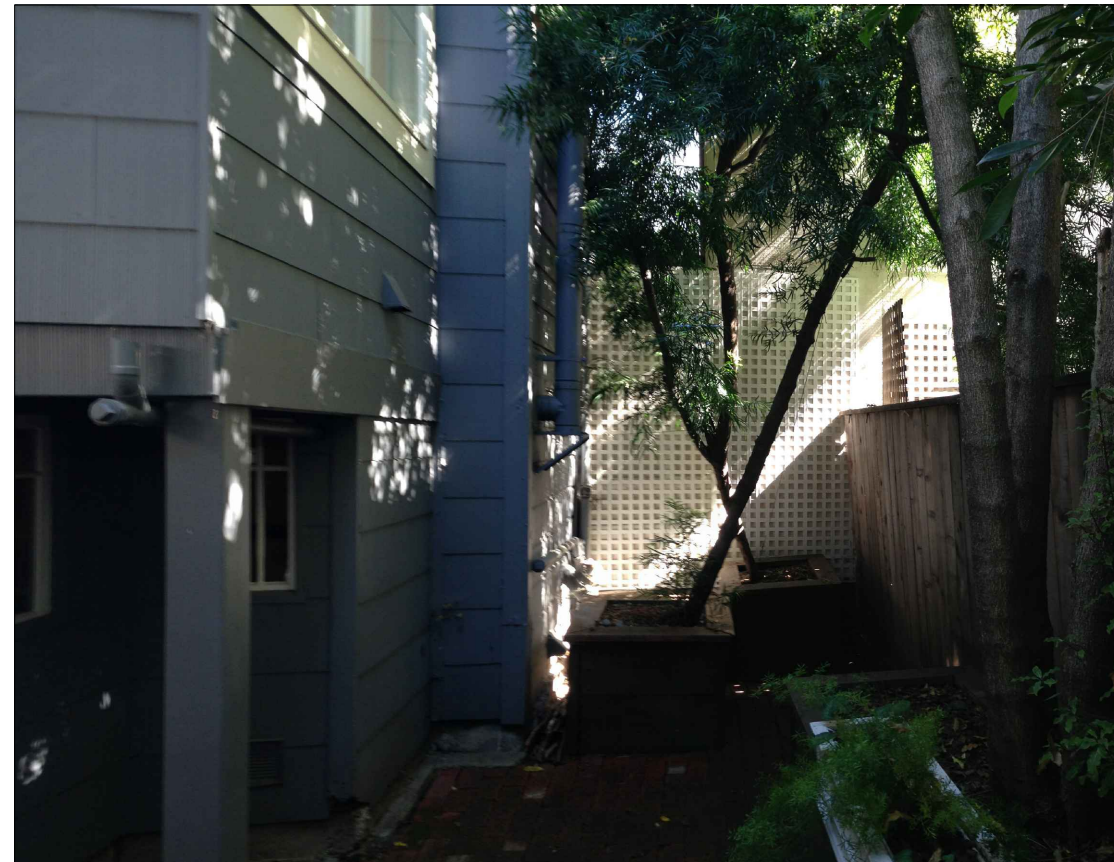
SCALE:	NTS
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	



03 REAR VIEW - LOOKING NORTH
SCALE: NTS



02 REAR VIEW - LOOKING NORTH/EAST
SCALE: NTS



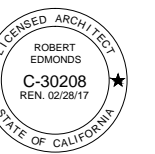
01 REAR VIEW - LOOKING EAST
SCALE: NTS

NO: DATE: SUBMISSION:

- 01 10/23/15 SITE PERMIT APP.
- 02 01/26/16 NOPDR#1 / VARIANCE
- 03 04/15/16 NOPDR#2

NOPDR#2

EDMONDS + LEE
ARCHITECTS, INC.
2401 Mission St., #503
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com



PROJECT:
GOLDBER RESIDENCE
253 PIXLEY STREET
SAN FRANCISCO, CA 94123
BLOCK: 0515 / LOT: 016A

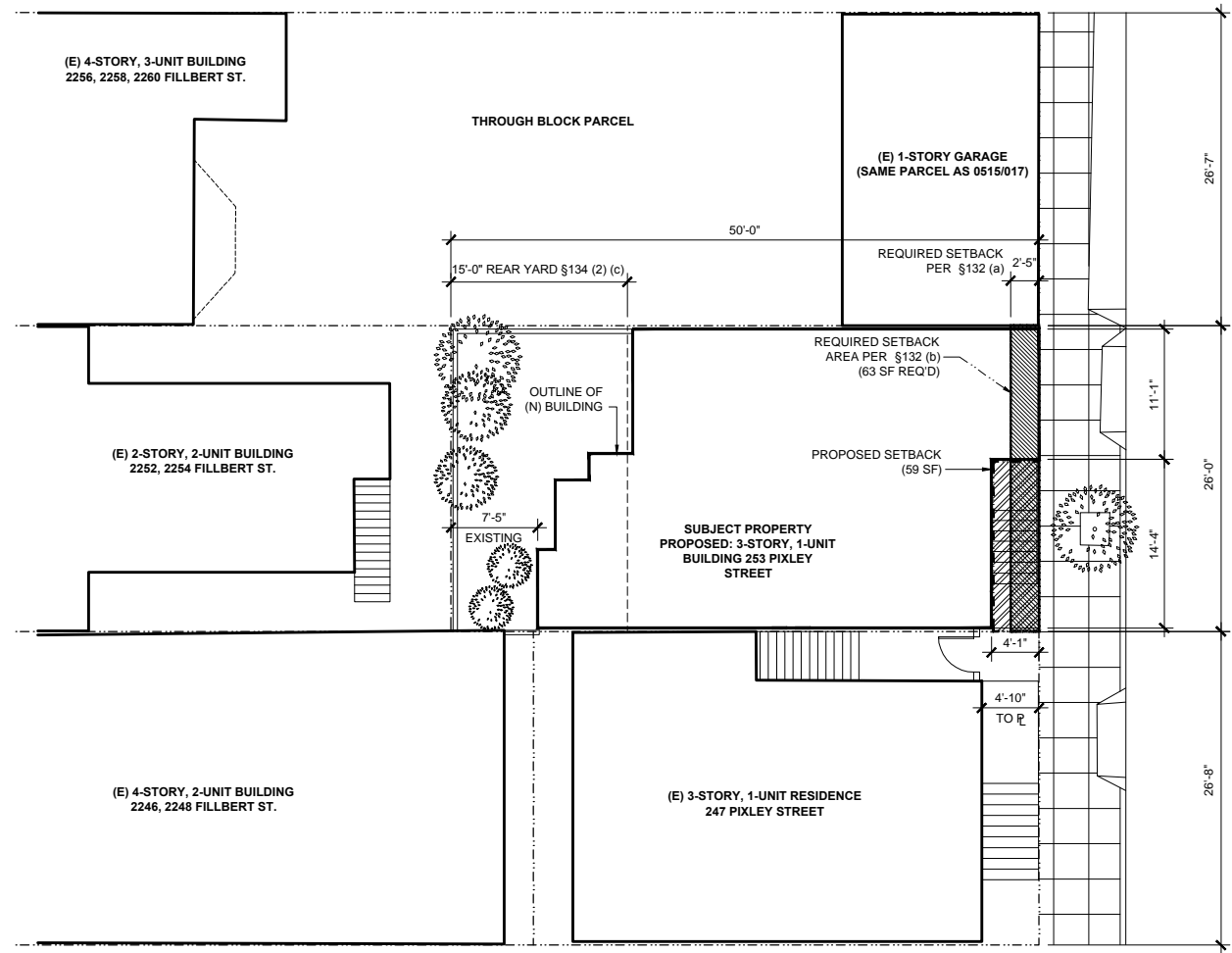
DRAWING:

EXISTING SITE PHOTOS

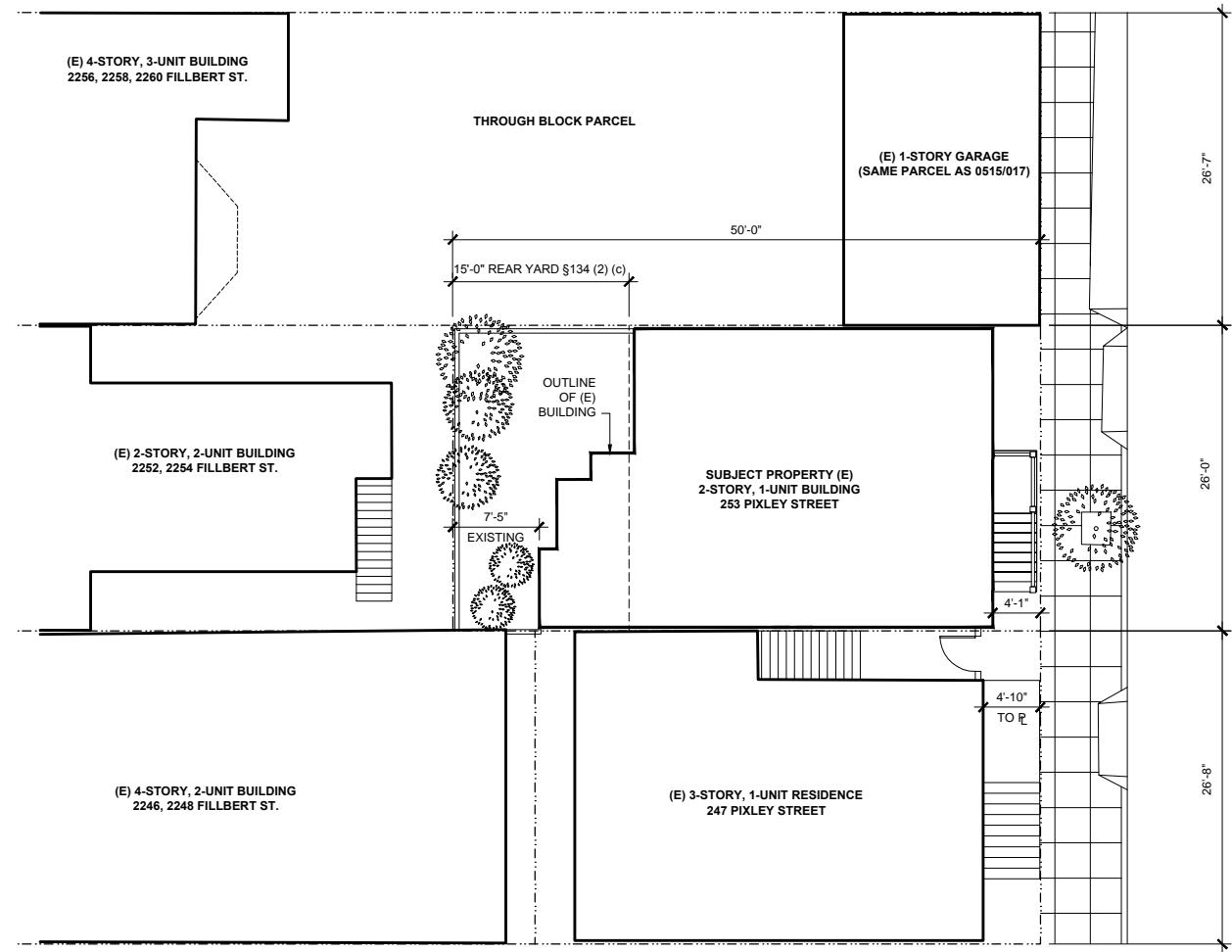
SCALE:	NTS
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

NOPDR#2

EDMONDS + LEE
 ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



02 (NEW) SITE / PLOT PLAN
 SCALE: 1/8" = 1'-0"



01 (EXISTING) SITE / PLOT PLAN
 SCALE: 1/8" = 1'-0"



PROJECT:
GOLDBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:
SITE PLAN (NEW AND EXISTING)

