



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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415.558.6409

Planning
Information:
415.558.6377



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2016**

Time: **Not before 9:30 AM**

Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**

Case Type: **Variance**

Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	870 Union Street	Case No.:	2015-007313VAR
Cross Street(s):	Taylor/Mason Streets	Building Permit:	2015.11.13.2622 & 2623
Block /Lot No.:	0100/085-087	Applicant:	Brian Milford
Zoning District(s):	RM-1 / 40-X	Telephone:	(415) 346-9990
Area Plan:	N/A	E-Mail:	brian@martinkovicmilford.com
PROJECT DESCRIPTION			
<p>The subject lot is a through lot with one existing residential structure at the front (fronting Union Street), containing 3 dwelling units. The project proposes a vertical and horizontal addition to said front structure (adding a fourth floor), and construction a new, 4-story residential structure in the rear of the lot (fronting Aladdin Terrace), containing 1 dwelling unit.</p> <p>SECTION 134 OF THE PLANNING CODE requires a minimum rear yard of approximately 32'-3/16" for the subject property. Because the subject lot is a through lot, the required rear yard shall be located in the central portion of the lot, between the two structures on such lot. The project proposes a new structure in the rear of the lot (fronting Aladdin Terrace) that would encroach into the required rear yard by approximately 12'-3/16"; therefore the project requires a variance.</p> <p>SECTION 135 OF THE PLANNING CODE requires useable open space be provided for each dwelling unit according to standards set forth in the Code. Two of the four units (Units #1 and #2 in the front structure) do not provide useable open space meeting the requirements of the Code; therefore the project requires a variance.</p> <p>SECTION 140 OF THE PLANNING CODE requires units to face directly on an open area as defined by Code. Two of the four units (Unit #1 in the front structure, and Unit #4 in the rear structure) do not face directly on an open area as defined by Code; therefore the project requires a variance.</p>			
ADDITIONAL INFORMATION			
<p>ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://notice.sfplanning.org/2015-007313VAR.pdf</p> <p>Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.</p>			
<p>FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:</p> <p>Planner: Nicholas Foster Telephone: (415) 575-9167 E-Mail: nicholas.foster@sfgov.org</p>			

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On 6/20/16, the Department issued the required Section 311 notification for this project (expires 7/19/16).**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

	ALIGN (SURFACES, PLANES OR OBJECTS ARE IN ALIGNMENT)
	AREA OF DETAIL
	CENTERLINE
	CENTERLINE
	DETAIL TAG DETAIL NUMBER SHEET NUMBER
	DOOR TAG
	DOOR AND HARDWARE TAG DOOR NUMBER HARDWARE NUMBER
	ELEVATION ELEVATION NUMBER ELEVATION SHEET NUMBER
	ELEVATION MARKER
	EQUIPMENT TAG
	FINISH TAG
	FIXTURE TAG
	KEYNOTE
	NORTH ARROW
	PARTITION TYPE
	REVISION CLOUD AND REVISION NUMBER. RED OR BLACK INDICATES CURRENT REVISION SET. GRAY CLOUD INDICATES PRIOR REVISION.
	OFFICE ROOM TAG ROOM NAME ROOM NUMBER
	WINDOW TAG
	ELEVATION SECTION NUMBER SHEET NUMBER

OWNER:
DANIEL MERCHANT
870 UNION STREET
SAN FRANCISCO, CA 94133
PHONE:

DESIGNER:
RIAZ INC.
2417 17TH STREET
SAN FRANCISCO, CA 94110
CONTACT: CASEY RAMIREZ
PHONE: 415.657.1775

ARCHITECT:
MARTINKOVIC MILFORD ARCHITECTS
101 MONTGOMERY STREET - SUITE 650
SAN FRANCISCO, CA 94104
CONTACT: BRIAN MILFORD
PHONE: 415.346.9990
FAX: 415.398.0116

STRUCTURAL ENGINEER:
T.B.D.

GENERAL CONTRACTOR:
T.B.D.

A map showing the project location. The map includes streets labeled FILBERT ST, MASON ST, ALADDIN TERRACE, KENT ST, UNION ST, and TANOR ST. A hatched rectangular area on Union St is labeled 'PROJECT LOCATION' with a leader line. A small black dot is located within this hatched area.

#	AND	EOP#	EQUIPMENT	O.A.	OVERALL
@	AT	(E)	EXISTING	ON CENTER	
⊕	CENTERLINE	EXT.	EXTERIOR	OFFICE	
±	PLUS OR MINUS	EXTR.	EXTRUSION	O.F.S.	OUTSIDE FACE OF STUD
⌒	PROPERTY LINE	F.A.	FIRE ALARM	P.LAM.	PLASTIC LAMINATE
Ⓟ	POUND OR NUMBER	FAU.	FORCED AIR UNIT	PLYWOOD	PLYWOOD
A.F.F.	ABOVE FINISHED FLOOR	F.E.	FIRE EXTINGUISHER	PR	PR
AL.	ALUMINUM	F.E.C.	FIRE EXTINGUISHER CABINET	P.L.F.	POUNDS PER LINEAR FOOT
ALUM.	ALUMINUM	F.H.C.	FIRE HOSE CABINET	P.S.F.	POUNDS PER SQUARE FEET
ANOD.	ANODIZED	FIN.	FINISH	PT.	POINT
APPROX.	APPROXIMATE	FL	FLOOR	PTN.	PARTITION
AS REQ.	AS REQUIRED	FLUOR.	FLUORESCENT	R.	RISER
A.F.R.	AT FINISHED ROOF				
ARCH.	ARCHITECTURAL	F.O.C.	FACE OF CONCRETE	REF.	REFERENCE
A/V	AUDIOVISUAL	F.O.F.	FACE OF FINISH	REFR.	REFRIGERATOR
BD.	BOARD	F.O.P.	FACE OF PLYWOOD	REQ.	REQUIRED
BLDG.	BUILDING	F.O.S.	FACE OF STUD	R.F.P.	REINFORCED FIBERGLASS PANEL
BLK.	BLOCK	F.R.	FIRE RETARDANT OR FIRE RATED	R.M.	ROOM
BLKG.	BLOCKING	FT	FLOOR TO FEET	R.O.	ROUGH OPENING
B.D.	BOTTOM OF	FURR.	FURRING	S.	SOUTH
BTWN.	BETWEEN	FUT.	FUTURE	S.C.D.	SEE CIVIL DRAWINGS
CAB.	CABINET	F.V.	FIELD VERIFY	SCHED.	SCHEDULE
CBC	CALIFORNIA BUILDING CODE	GA.	GAUGE	SECT.	SECTION
CCE	CALIFORNIA ELECTRICAL CODE	GALV.	GALVANIZED	S.E.D.	SEE ELECTRICAL DRAWINGS
CFC	CALIFORNIA FIRE CODE	GSM.	GALVANIZED SHEET METAL	SF	SQUARE FEET
CFC	CALIFORNIA GREEN BUILDING CODE	G.C.	GENERAL CONTRACTOR	S.I.D.	SEE INTERIOR DRAWINGS
CLG.	CEILING	GEN.	GENERAL	SIM	SIMILAR
CLKG.	CAULKING	GNB	GYPSUM WALL BOARD	S.M.D.	SEE MECHANICAL DRAWINGS
CLOS.	CLOSET	GYP.	GYPSUM	SPEC.	SPECIFICATION
CLR.	CLEAR	H.B.	HOBSEBIE	SQ.	SQUARE
C.M.C.	CALIFORNIA MECHANICAL CODE	H.C.	HANDICAPPED	S.S.D.	SEE STRUCTURAL DRAWINGS
CMU	CONCRETE MASONRY UNIT	H.M.	HOLLOW METAL	S.S.	STAINLESS STEEL
C.O.	CLEANOUT	HORIZ.	HORIZONTAL	STD.	STANDARD
COL.	COLUMN	HR	HOOR	STL.	STEEL
CONC.	CONCRETE	HT.	HEIGHT	STR.	STORAGE
CONN.	CONNECTION	H.W.D.	HOT WATER DISPENSER	STRUCT.	STRUCTURAL
CONSTR.	CONSTRUCTION	H.W.H.	HOT WATER HEATER	T.	TREAD
CONT.	CONTINUOUS	INSUL.	INSULATION	TCA	TILE COUNCIL OF AMERICA
CORR.	CORRIDOR	INT.	INTERIOR	T.B.D.	TO BE DETERMINED
CPC	CALIFORNIA PLUMBING CODE	JAN.	JANITOR	T&G	TONGUE AND GROOVE
CRC	CALIFORNIA RESIDENTIAL CODE	J.C.	JANITOR'S CLOSET	TEMP.	TEMPERATURE
CTR.	CENTER	J.T.	JOINT	TEL.	TELEPHONE
CTSK.	COUNTERSUNK	KIT.	KITCHEN	THK.	THICK
DBL.	DOUBLE	LAM.	LAMINATE	T.O.	TOP OF
DEPT.	DEPARTMENT	LAV.	LAVATORY	T.O.S.	TOP OF SLAB
DET.	DETAIL	MAX	MAXIMUM	T.O.W.	TOP OF WALL
D.F.	DRINKING FOUNTAIN	MDF	MEDIUM DENSITY FIBERBOARD	TYP	TYPICAL
DIS. OR Ø	DIAMETER	MECH.	MECHANICAL	U.L.	UNDERWRITERS LABORATORY
DIM.	DIMENSION	MEMB.	MEMBRANE	U.B.N.	UNLESS OTHERWISE NOTED
DIA.	DIAMETER	METAL	METAL	UTIL.	UTILITY
D.N.	DOWN	MEZZ.	MEZZANINE	VAR.	VARIES
D.O.	DOOR OPENING	MFR.	MANUFACTURER	V.C.T.	VINYL COMPOSITION TILE
DR.	DOOR	MIN.	MINIMUM	VERT.	VERTICAL
DS	DOWNSPOUT	MISC.	MISCELLANEOUS	V.I.F.	VERIFY IN FIELD
DWG.	DRAWING	M.O.	MASONRY OPENING	VOL.	VOLUME
DWR.	DRAWER	MTD.	MOUNTED	W	WEST OR WIDTH
E.	EAST	MTG.	MOUNTING	W/	WITH
E.A.	EACH	MUL.	MULLION	W.C.	WATER CLOSET
E.J.	EXPANSION JOINT	(N)	NEW	W.D.	WOOD
ELEC.	ELECTRICAL	N.	NORTH	W.O.	WITHOUT
EMER.	EMERGENCY	N.I.C.	NOT IN CONTRACT	WO	WOOD
ENGR.	ENGINEER	NO.	NUMBER	WP	WATERPROOF
E.P.	ELECTRICAL PANEL BOARD	NOM.	NOMINAL	WT.	WEIGHT
EQ.	EQUAL	N.T.S.	NOT TO SCALE	YD.	YARD

ADDRESS: 870 UNION STREET
SAN FRANCISCO, CA 94133

BLOCK / LOT: 0100/020

YEAR BUILT: 1909

STORIES: EXISTING 3 STORIES
PROPOSED 4 STORIES

ZONING: RM-1

HEIGHT & BULK DISTRICT: 40-X

CONSTRUCTION TYPE: BUILDING A : V-A
BUILDING B: V-B

FULLY SPRINKLERED: BUILDING A: (E) NO
FULLY SPRINKLERED: BUILDING A & B: (PROPOSED) YES

OCCUPANCY TYPE: BUILDING A: R-2 (3 UNITS)
BUILDING B: R-3 (1 UNIT)

LOT AREA: 3,315 SF

EXISTING USE: BUILDING A: THREE-FAMILY RESIDENTIAL DWELLING

PROPOSED USE: BUILDING A: THREE-FAMILY RESIDENTIAL DWELLING
BUILDING B: SINGLE-FAMILY RESIDENTIAL DWELLING

AREA OF WORK: ±8,229 S.F.

SCOPE OF WORK INCLUDES THE DEMOLITION OF EXISTING WALLS, WINDOWS, DOORS, FINISHES AND FIXTURES. SCOPE TO INCLUDE LOWERING TOP 2 FLOORS OF (E) STRUCTURE TO ACCOMMODATE (N) WORK ON ROOF, CONSTRUCTION OF NEW WALLS, DOORS, FINISHES AND FIXTURES. CONSTRUCTION AT EXISTING BUILDING WITH AN ADDITIONAL 4TH FLOOR AND DECKS. CONSTRUCTION OF REAR ADDITION AT ALL THREE FLOORS WITH COURTYARD ON GROUND FLOOR. EXTERIOR WORK INCLUDES NEW WINDOW, DOOR, AND FINISHES. CONSTRUCTION OF (N) REAR YARD STRUCTURE FACING ALADDIN TERRACE.

SCOPE OF WORK TO INCLUDE A FULLY AUTOMATIC SPRINKLER SYSTEM. NFPA STANDARD SYSTEM TYPE TO BE DETERMINED BY SFFD.