SCALE:	1/8" = 1'-0"
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	



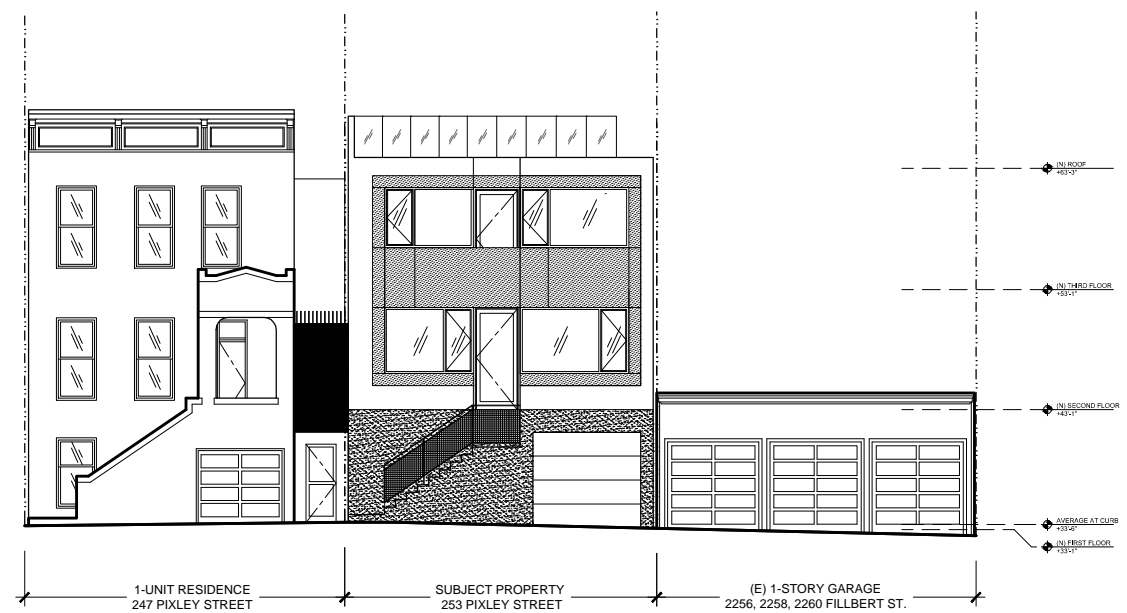
ZONING CALCULATIONS (RH-2)		REQUIRED / ALLOWED	EXISTING	PROPOSED
MAX. DWELLING UNIT DENSITY §209.1	TWO DWELLING UNITS PER LOT; UP TO ONE UNIT PER 1,500 SQFT. OF LOT AREA (MAXIMUM OF 3 UNITS) WITH CONDITIONAL USE APPROVAL.	2 UNITS	1 UNIT	1 UNITS
MINIMUM LOT SIZE §121	LOT SIZE	2,500 SF MIN	1,250 SF	1,250 SF
	LOT WIDTH	25'-0" MIN.	26'-0"	26'-0"
	LOT FRONTAGE	16'-0" MIN.	26'-0"	26'-0"
FRONT YARD SETBACK §132	BASED UPON AVERAGE OF ADJACENT BUILDINGS; UP TO 15 FT. OR 15% OF LOT DEPTH	SEE DRAWINGS		
SIDE YARD SETBACK §133	IF THE LOT IS UNDER 28'-0" IN WIDTH, THEN NO SIDE YARD IS REQUIRED	EAST: 0'-0" WEST: 0'-0"	EAST: 0'-0" WEST: 0'-0"	EAST: 0'-0" WEST: 0'-0"
REAR YARD SETBACK §134 §134(2)(c) §134(c)(1)	45% OF THE LOT DEPTH, HOWEVER, REDUCTION IN REAR SETBACK ALLOWED TO AVERAGE BETWEEN DEPTHS OF THE REAR BUILDING WALLS OF THE TWO ADJACENT BUILDING. UNDER NO CIRCUMSTANCES SHALL THE MINIMUM REAR YARD BE REDUCED TO LESS THAN 25% OF LOT DEPTH, OR NO LESS THAN 15 FT. WHICHEVER IS GREATER.	15'-0" (MIN. ALLOWED)	15'-0"	15'-0"
BASIC FLOOR AREA RATIO §124	1.8 TO 1 TIMES THE LOT AREA (§124.b: IN R, NC, AND MIXED USE DISTRICTS, THE FLOOR AREA RATIO LIMITS SHALL NOT APPLY TO DWELLINGS OR TO OTHER RESIDENTIAL USES.)	N/A	N/A	N/A
USABLE OPEN SPACE §135	125 SF. PER UNIT IF ALL PRIVATE; COMMON SPACE SUBSTITUTED MUST BY 1/3 GREATER	125 SF	N/A	N/A
HEIGHT LIMIT §261	USE DISTRICT HEIGHT LIMIT - 40 FT; 30 FT AT FRONT PROPERTY LINE, WHERE THE AVERAGE GROUND ELEVATION AT THE REAR LINE OF THE LOT IS LOWER BY 20 OR MORE FEET THAN AT THE FRONT LINE THE PERMITTED HEIGHT SHALL BE REDUCED TO 35'-0.	40'-0" MAX.	21'-4"	30'-0"
OFF-STREET PARKING §151	1 OFF-STREET SPACE FOR EACH SINGLE-FAMILY DWELLING UNIT	2 SPACES	2 SPACES	2 SPACES
STREET TREE §138.1(c)(1)	STREET TREES SHALL BE REQUIRED UNDER THE FOLLOWING CONDITIONS; CONSTRUCTION OF A NEW BUILDING; RELOCATION OF A BUILDING; THE ADDITION OF GROSS FLOOR AREA EQUAL TO 20% OR MORE OF THE GROSS FLOOR AREA OF AN EXISTING BUILDING; THE ADDITION OF A NEW DWELLING UNIT, A GARAGE, OR ADDITIONAL PARKING; OR PAVING OR REPAVING MORE THAN 200 SQUARE FEET OF THE FRONT SETBACK	1 TREE	1 TREE	1 TREE
PERMITTED OBSTRUCTIONS §136	SEE DRAWINGS	N/A	N/A	SEE DRAWINGS

[SITE PLAN MOVED TO SHEET A0.10 TO SHOW PROPOSED AND EXISTING SIDE BY SIDE PER NOPDR#1, ITEM 4.]

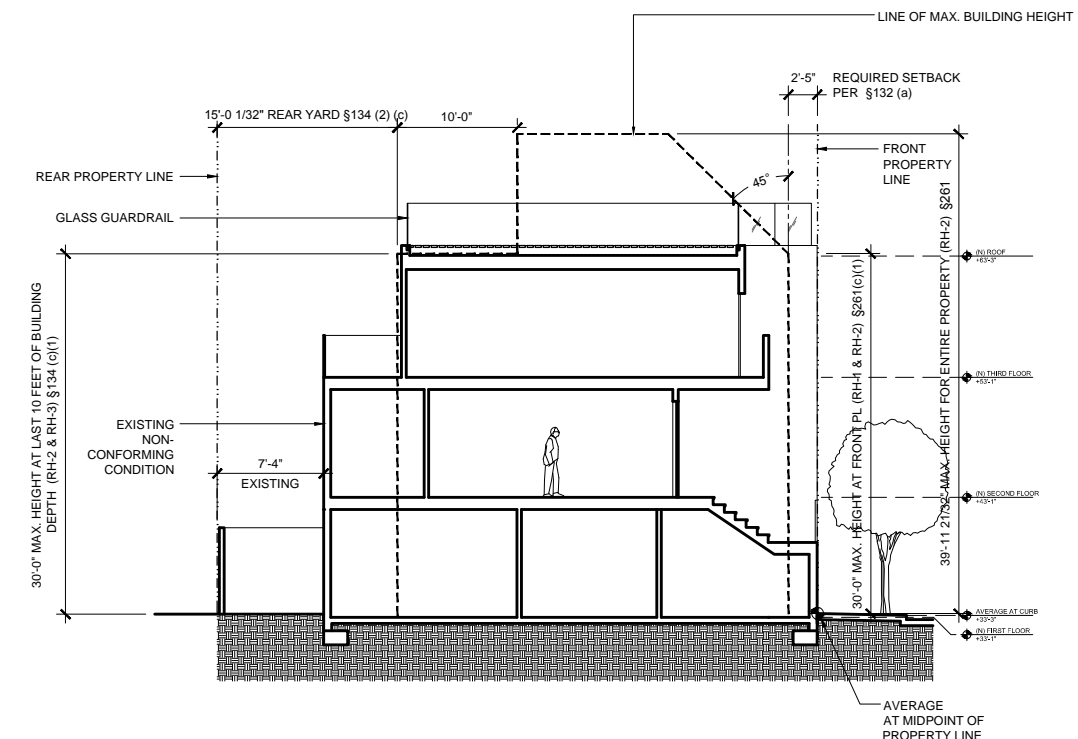
NOPDR#2

EDMONDS + LEE ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com

03 SF PLANNING STANDARDS
 SCALE: N/A



02 PROPSD FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



01 (NEW) BUILDNG HEIGHT DIAGRAM
 SCALE: 1/8" = 1'-0"



PROJECT:
GOLDBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:
ZONING AND DATA CALCULATIONS

SCALE:	1/8" = 1'-0"
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

A0.11

DEMOLITION CRITERIA

FROM SAN FRANCISCO PLANNING CODE :
 SEC.317. LOSS OF DWELLING UNITS THROUGH DEMOLITION, MERGER AND CONVERSION.

(b) DEFINITIONS

(2) "RESIDENTIAL DEMOLITION" SHALL MEAN ANY OF THE FOLLOWING:

(A) ANY WORK ON A RESIDENTIAL BUILDING FOR WHICH THE DEPARTMENT OF BUILDING INSPECTION DETERMINES THAT AN APPLICATION FOR A DEMOLITION PERMIT IS REQUIRED, OR

(B) A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE FRONT FACADE AND REAR FACADE AND ALSO PROPOSES THE REMOVAL OF MORE THAN 65% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL, OR

(C) A MAJOR ALTERATION OF A RESIDENTIAL BUILDING THAT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE VERTICAL ENVELOPE ELEMENTS AND MORE THAN 50% OF THE HORIZONTAL ELEMENTS OF THE EXISTING BUILDING, AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

REMOVAL CALCULATION SUMMARIES FOR 253 PIXLEY:

PER SAN FRANCISCO PLANNING CODE 317 (b.2.B), THIS PROJECT IS NOT CONSIDERED TO BE 'RESIDENTIAL DEMOLITION'.

CRITERIA B:

- 68% > 50% FRONT AND REAR FACADE REMOVALS (AREA)
- 20% < 65% EXTERIOR WALL REMOVALS AT FOUNDATION LEVEL (LINEAL FEET)

THIS PROJECT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE SUM OF THE EXISTING FRONT FACADE AND REAR FACADE, BUT IT DOES NOT PROPOSE REMOVAL OF MORE THAN 50% OF THE SUM OF ALL EXTERIOR WALLS, MEASURED IN LINEAL FEET AT THE FOUNDATION LEVEL.

PER SAN FRANCISCO PLANNING CODE 317 (b.2.C), THIS PROJECT IS NOT CONSIDERED TO BE 'RESIDENTIAL DEMOLITION'.

CRITERIA C:

- 100% > 50% HORIZONTAL REMOVALS (AREA)
- 37% < 65% VERTICAL ENVELOPE REMOVALS (AREA)

THIS PROJECT PROPOSES THE REMOVAL OF MORE THAN 50% OF THE EXISTING HORIZONTAL SURFACE AREA, BUT IT DOES NOT PROPOSE REMOVAL OF MORE THAN 50% OF THE EXISTING VERTICAL ENVELOPE ELEMENTS AS MEASURED IN SQUARE FEET OF ACTUAL SURFACE AREA.

FRONT & REAR FACADE REMOVAL CALCULATION

(REFER TO DIAGRAMS, BOTTOM ROW.)

VERTICAL ELEMENTS (SF)	EXISTING AREA (SF)	REMOVED AREA (SF)	% REMOVED
FRONT (NORTH)	544	425	78%
REAR (SOUTH)	573	337	59%
FRONT / REAR TOTAL:	1,117	762	68%

68% > 50% REMOVAL OF THE SUM OF FRONT & REAR FACADES

NO: DATE: SUBMISSION:

01 01/26/16 NOPDR#1 / VARIANCE
 02 04/15/16 NOPDR#2

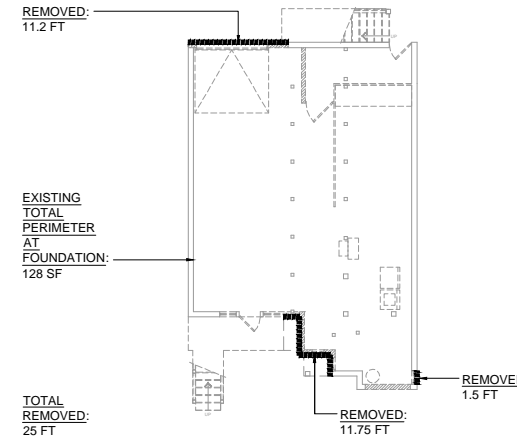
NOPDR#2

EDMONDS + LEE ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com

LINEAL EXTERIOR WALL REMOVAL CALCULATION

	EXISTING (FT)	REMOVED (FT)	% REMOVED
PERIMETER AT FOUNDATION LEVEL	128	25	20%

GRAPHIC KEY: 20% < 65% REMOVAL OF THE TOTAL LENGTH OF EXISTING BUILDING AT FOUNDATION LEVEL.