DEFERRED SUBMITTALS (DESIGN/BUILD) MAY INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:	
MECHANICAL	ELECTRICAL
PLUMBING	FIRE SPRINKLER
LIFE SAFETY	CIVIL ENGINEERING
LANDSCAPING	STRUCTURAL
SHORING AND/OR UNDERPINNING	TITLE 24
FIRE ALARM AND/OR LIFE SAFETY	

[illegible]

2013 CALIFORNIA BUILDING CODE	
2013 CALIFORNIA ELECTRICAL CODE	
2013 CALIFORNIA MECHANICAL CODE	
2013 CALIFORNIA PLUMBING CODE	
2013 CALIFORNIA FIRE CODE	
2013 CALIFORNIA ENERGY CODE	
2013 CALIFORNIA BUILDING & ENERGY EFFICIENCY STANDARDS	
2013 CALIFORNIA GREEN BUILDING CODE	
2013 SAN FRANCISCO BUILDING CODE AMENDMENTS	
2013 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS	
2013 SAN FRANCISCO MECHANICAL CODE AMENDMENTS	
2013 SAN FRANCISCO PLUMBING CODE AMENDMENTS	
2013 SAN FRANCISCO FIRE CODE AMENDMENTS	
2013 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS	
2013 SAN FRANCISCO HOUSING CODE AMENDMENTS	

EXISTING BUILDING A:
UNIT 1 EXISTING : 345 SF
UNIT 1 PROPOSED: 350 SF
UNIT 2 EXISTING : 1,141 SF
UNIT 2 PROPOSED: 1,316 SF
UNIT 3 EXISTING : 1,259 SF
UNIT 3 PROPOSED: 2,704 SF
EXISTING COMMON AREAS AND COMMON STAIRS: 926 SF
PROPOSED COMMON AREAS AND COMMON STAIRS: 746 SF

PROPOSED BUILDING B:
UNIT 4 EXISTING: N/A
UNIT 4 PROPOSED: 2,877 SF
EXISTING GARAGE AND CORRIDORS: N/A
PROPOSED GARAGE AND CORRIDORS: 669 SF

TOTAL EXISTING (FRONT STRUCTURE) BUILDING AREA: 3,671 SF
TOTAL PROPOSED (FRONT STRUCTURE) BUILDING AREA: 5,173 SF
TOTAL EXISTING (REAR STRUCTURE) BUILDING AREA: 0 SF
TOTAL PROPOSED (REAR STRUCTURE) BUILDING AREA: 3,546 SF

EXISTING BUILDING A:
UNIT 1 EXISTING BEDROOMS: 1
UNIT 1 PROPOSED BEDROOMS: 1
UNIT 2 EXISTING BEDROOMS: 2
UNIT 2 PROPOSED BEDROOMS: 1
UNIT 3 EXISTING BEDROOMS: 2
UNIT 3 PROPOSED BEDROOMS: 2

PROPOSED BUILDING B:
UNIT 4 EXISTING BEDROOMS: N/A
UNIT 4 PROPOSED BEDROOMS: 3

TOTAL EXISTING BEDROOMS: 5
TOTAL PROPOSED BEDROOMS: 7

UNION STREET

25'-0" (E) LOT DEPTH

AREA OF WORK, SEE SITE PLANS A002A & A002B

128'-0" (E) LOT DEPTH

PROPERTY LINE

870 UNION ST (E) 3 STORY

(E) EXTERIOR DECK (AT 2ND FLOOR)

DN

(E) REAR YARD

PROPERTY LINE

ALADDIN TERRACE

[illegible]