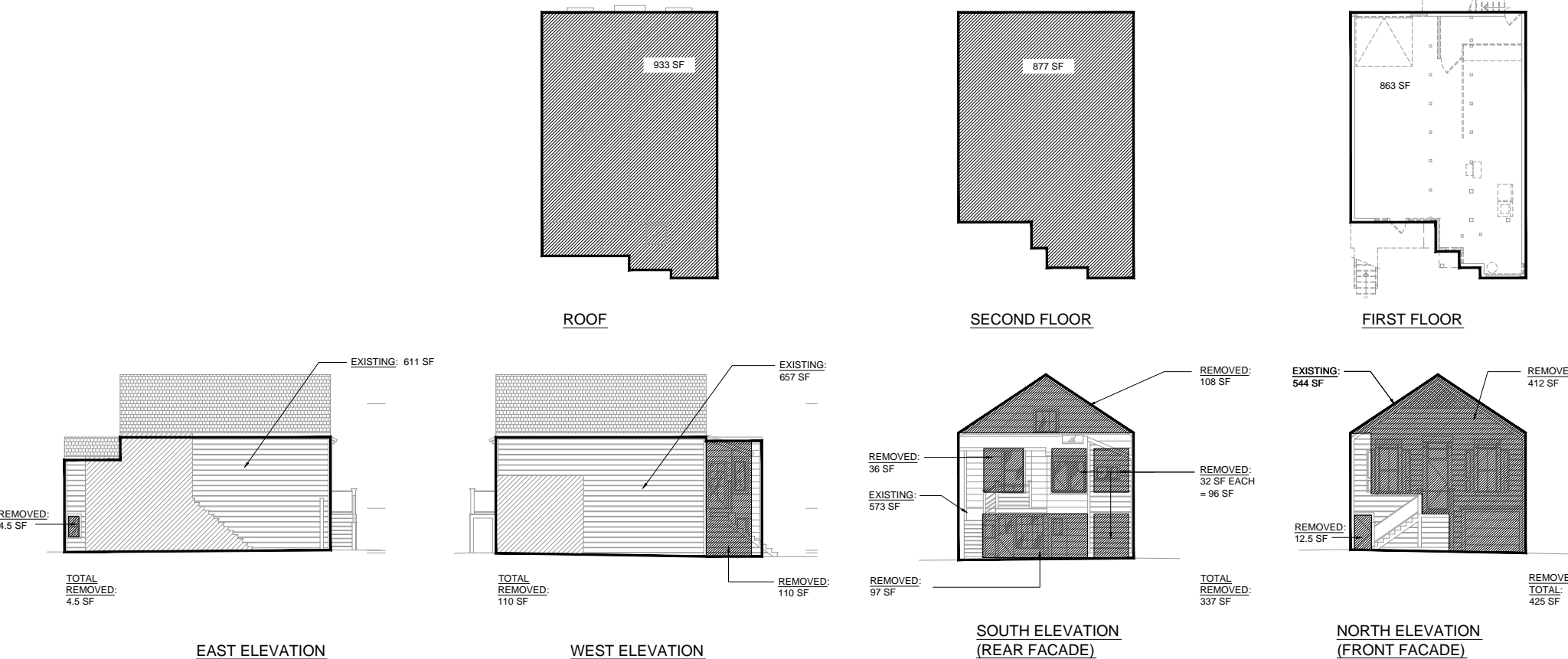
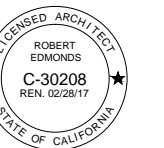
FOUNDATION LEVEL PLAN

HORIZONTAL ELEMENTS REMOVAL CALCULATION

HORIZONTAL ELEMENTS (SF)	EXISTING AREA (SF)	REMOVED AREA (SF)	% REMOVED
ROOF	933	933	100%
SECOND FLOOR	877	877	100%
FIRST FLOOR (BELOW GRADE)	N/A	N/A	0%
VERT. ENVELOPE (ALL SIDES)	1,810	1810	100%

GRAPHIC KEY: 100% > 50% REMOVAL OF HORIZONTAL COMPONENTS

- EXISTING
- REMOVED



VERTICAL ENVELOPE ELEMENTS REMOVAL CALCULATION

VERTICAL ELEMENTS (SF)	EXISTING AREA (SF)	REMOVED AREA (SF)	% REMOVED
FRONT (NORTH)	544	425	78%
REAR (SOUTH)	573	337	59%
WEST	657	110	17%
EAST	611	4.5	1%
VERT. ENVELOPE (ALL SIDES)	2,385	876.5	37%

GRAPHIC KEY: 37% < 50% REMOVAL OF VERTICAL ENVELOPE

- EXISTING
- REMOVED

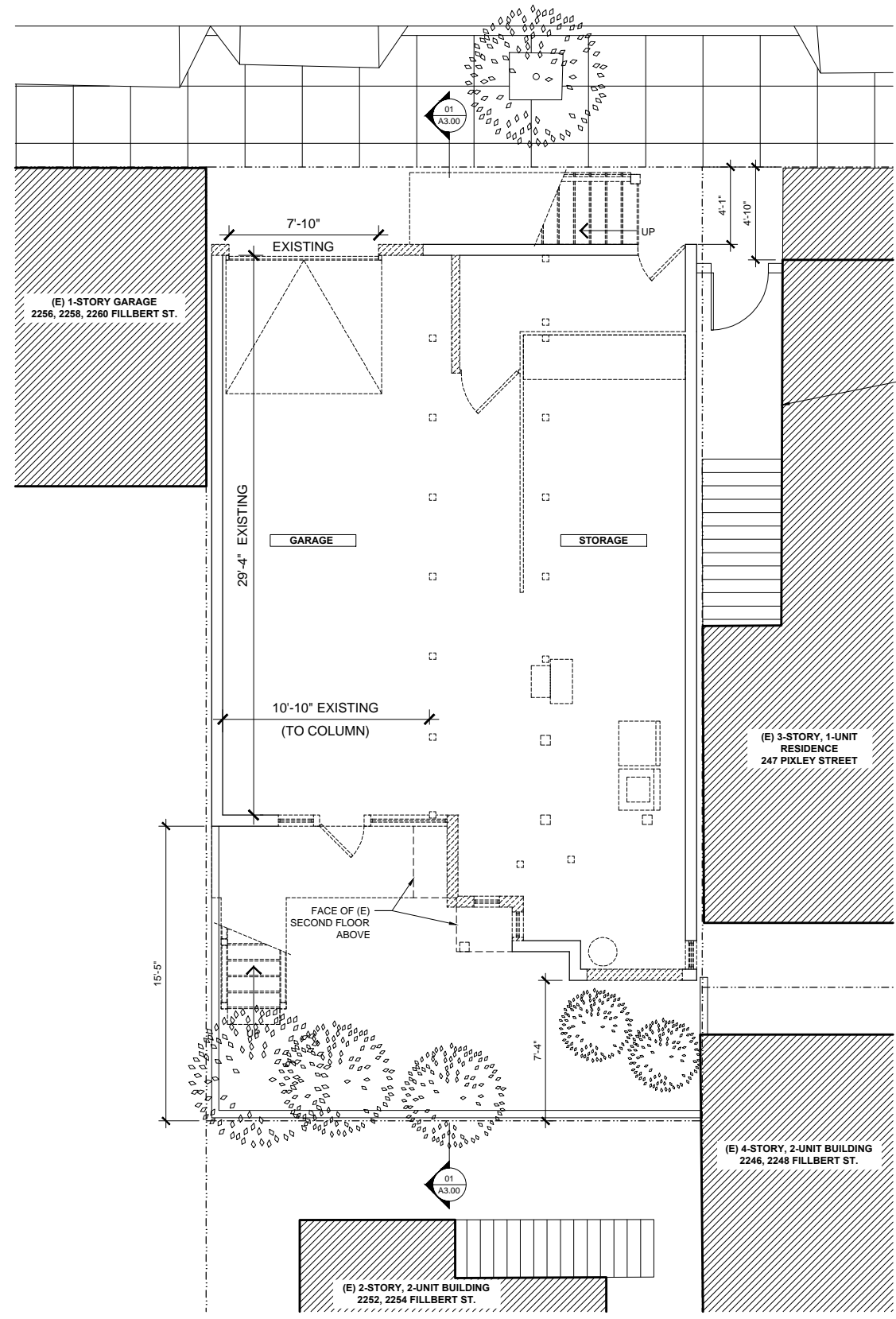
PROJECT:
 GOLDBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:
 DEMOLITION CALCULATIONS AND DIAGRAMS

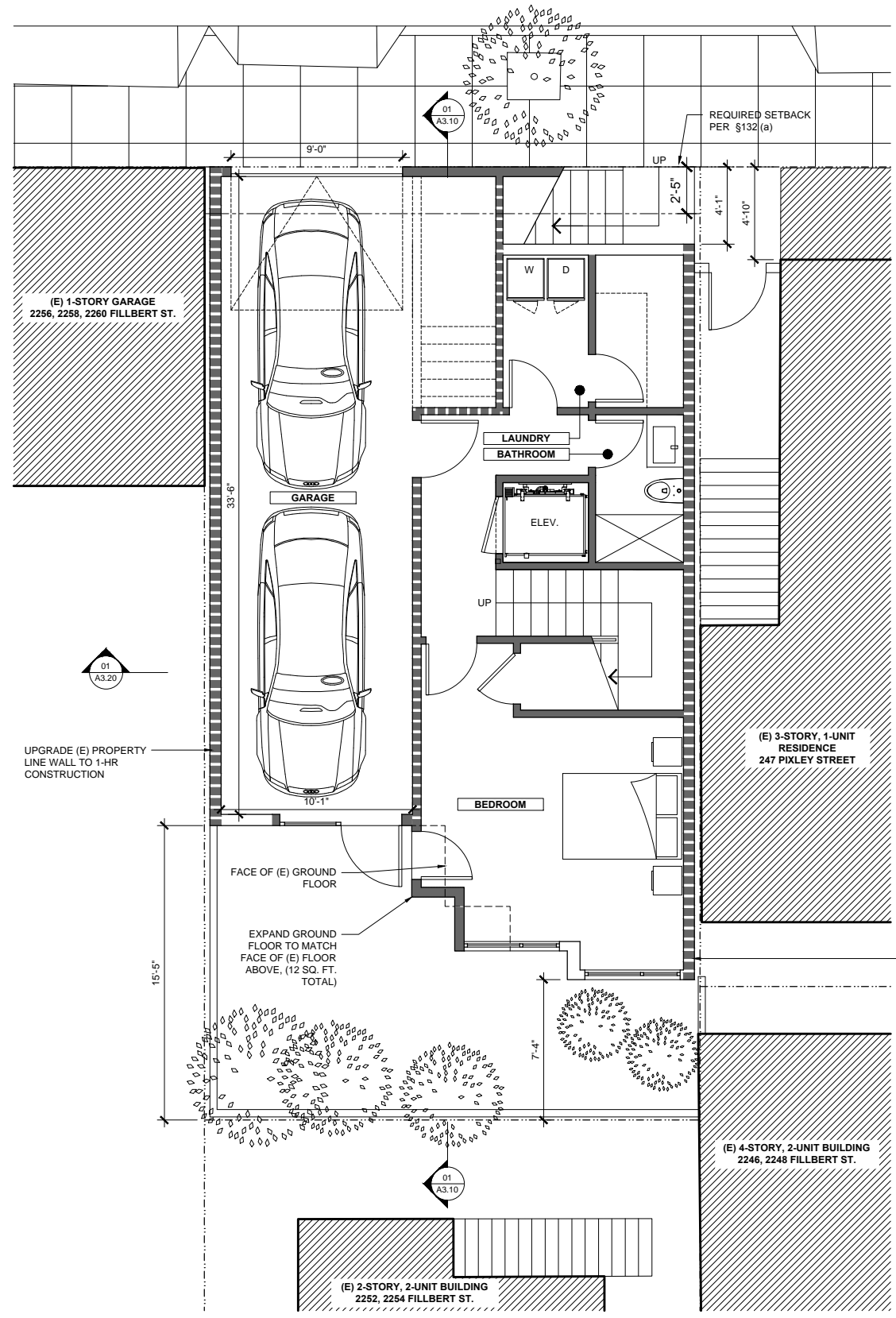
SCALE: 1/8" = 1'-0"
 DATE: APRIL 15, 2016
 JOB NO. 2015.01
 DRAWN:
 CAD FILE:

NOPDR#2

EDMONDS + LEE ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com

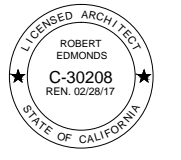


NOTE: NO WINDOWS ON THIS FACADE ON ADJACENT BUILDING.



WALL LEGEND:

	WALL TO DEMOLISH
	(EXIST.) WALL
	(NEW) WALL
	1-HR WALL
	2-HR WALL



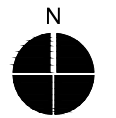
PROJECT:
GOLDUBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:
FLOOR PLANS (EXISTING) & (NEW)

SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

02 (EXISTING) 1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

01 (NEW) 1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

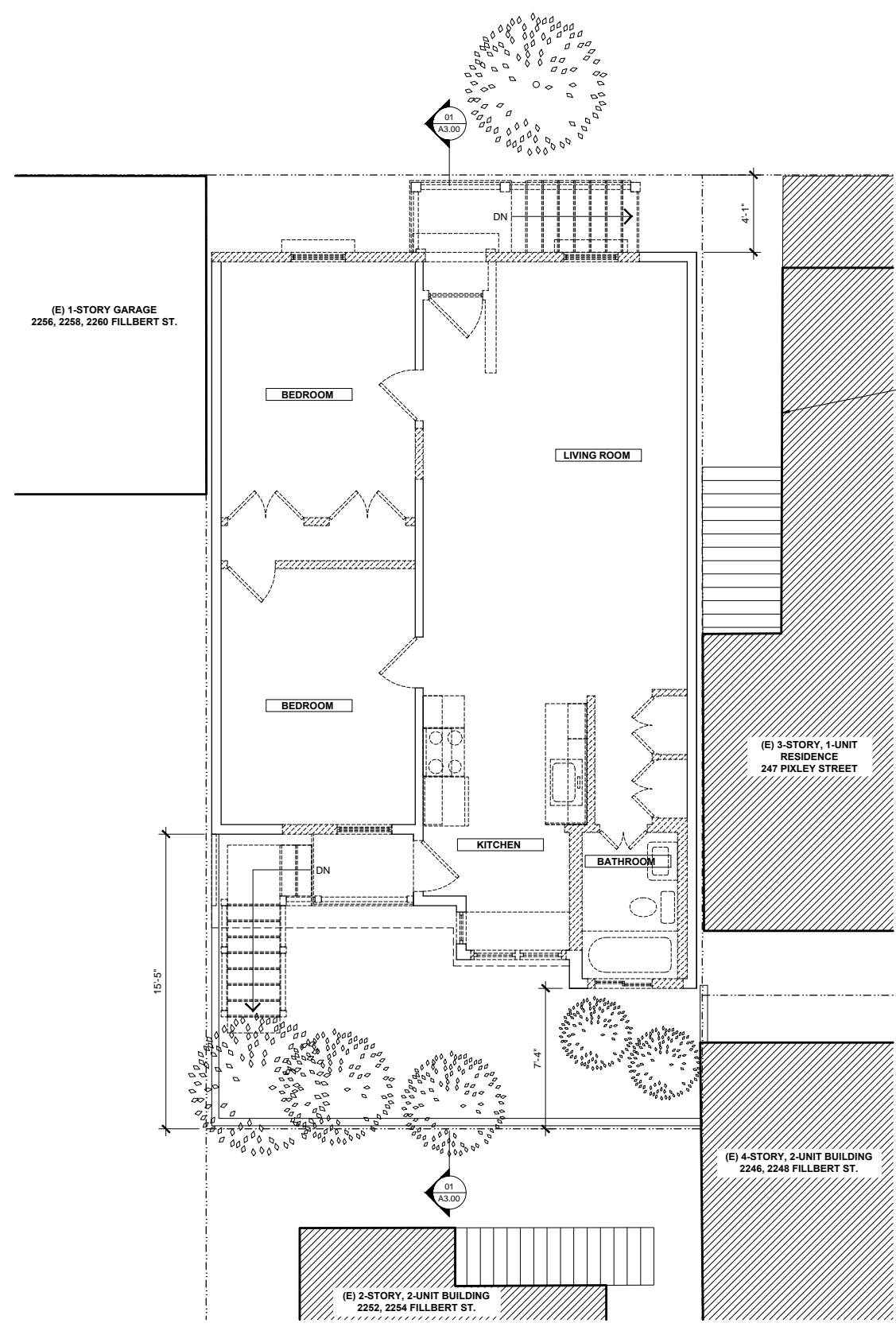


A1.01

NO.	DATE:	SUBMISSION:
01	10/23/15	SITE PERMIT APP.
02	01/26/16	NOPDR#1 / VARIANCE
03	04/15/16	NOPDR#2

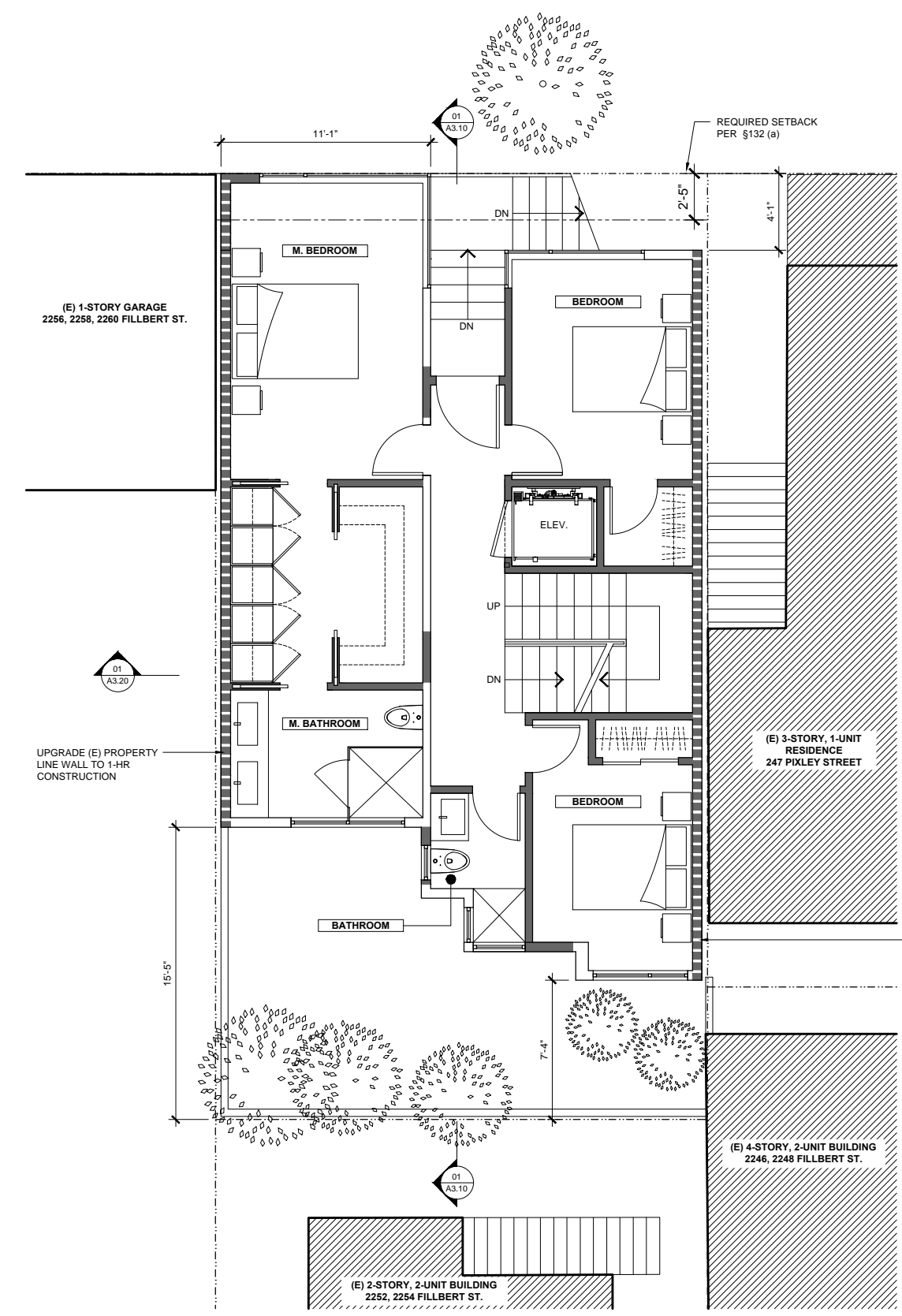
NOPDR#2

EDMONDS + LEE ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



02 (EXISTING) 2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

NOTE, NO WINDOWS ON THIS FACADE ON ADJACENT BUILDING.



01 (NEW) 2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

WALL LEGEND:

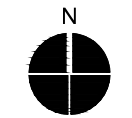
	WALL TO DEMOLISH
	(EXIST.) WALL
	(NEW) WALL
	1-HR WALL
	2-HR WALL



PROJECT:
GOLDBUBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:
FLOOR PLANS
 (EXISTING) & (NEW)

SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

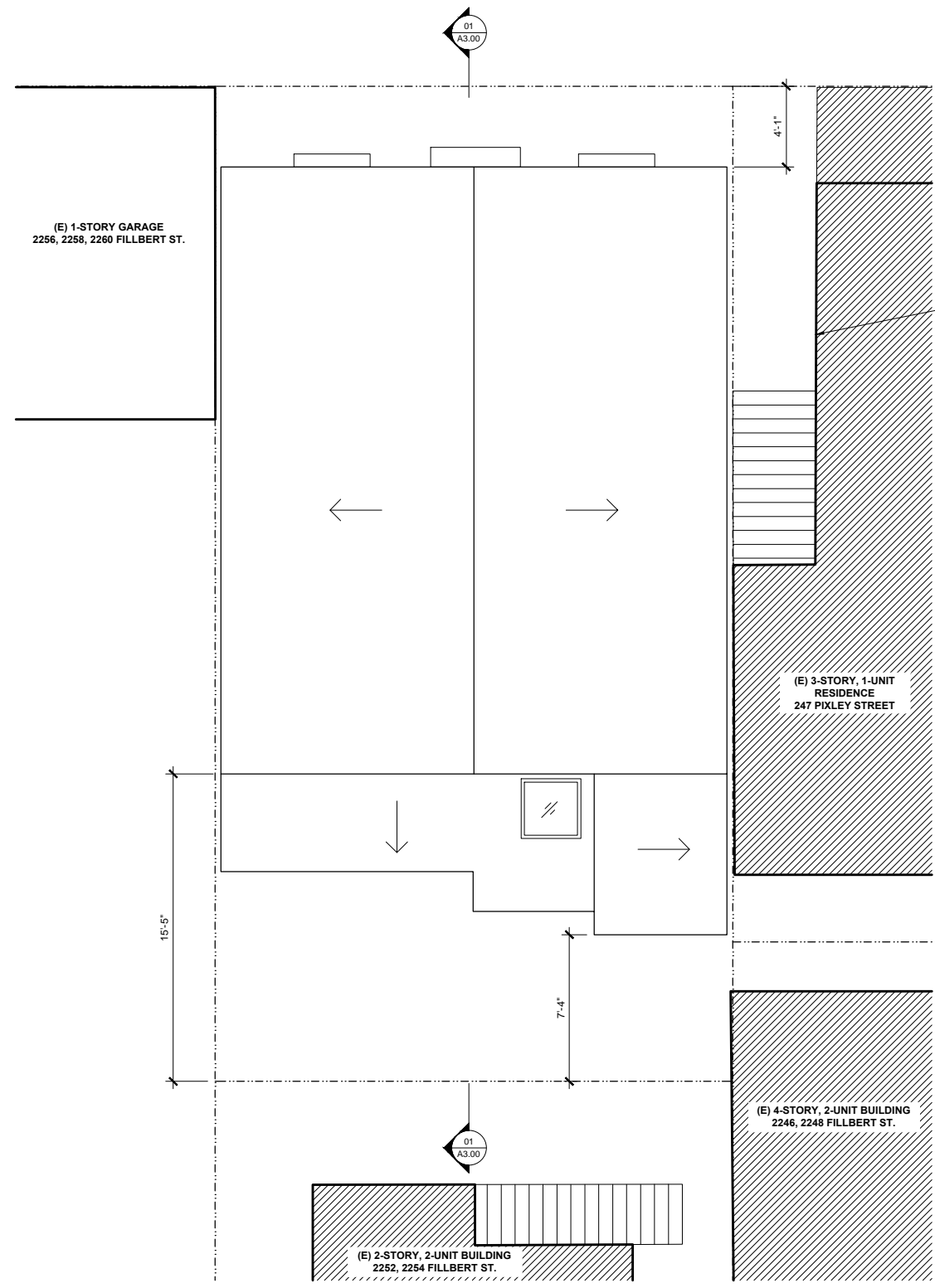


A1.02

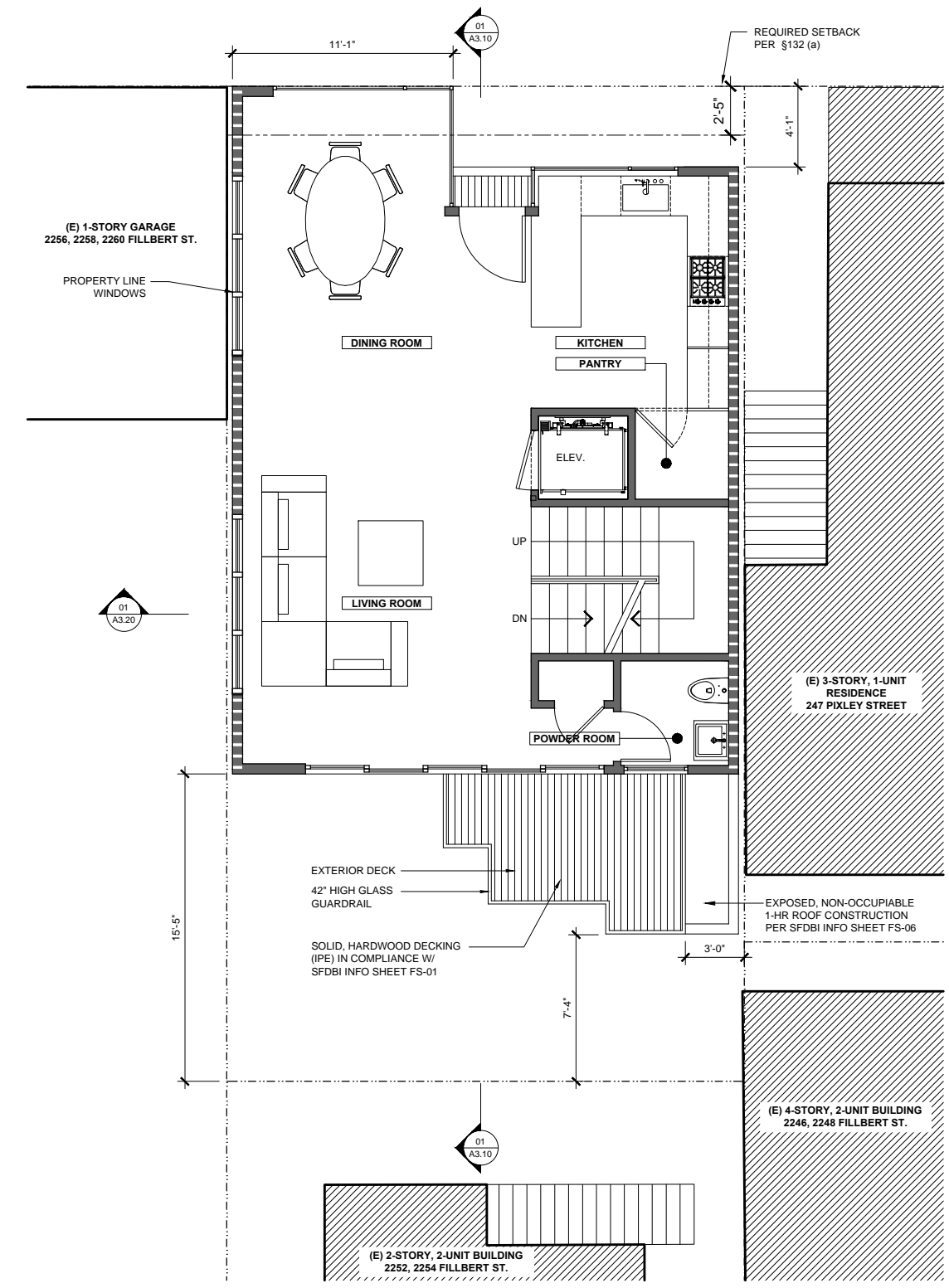
NO:	DATE:	SUBMISSION:
01	10/23/15	SITE PERMIT APP.
02	01/26/16	NOPDR#1 / VARIANCE
03	04/15/16	NOPDR#2

NOPDR#2

EDMONDS + LEE ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



NOTE, NO WINDOWS ON THIS FACADE ON ADJACENT BUILDING.



WALL LEGEND:

	WALL TO DEMOLISH
	(EXIST.) WALL
	(NEW) WALL
	1-HR WALL
	2-HR WALL



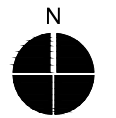
PROJECT:
GOLDBUBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:
FLOOR PLANS
 (EXISTING) & (NEW)

SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

02 (EXISTING) 3RD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

01 (NEW) 3RD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

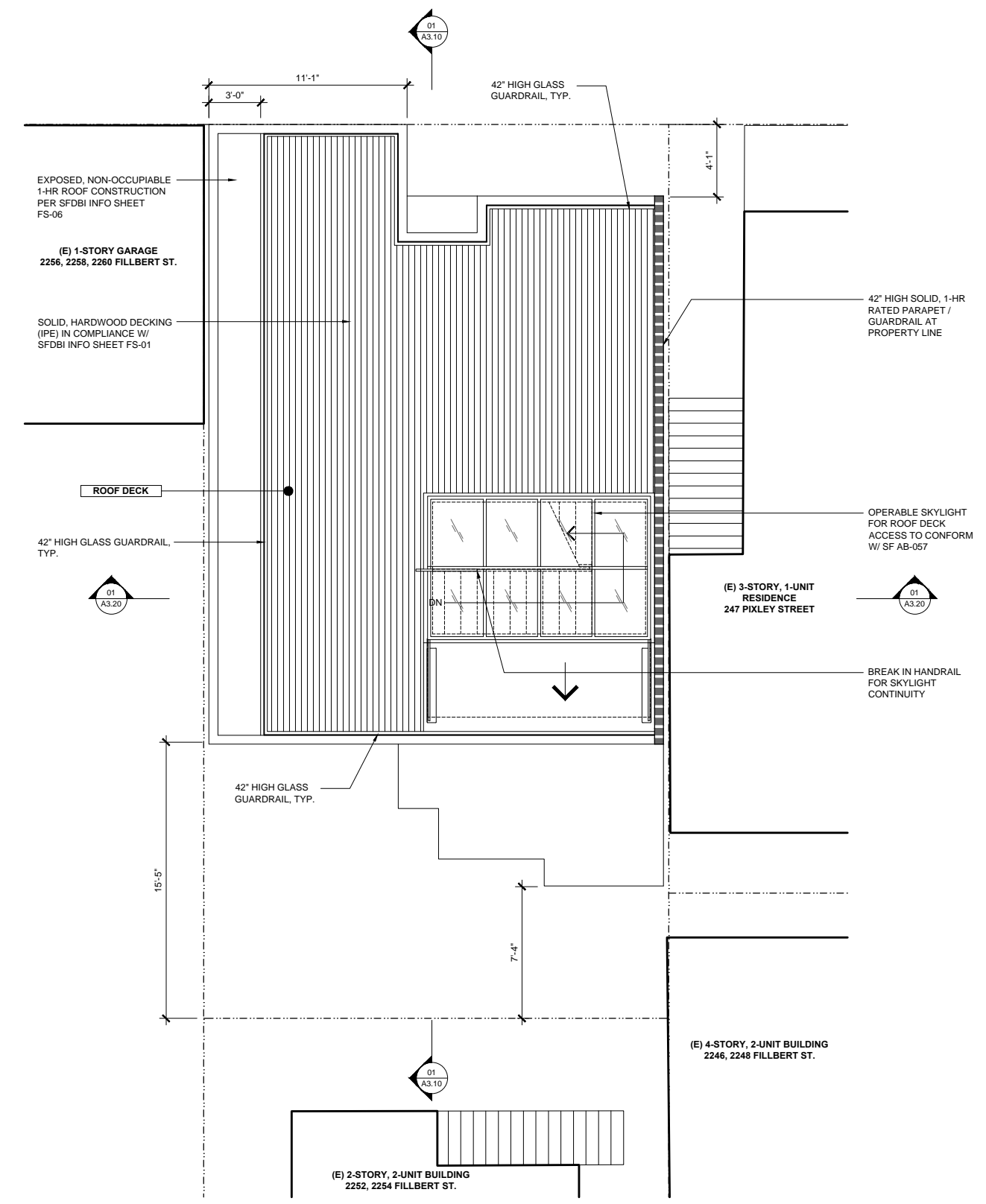


A1.03

NO.	DATE:	SUBMISSION:
01	10/23/15	SITE PERMIT APP.
02	01/26/16	NOPDR#1 / VARIANCE
03	04/15/16	NOPDR#2

NOPDR#2

EDMONDS + LEE ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



WALL LEGEND:

	WALL TO DEMOLISH
	(EXIST.) WALL
	(NEW) WALL
	1-HR WALL
	2-HR WALL

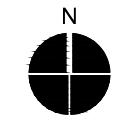


PROJECT:
GOLDBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:
FLOOR PLANS
(EXISTING) & (NEW)

SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

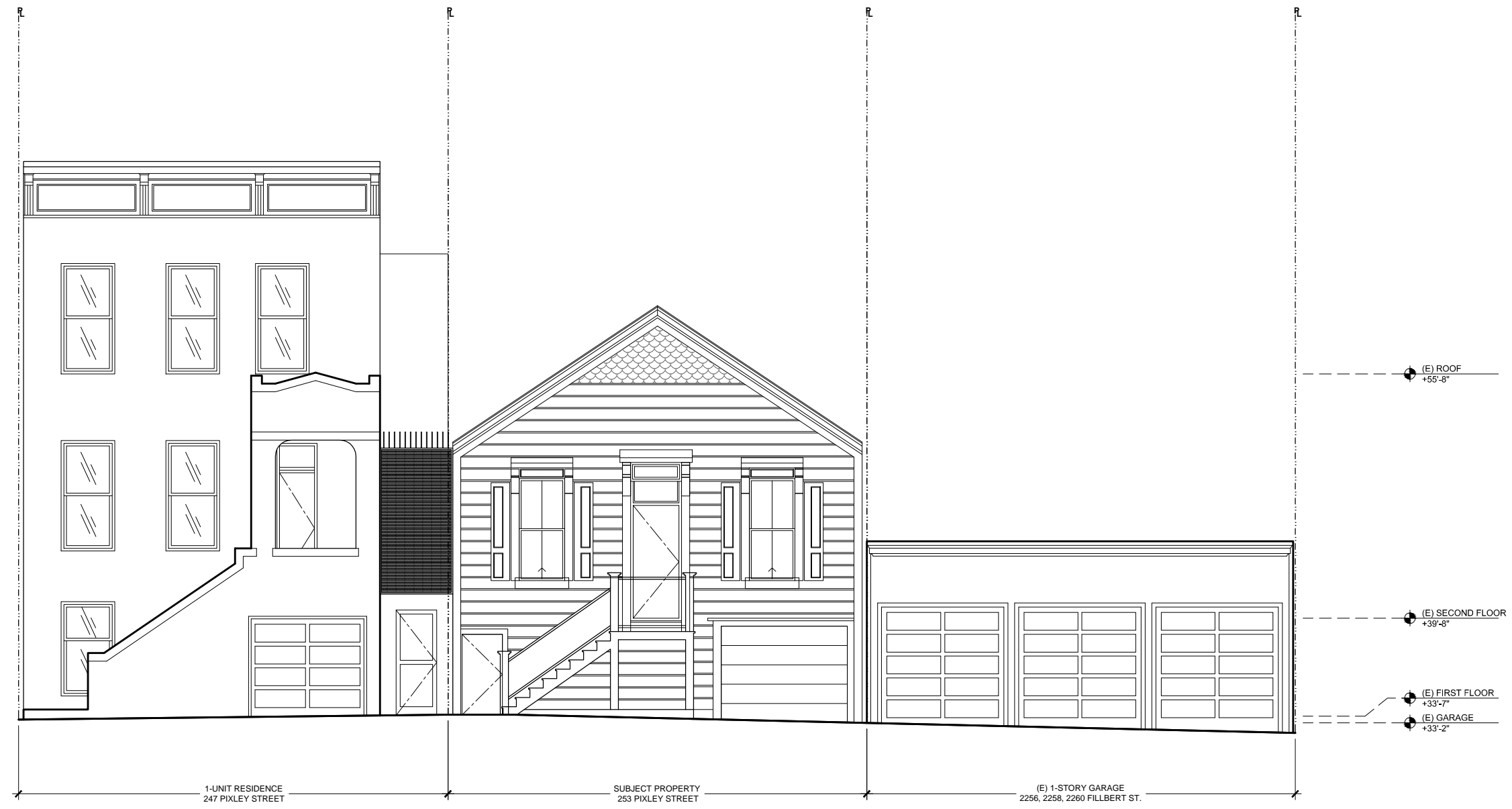
02 (NEW) 4TH FLOOR ROOF PLAN
 SCALE: 1/4" = 1'-0"



A1.04

NOPDR#2

EDMONDS + LEE
 ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



PROJECT:
GOLDBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

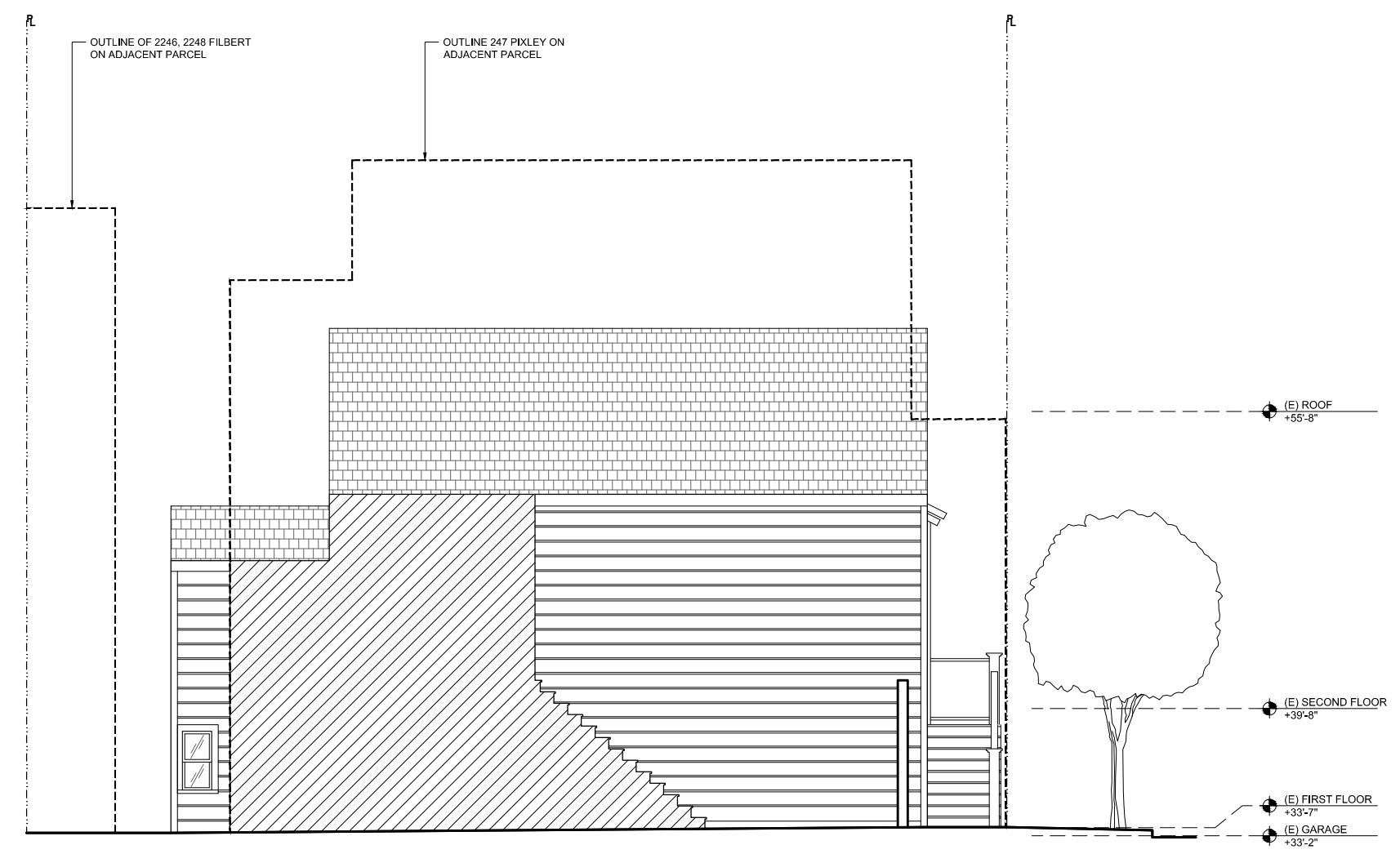
DRAWING:
**EXTERIOR ELEVATIONS
 (EXISTING)**

SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

01 (EXISTING) NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

NOPDR#2

EDMONDS + LEE
 ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



PROJECT:
GOLDBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

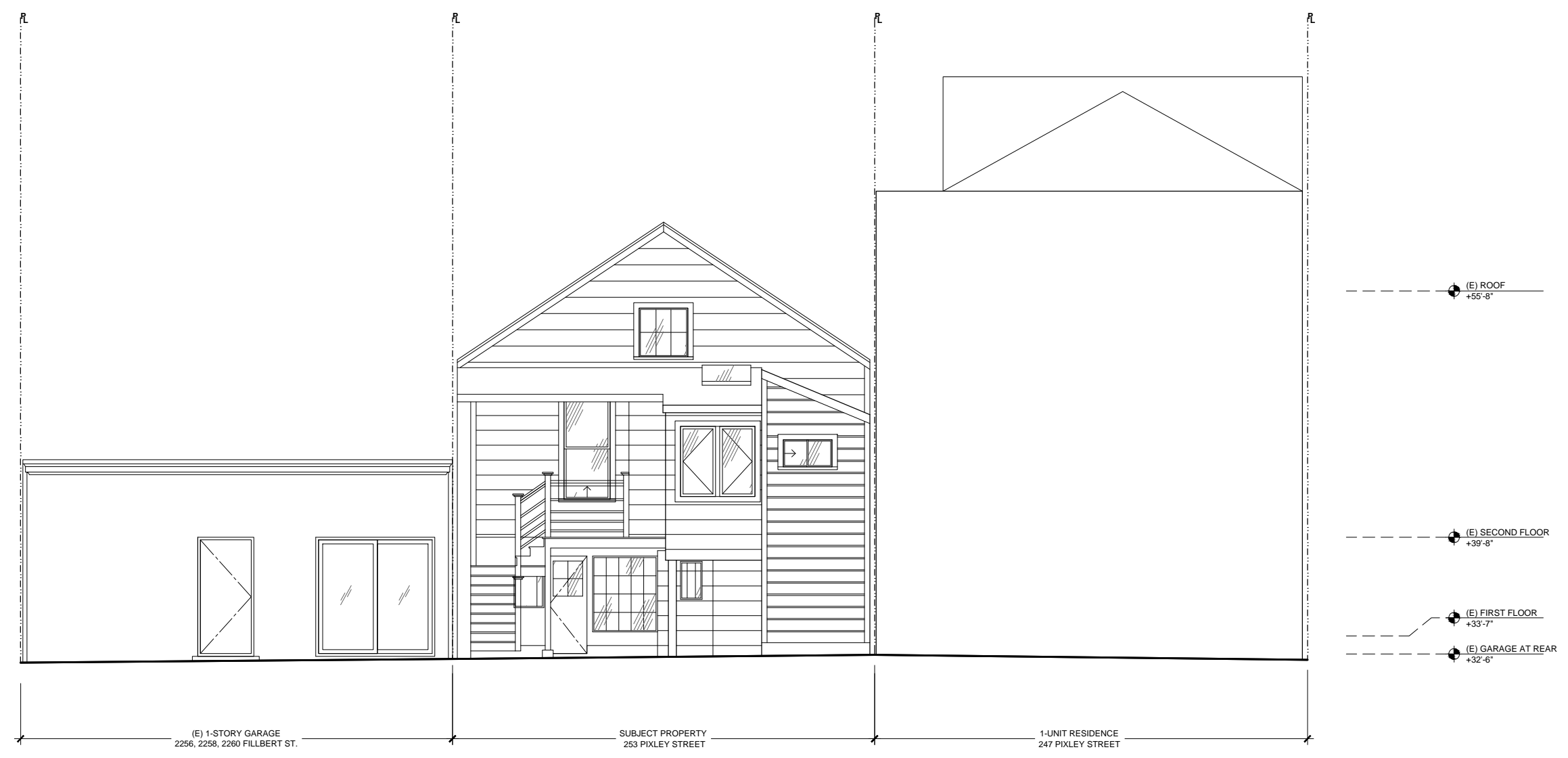
DRAWING:
**EXTERIOR ELEVATIONS
 (EXISTING)**

SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

01 (EXISTING) EAST ELEVATION
 SCALE: 1/4" = 1'-0"

NOPDR#2

EDMONDS + LEE
 ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



PROJECT:
GOLDUBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

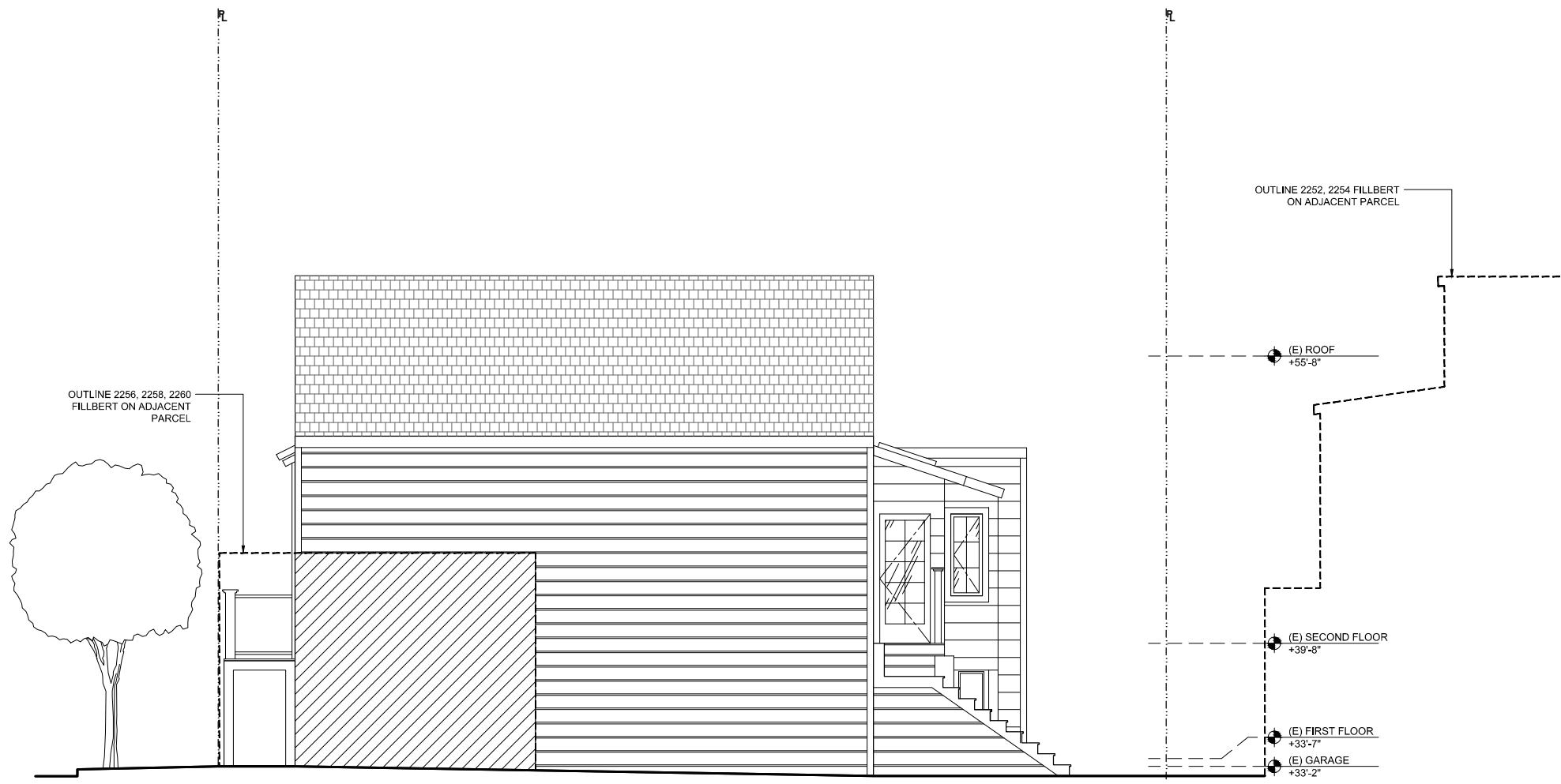
DRAWING:
**EXTERIOR ELEVATIONS
 (EXISTING)**

SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

01 (EXISTING) SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

NOPDR#2

EDMONDS + LEE
 ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



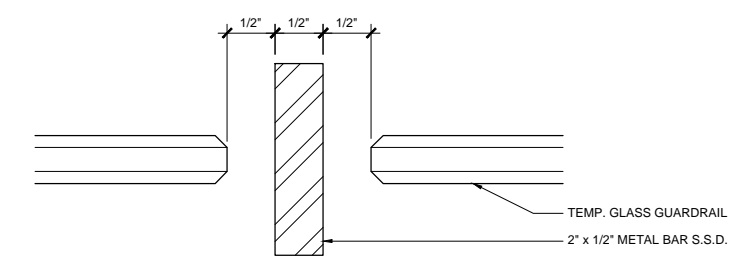
PROJECT:
GOLDBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:
**EXTERIOR ELEVATIONS
 (EXISTING)**

SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

01 (EXISTING) WEST ELEVATION
 SCALE: 1/4" = 1'-0"

NO:	DATE:	SUBMISSION:
01	10/23/15	SITE PERMIT APP.
02	01/26/16	NOPDR#1 / VARIANCE
03	04/15/16	NOPDR#2

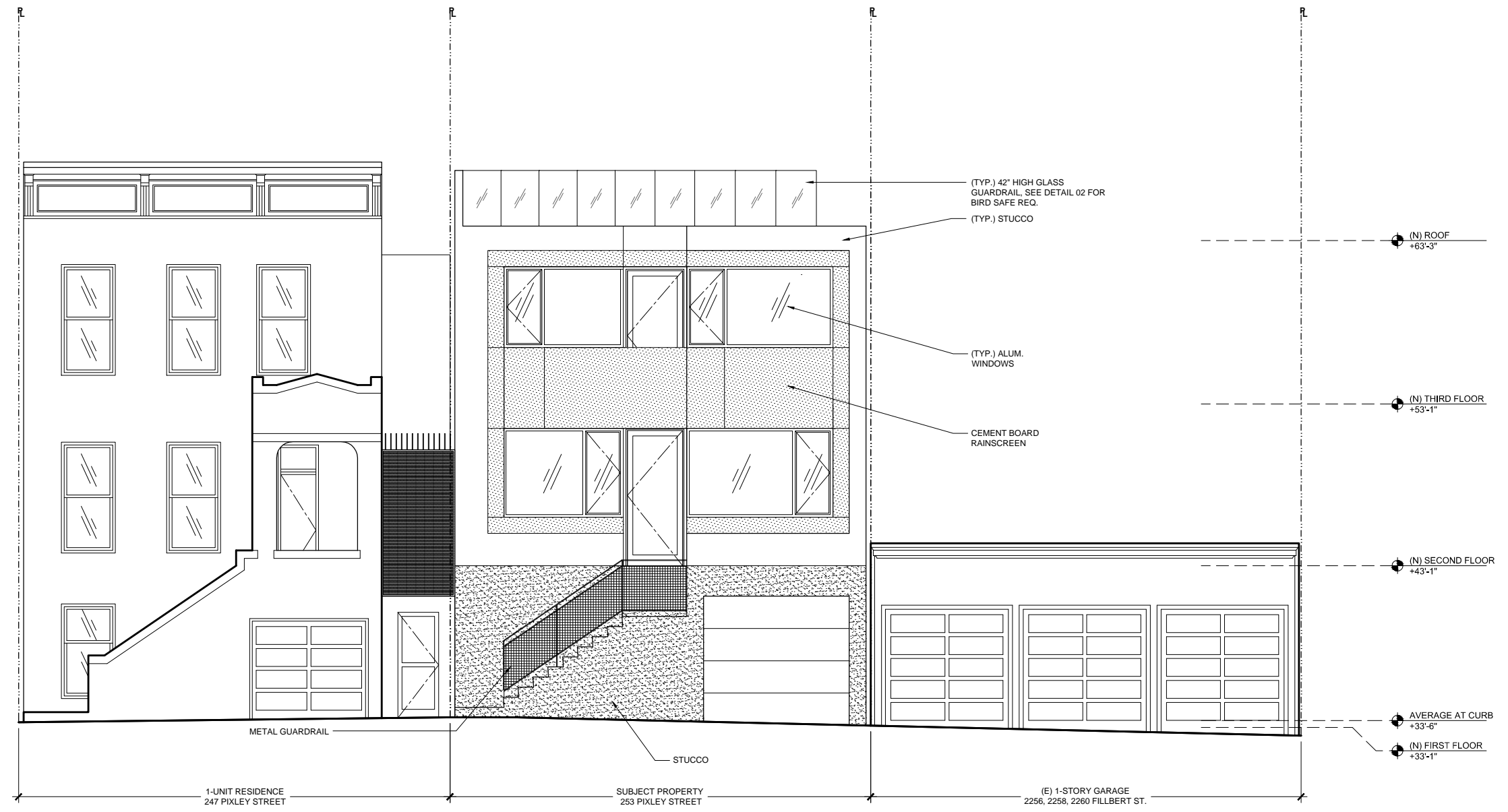


02 GUARDRAIL DETAIL (BIRD SAFE)
SCALE: FULL SIZE

NOPDR#2

EDMONDS + LEE
ARCHITECTS, INC.