870 UNION STREET,
SAN FRANCISCO, CA 94133

101 Montgomery Street Suite 650
San Francisco, CA 94104
T 415 346 9990

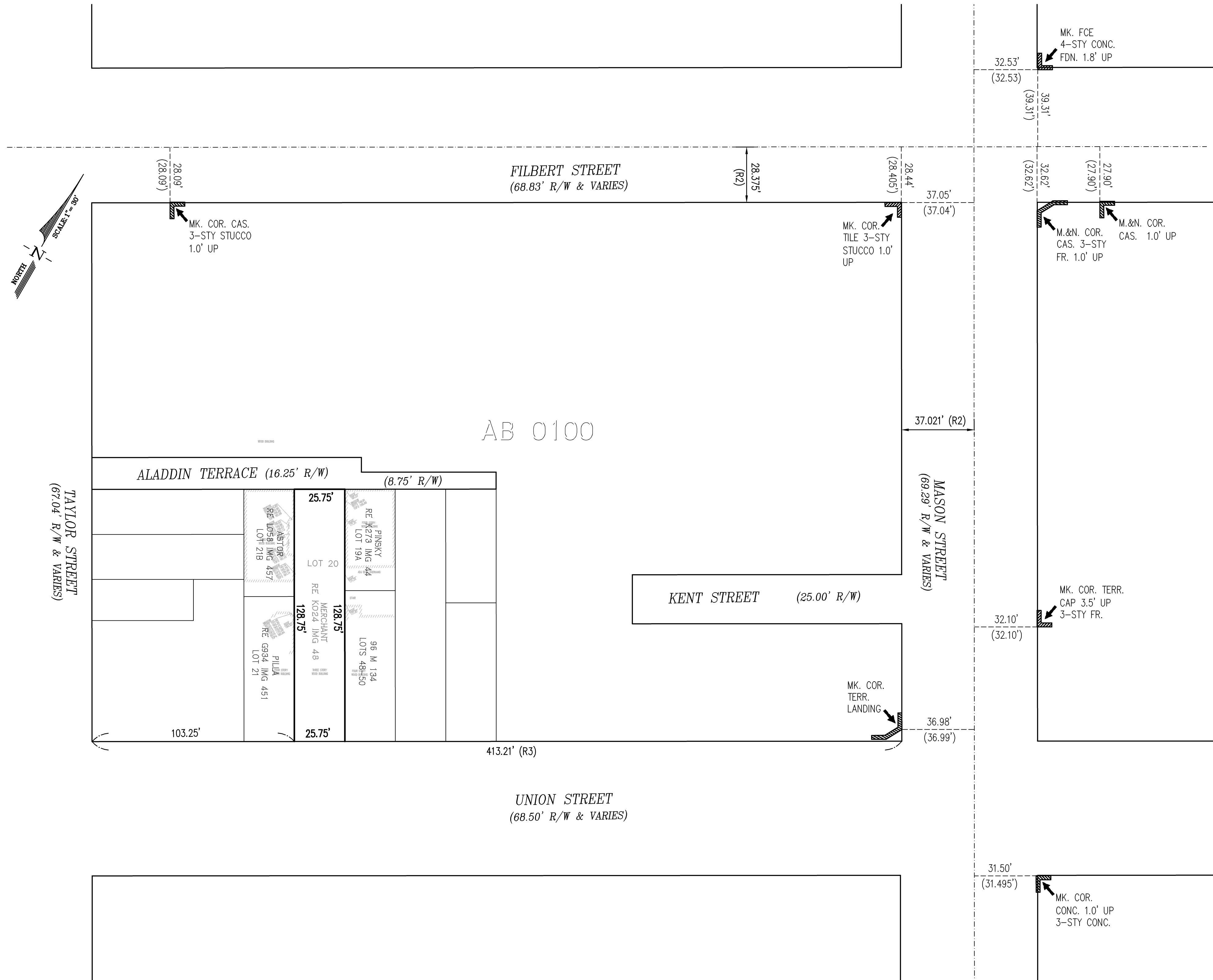


PRE-APP MEETING	10.13.2015
SITE PERMIT SET	11.13.2015
SITE PERMIT SET REV.	04.27.2016
SITE PERMIT SET REV. 2	05.26.2016
SITE PERMIT SET REV. 3	06.10.2016

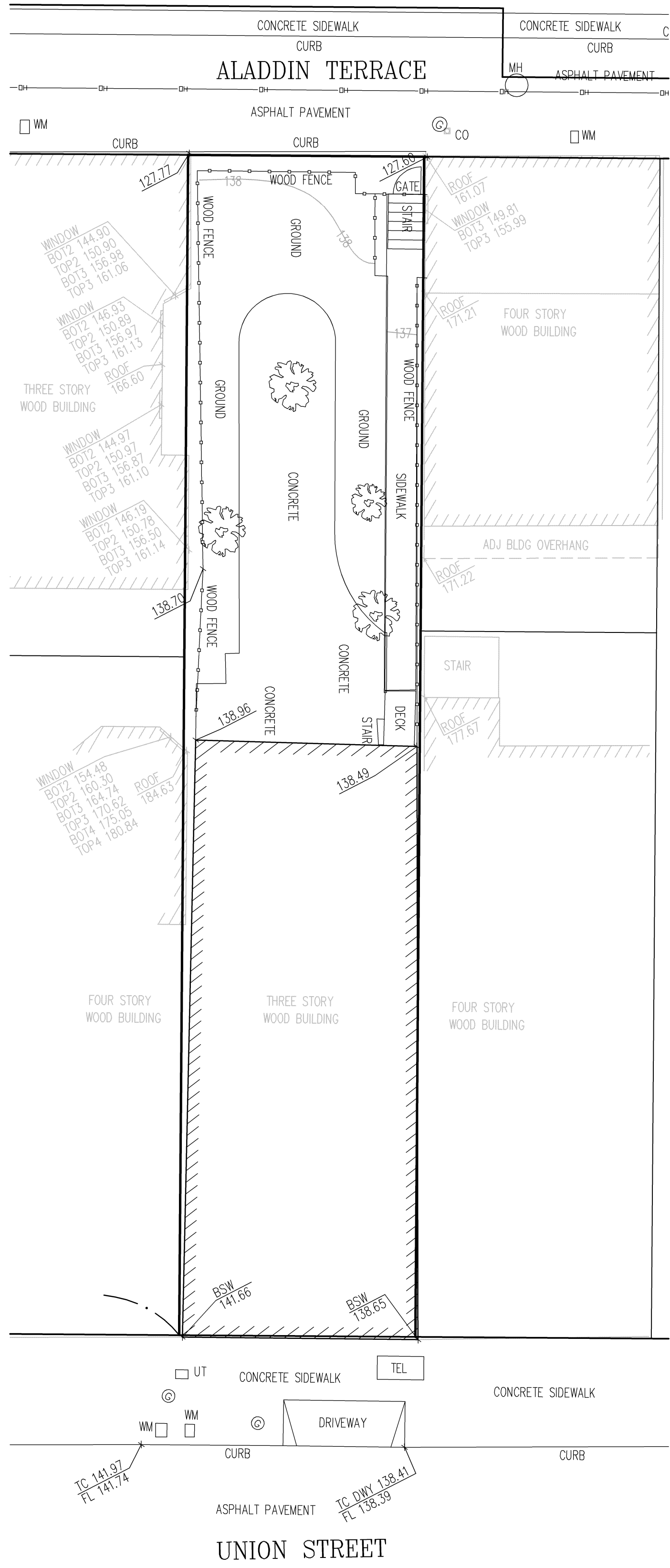
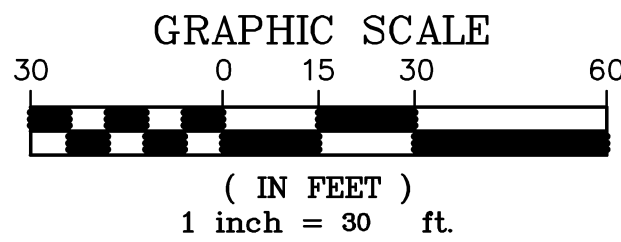
REVISION 3	
Drawn By:	S.A.
Checked By :	B.M.
Project Number:	1554.1

SHEET NUMBER

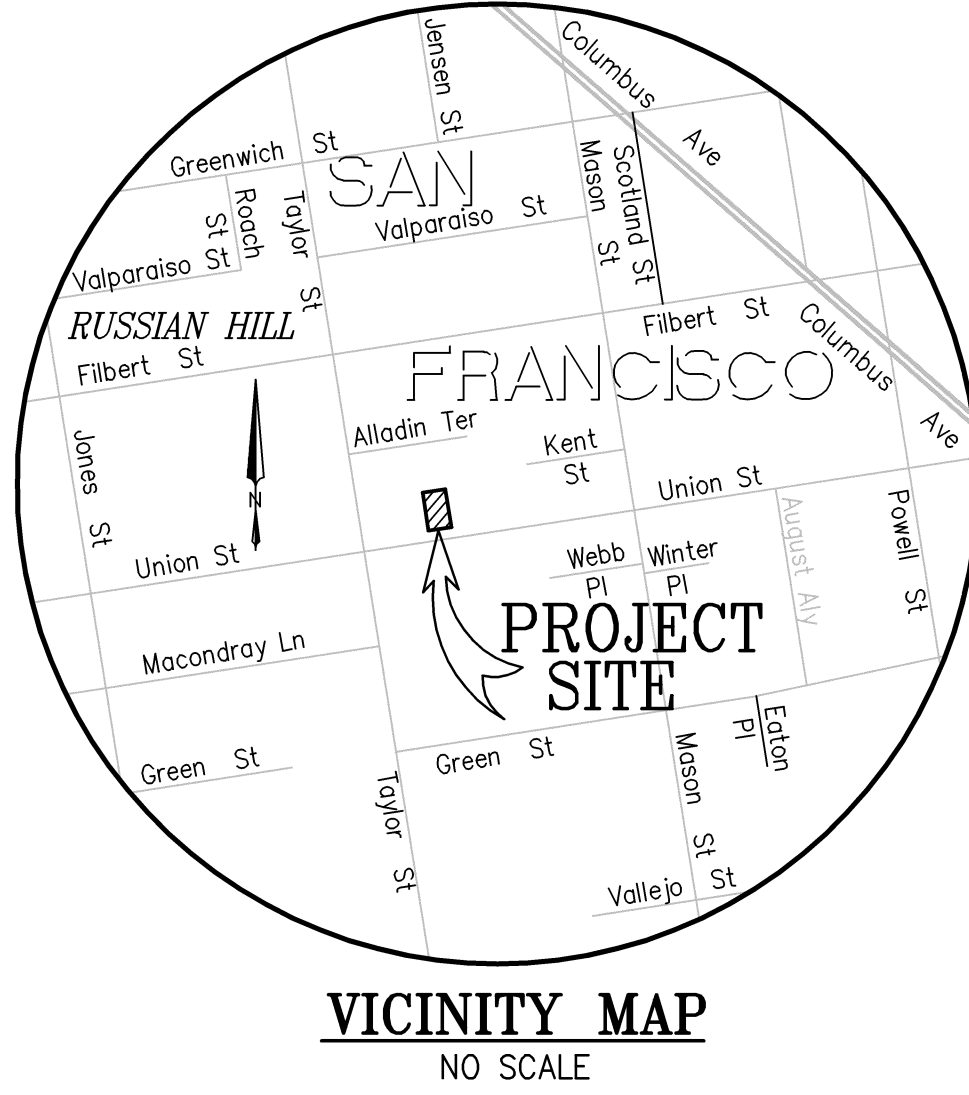
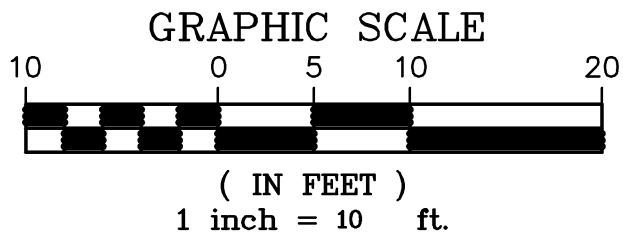
A001



BOUNDARY SURVEY
SCALE: 1"=30'



TOPOGRAPHIC SURVEY
SCALE: 1"=10'



VICINITY MAP
NO SCALE

GENERAL NOTES:

- OWNER/DEVELOPER: DANIEL MERCHANT
872 UNION STREET
SAN FRANCISCO, CA 94123
(310) 422-3931
- ENGINEER/SURVEYOR: LUK AND ASSOCIATES
738 ALFRED NOBEL DRIVE
HERCULES, CA 94547
JACKIE LUK PLS 8934
(510) 724-3388
- ASSESSOR'S PARCEL NO.: BLOCK 100 LOT 20
- PROPERTY ADDRESS: 870, 872 & 872A UNION STREET, SAN FRANCISCO, CA 94123
- LOT AREA: 3315 S.F.± (0.08 ACRE±)
- EASEMENTS AND/OR RIGHTS OF WAY ARE SHOWN HEREON PER THE "PTR". OTHER EASEMENTS AND/OR RIGHTS OF WAY OF RECORD, IF ANY, ARE NOT SHOWN HEREON.
- THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
- ALL ANGLES ARE 90°UNLESS OTHERWISE NOTED.
- CONTOUR INTERVAL: 1 FOOT
- NUMBER OF RESIDENTIAL UNITS: 3



RECORD REFERENCES

- (R1) GRANT DEED RECORDED NOVEMBER 20, 2009 ON REEL K024 AT IMAGE 0048, DOCUMENT NUMBER 2009-1875013-00, ON FILE IN THE OFFICE OF THE RECORDER OF THE CITY AND COUNTY OF SAN FRANCISCO.
- (R2) MONUMENT MAP NO. 8 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.
- (R3) BLOCK DIAGRAM OF 50 VARA BLOCK 181 ON FILE IN THE OFFICE OF THE CITY AND COUNTY SURVEYOR.

BENCHMARK

BENCHMARK AS SHOWN ON THE CITY OF SAN FRANCISCO BENCHMARK BOX 1, BOOK 421 AT PAGE 41, BEING A CUT CROSS ON THE WEST SIDE OF THE LOWER TERRAZZO STEP, 23 FEET WEST OF THE NORTHWEST CORNER AT THE INTERSECTION OF TAYLOR STREET AND UNION STREET, ELEVATION = 157.724 FEET, CITY AND COUNTY OF SAN FRANCISCO DATUM.

LEGEND

SYMBOLS	DESCRIPTION	SYMBOLS	DESCRIPTION
---	BOUNDARY - SUBJECT PROPERTY	WM	WATER METER
---	RIGHT-OF-WAY LINE	TEL	TELEPHONE BOX
---	ADJOINER'S PROPERTY LINE	UT	UTILITIES BOX
---	MONUMENT LINE	CO	CLEAN OUT
---	BUILDING LINE	UP	JOINT POLE
●	FOUND MONUMENT AS NOTED	MH	MANHOLE
(T)	TOTAL	WV	WATER VALVE
DOC. NO.	DOCUMENT NUMBER	GV	GAS VALVE
TFC	TOP FACE OF CURB ELEVATION	OH	OVERHEAD POWER LINE
X 141.97	FLOW LINE ELEVATION	WF	WOOD FENCE
FL 141.74		CL	CONTOUR LINE
AC	ASPHALT CONCRETE	OR	OFFICIAL RECORD
BLDG	BUILDING	R1	RECORD REFERENCE
BSW	BACK OF SIDEWALK	(266.81')	RECORD DISTANCE
CONC	CONCRETE	8	LOT NUMBER
GB	GRADE BREAK	IMG	IMAGE
GRD	GROUND	R/W	RIGHT OF WAY
TRW	TREEWELL	APN	ASSESSOR'S PARCEL NUMBER
TFC	TOP FACE OF CURB	PTR	PRELIMINARY TITLE REPORT
TW	TOP FACE OF WALL	RE	REEL
DWY	DRIVEWAY	PGS	PAGES

**TENTATIVE
PARCEL MAP**
A RESIDENTIAL 3 UNIT CONDOMINIUM PROJECT
870, 872, AND 872A UNION STREET

BEING A SUBDIVISION OF THAT CERTAIN REAL PROPERTY AS DESCRIBED IN THAT CERTAIN GRANT DEED RECORDED NOVEMBER 20, 2009, AS REEL K024, IMAGE 0048 OF OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO. ALSO BEING A SUBDIVISION OF LOT 20, ASSESSOR'S BLOCK 0100. ALSO BEING A PART OF 50 VARA BLOCK NO. 181.

CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA
SCALE: AS SHOWN APRIL 2015

PREPARED BY
LUK & ASSOCIATES
CIVIL ENGINEERS - LAND PLANNERS - LAND SURVEYORS
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547
(510) 724-3388

870 Union Street
Residence Addition
and Remodel

870 UNION STREET,
SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650
San Francisco, CA 94104
T 415 346 9990



RECORD OF DRAWING ISSUANCE		
PRE-APP MEETING		10.13.2015
SITE PERMIT SET		11.13.2015
SITE PERMIT SET REV.	⚠	04.27.2016
SITE PERMIT SET REV. 2	⚠	05.26.2016
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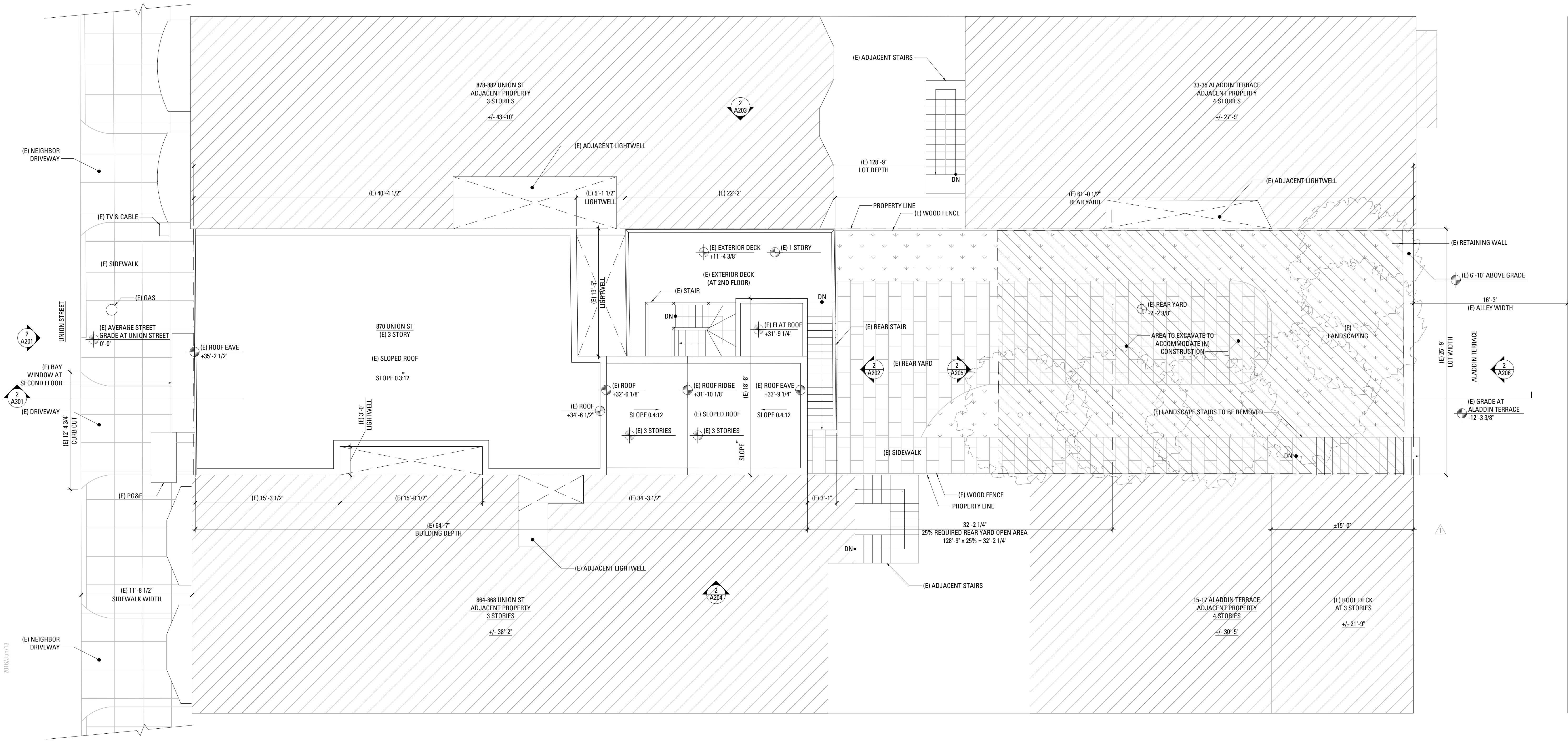
SITE PERMIT SET
REVISION 3