2401 Mission St., #503
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com



01 (NEW) NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROJECT:
GOLDBER RESIDENCE
253 PIXLEY STREET
SAN FRANCISCO, CA 94123
BLOCK: 0515 / LOT: 016A

DRAWING:
EXTERIOR ELEVATIONS (NEW)

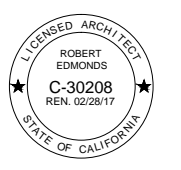
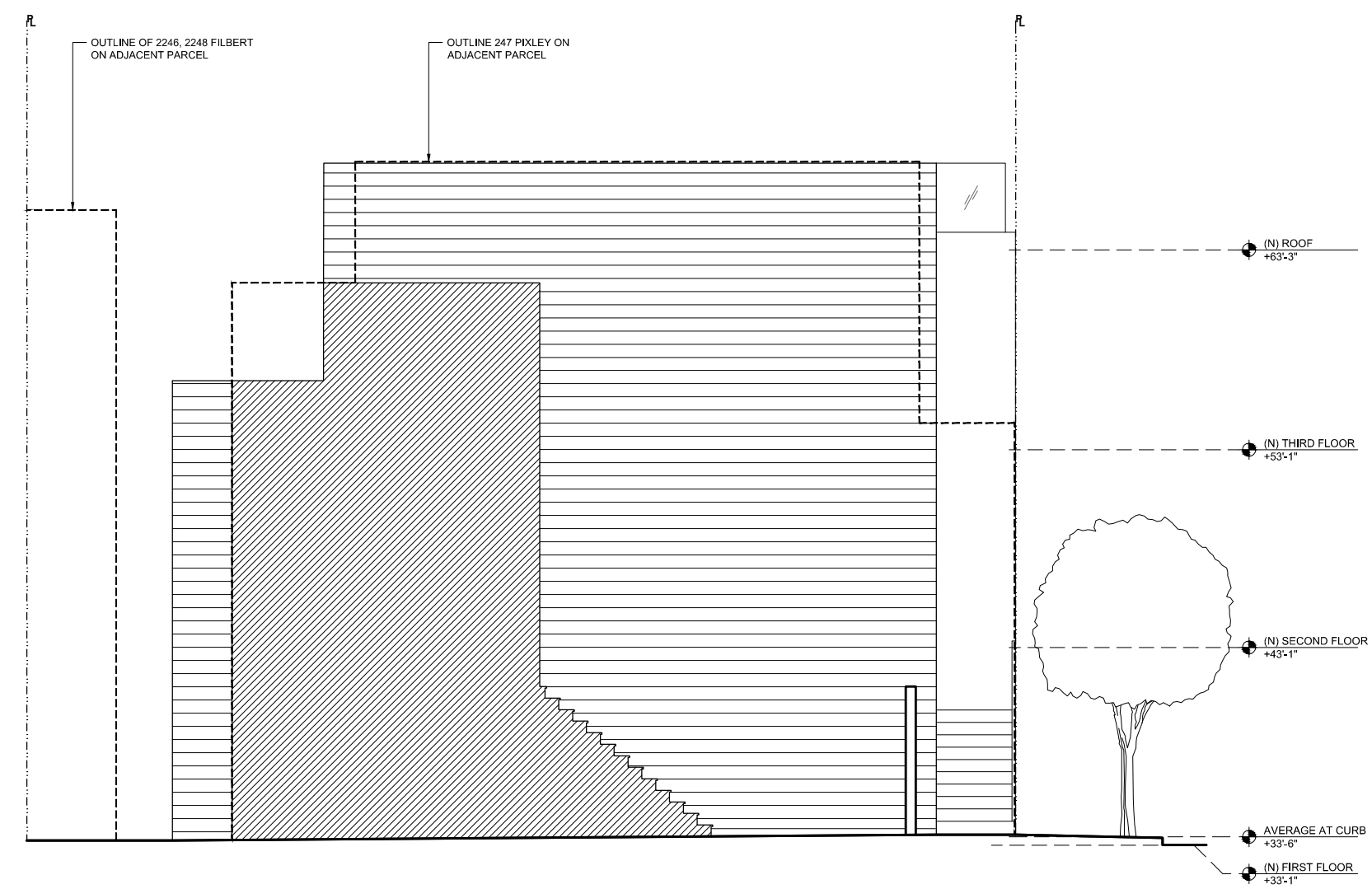
SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

A2.10

NO.	DATE:	SUBMISSION:
01	10/23/15	SITE PERMIT APP.
02	01/26/16	NOPDR#1 / VARIANCE
03	04/15/16	NOPDR#2

NOPDR#2

EDMONDS + LEE
 ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



PROJECT:
GOLDBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:
EXTERIOR ELEVATIONS (NEW)

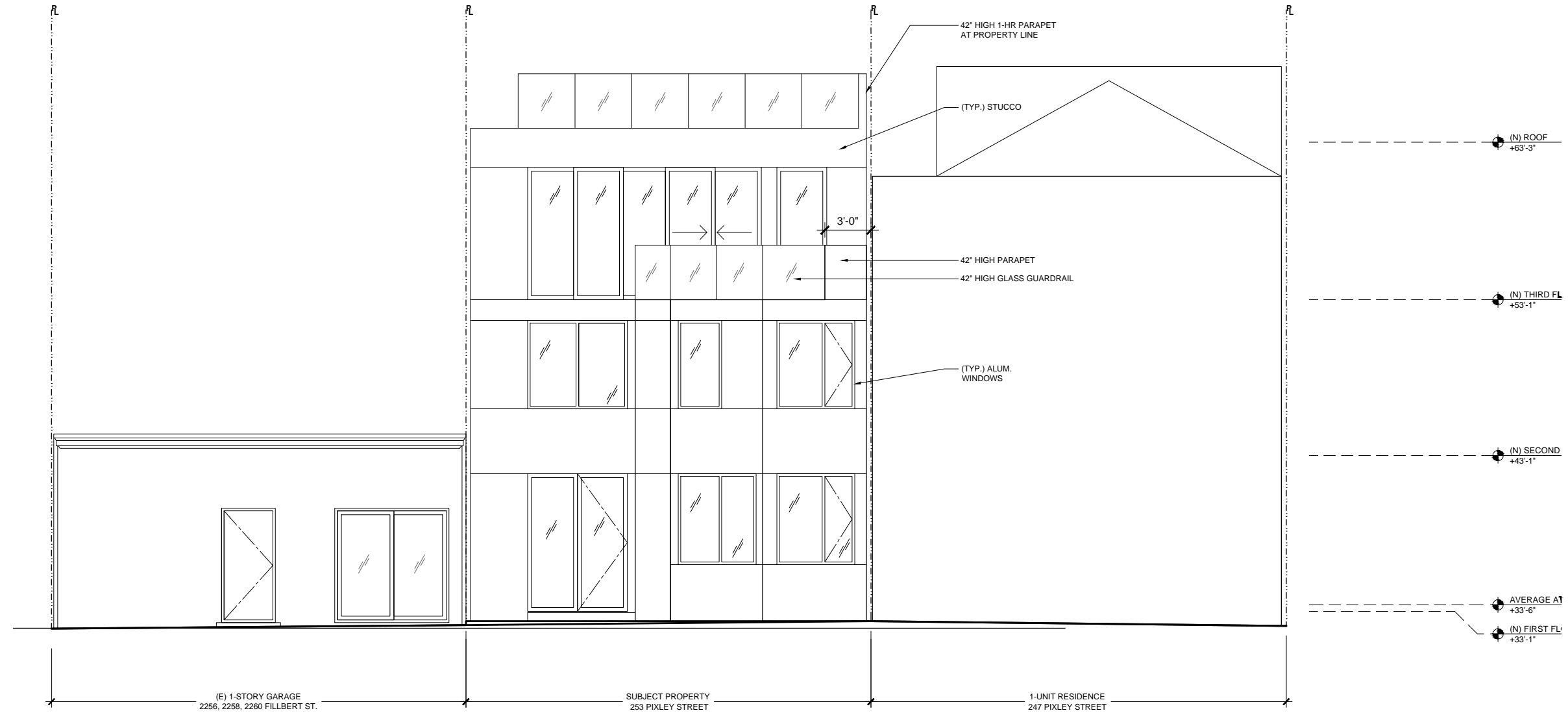
SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

01 (NEW) EAST ELEVATION
 SCALE: 1/4" = 1'-0"

NO.	DATE:	SUBMISSION:
01	10/23/15	SITE PERMIT APP.
02	01/26/16	NOPDR#1 / VARIANCE
03	04/15/16	NOPDR#2

NOPDR#2

EDMONDS + LEE
 ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



PROJECT:
GOLDUBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:
EXTERIOR ELEVATIONS (NEW)

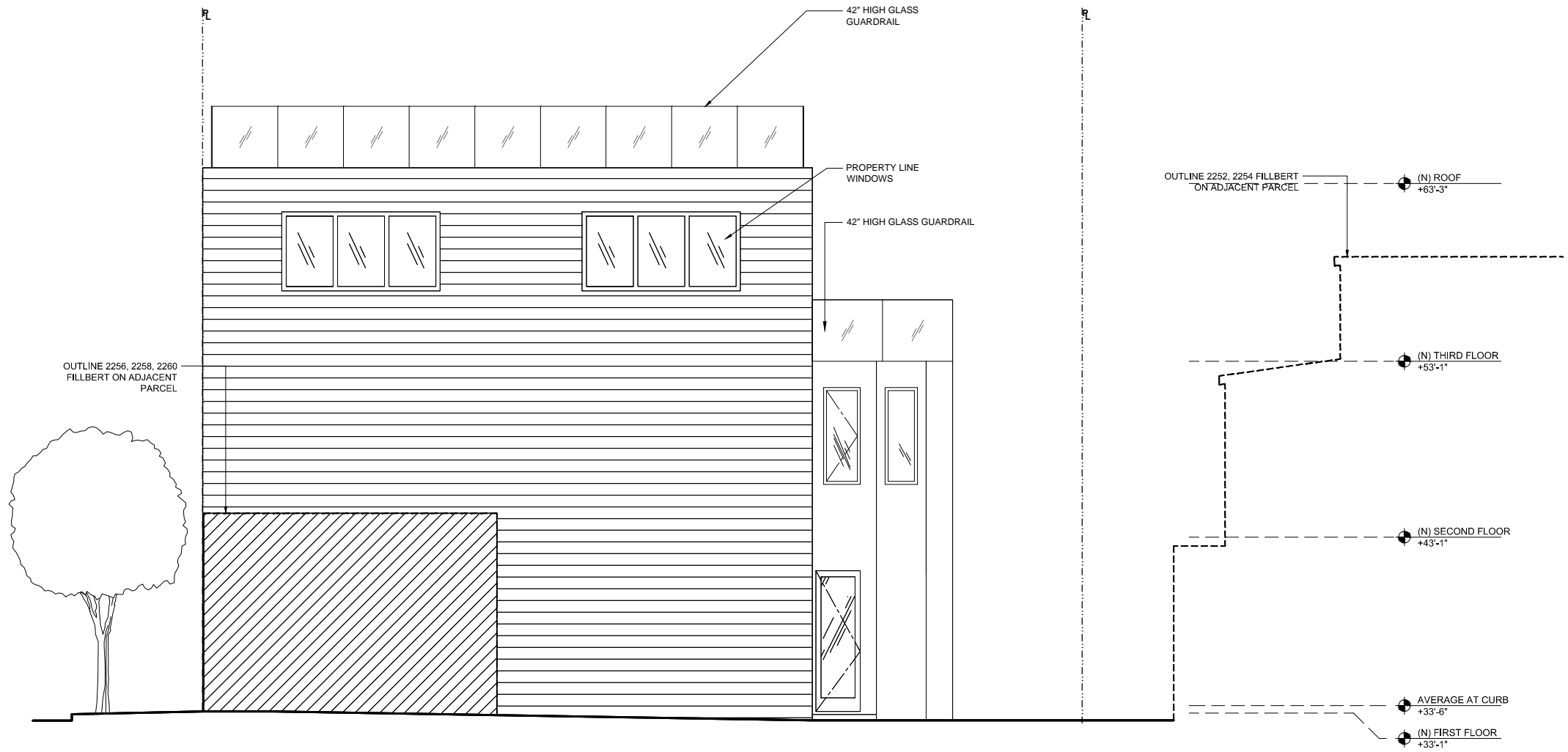
SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

01 (NEW) SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

NO.	DATE:	SUBMISSION:
01	10/23/15	SITE PERMIT APP.
02	01/26/16	NOPDR#1 / VARIANCE
03	04/15/16	NOPDR#2

NOPDR#2

EDMONDS + LEE
ARCHITECTS, INC.
2401 Mission St., #503
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com



PROJECT:
GOLDBER RESIDENCE
253 PIXLEY STREET
SAN FRANCISCO, CA 94123
BLOCK: 0515 / LOT: 016A

DRAWING:
EXTERIOR ELEVATIONS (NEW)