Drawn By:	S.A.
Checked By:	B.M.
Project Number:	1554.1

Existing Site Plan

SHEET NUMBER

A002A



2016/Jun/13

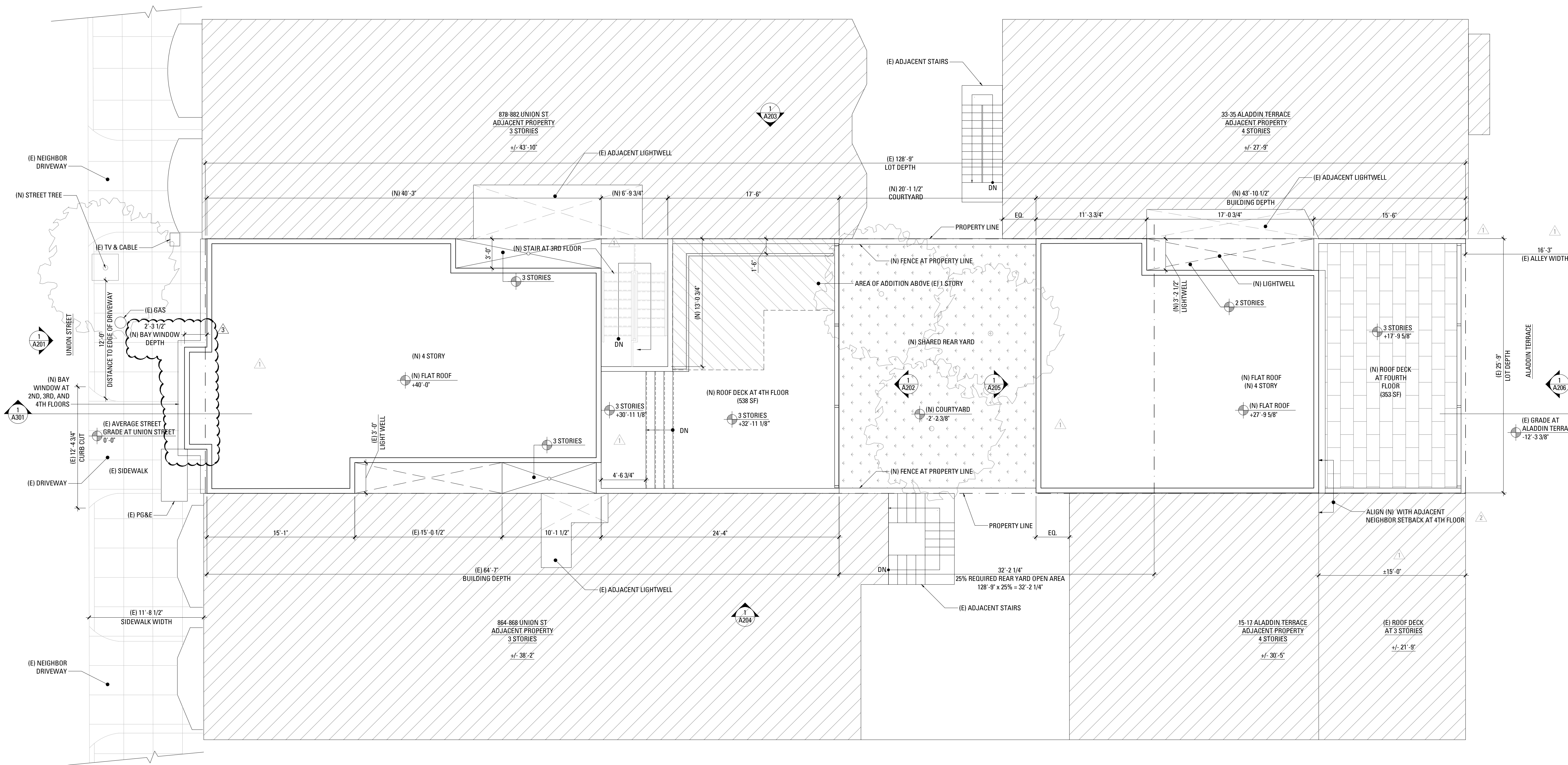
A002A-SITE PLANNING

870 UNION STREET,
SAN FRANCISCO, CA 94133

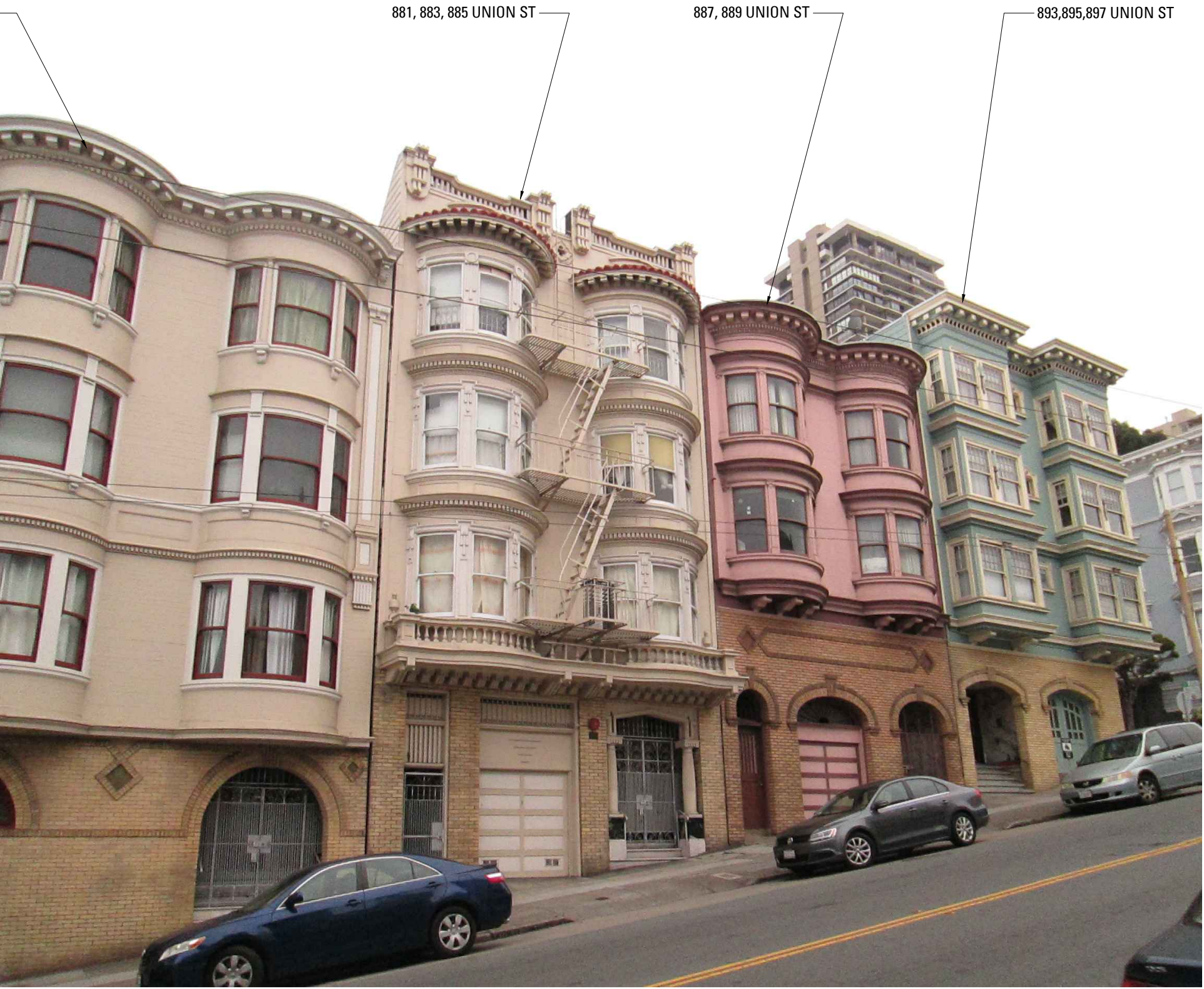
101 Montgomery Street Suite 650
San Francisco, CA 94104
T 415 346 9990



A002B



SCALE: 3/16" = 1'-0"