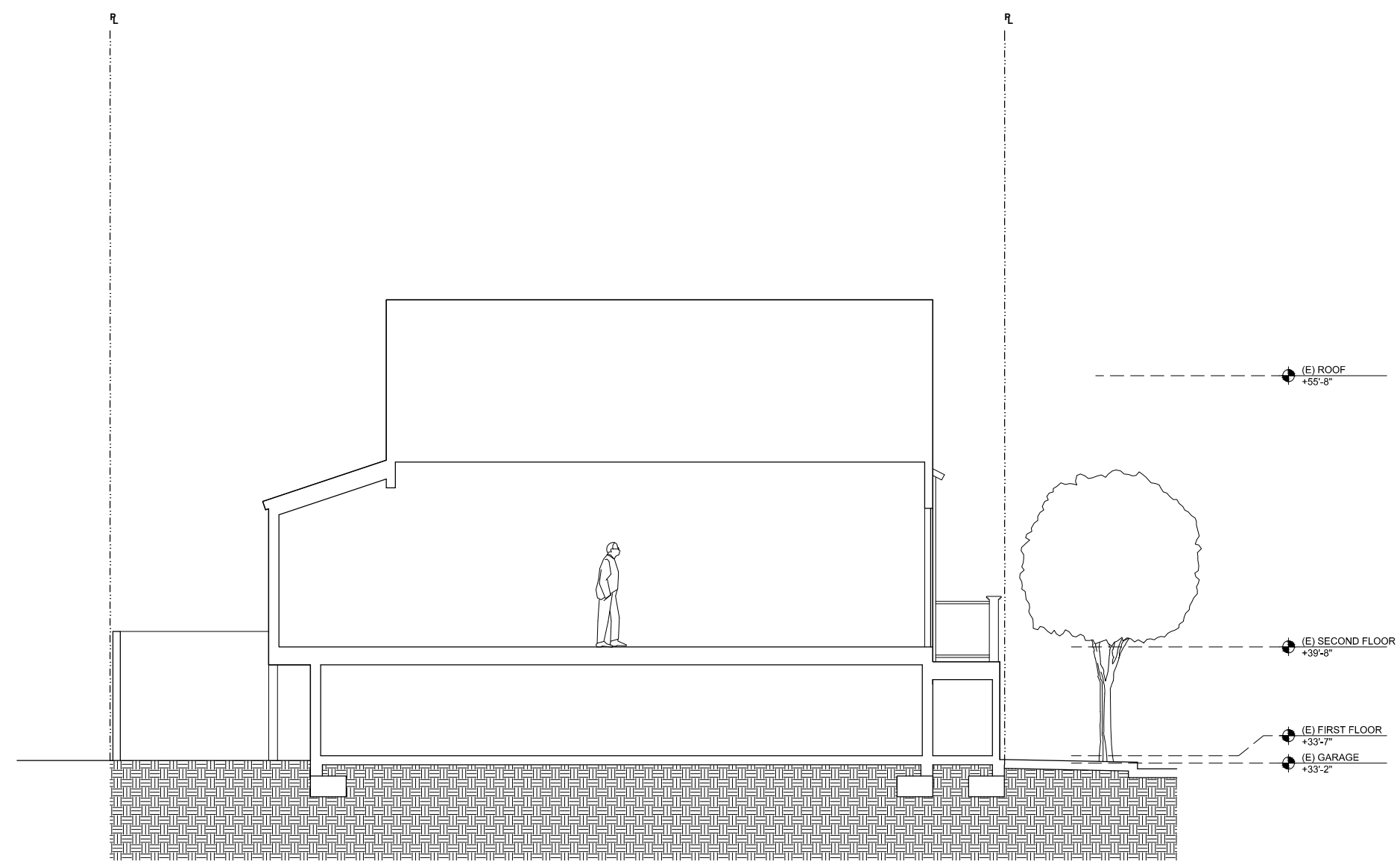
SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

01 (NEW) WEST ELEVATION
SCALE: 1/4" = 1'-0"

NO.	DATE:	SUBMISSION:
01	10/23/15	SITE PERMIT APP.
02	01/26/16	NOPDR#1 / VARIANCE
03	04/15/16	NOPDR#2

NOPDR#2

EDMONDS + LEE
ARCHITECTS, INC.
2401 Mission St., #503
San Francisco, CA 94110
T 415 . 285 . 1300
www.edmondslee.com



PROJECT:
GOLDBER RESIDENCE
253 PIXLEY STREET
SAN FRANCISCO, CA 94123
BLOCK: 0515 / LOT: 016A

DRAWING:
**BUILDING SECTION
(EXISTING)**

SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

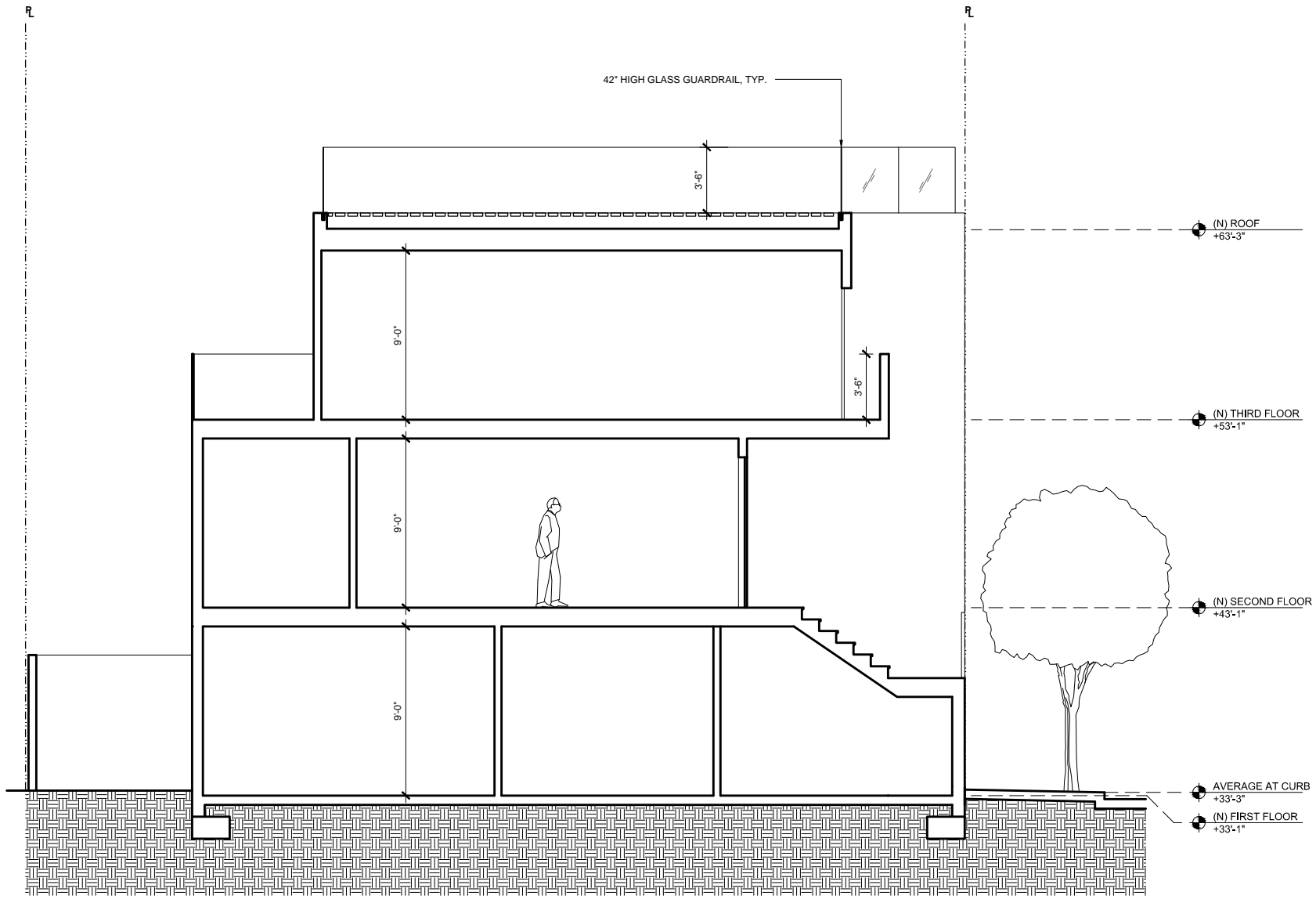
01 (EXISTING) BUILDING SECTION
SCALE: 1/4" = 1'-0"

A3.00

NO.	DATE:	SUBMISSION:
01	10/23/15	SITE PERMIT APP.
02	01/26/16	NOPDR#1 / VARIANCE
03	04/15/16	NOPDR#2

NOPDR#2

EDMONDS + LEE
 ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



PROJECT:
GOLDUBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:
BUILDING SECTION (NEW)

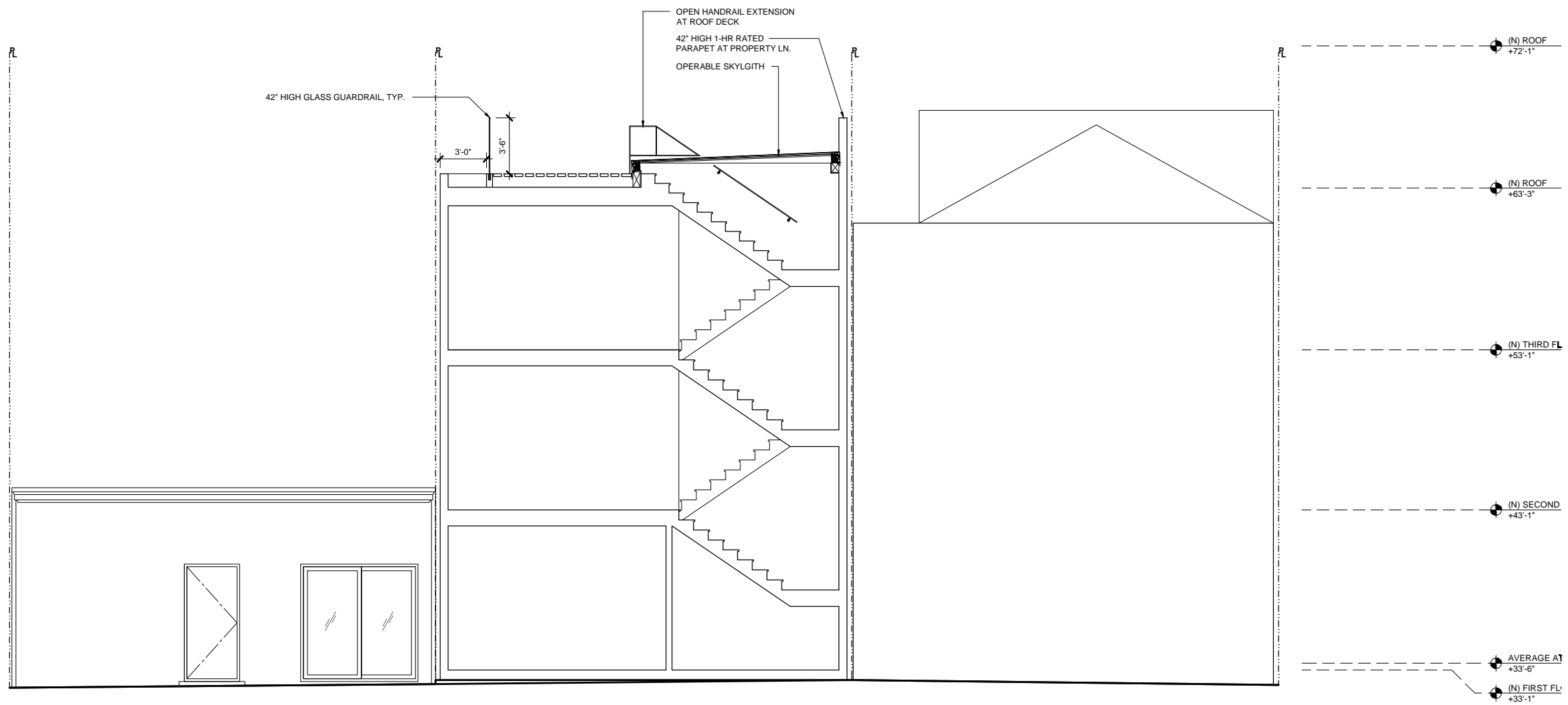
SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

01 (NEW) BUILDING SECTION
 SCALE: 1/4" = 1'-0"

NO.	DATE:	SUBMISSION:
01	10/23/15	SITE PERMIT APP.
02	01/26/16	NOPDR#1 / VARIANCE
03	04/15/16	NOPDR#2

NOPDR#2

EDMONDS + LEE
 ARCHITECTS, INC.
 2401 Mission St., #503
 San Francisco, CA 94110
 T 415 . 285 . 1300
 www.edmondslee.com



PROJECT:
GOLDBER RESIDENCE
 253 PIXLEY STREET
 SAN FRANCISCO, CA 94123
 BLOCK: 0515 / LOT: 016A

DRAWING:
BUILDING SECTION (NEW)

SCALE:	AS NOTED
DATE:	APRIL 15, 2016
JOB NO.	2015.01
DRAWN:	
CAD FILE:	

A3.20

01 (NEW) BUILDING SECTION
 SCALE: 1/4" = 1'-0"