2 SOUTH SIDE OF UNION STREET (ACROSS THE STREET FROM SUBJECT PROPERTY)
SCALE: NTS



1 NORTH SIDE OF UNION STREET (SUBJECT PROPERTY)
SCALE: NTS

870 Union Street
Residence Addition
and Remodel

870 UNION STREET,
SAN FRANCISCO, CA 94133

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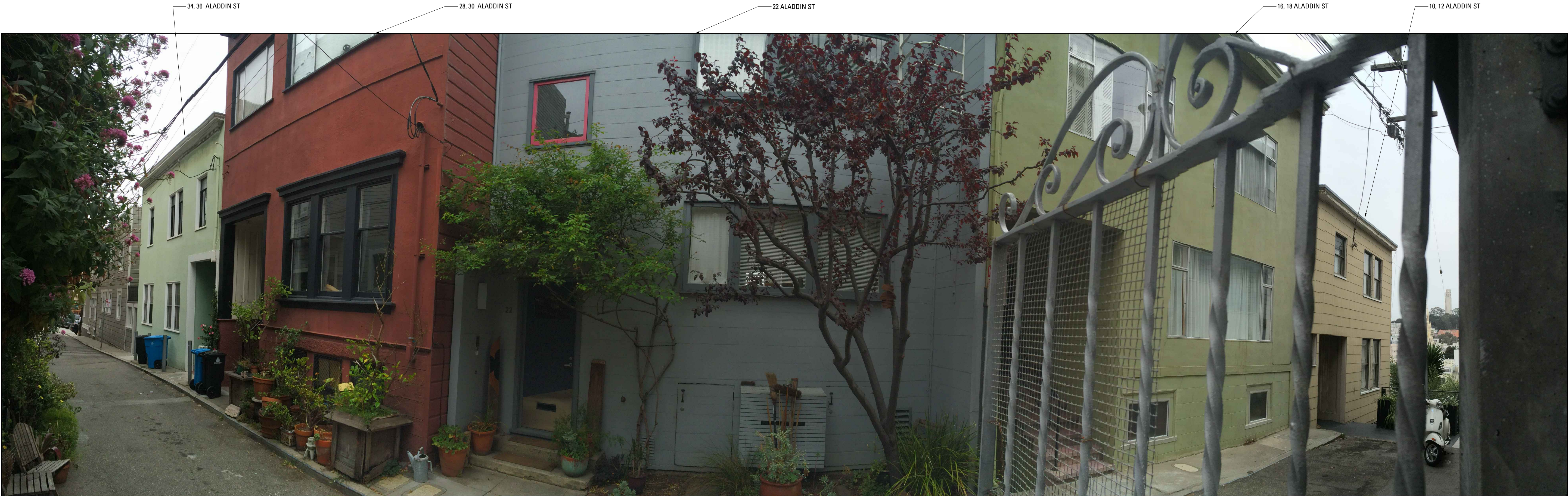
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SITE PERMIT SET REV. 3	06.10.2016

SITE PERMIT SET REVISION 3	
Drawn By:	S.A.
Checked By:	B.M.
Project Number:	1554.1

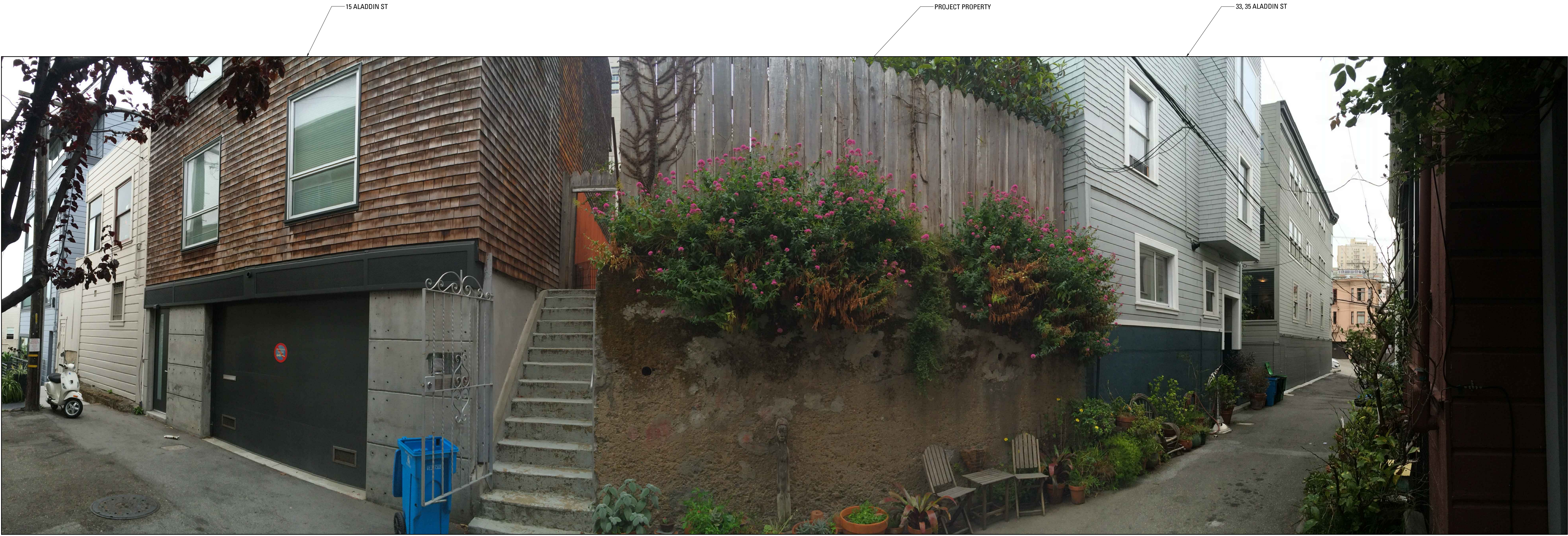
Existing Photographs

SHEET NUMBER

A003A



2 NORTH SIDE OF ALADDIN STREET (ACROSS THE STREET FROM SUBJECT PROPERTY)
SCALE: NTS



1 SOUTH SIDE OF ALADDIN STREET (SUBJECT PROPERTY)
SCALE: NTS

870 Union Street
Residence Addition
and Remodel

870 UNION STREET,
SAN FRANCISCO, CA 94133

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RECORD OF DRAWING ISSUANCE

PRE-APP MEETING	10.13.2015
SITE PERMIT SET	11.13.2015
SITE PERMIT SET REV.	04.27.2016
SITE PERMIT SET REV. 2	05.26.2016
SITE PERMIT SET REV. 3	06.10.2016

SITE PERMIT SET
REVISION 3

Drawn By:	S.A.
Checked By:	B.M.
Project Number:	1554.1

Existing Photographs

SHEET NUMBER

A003B

870 Union Street
Residence Addition
and Remodel

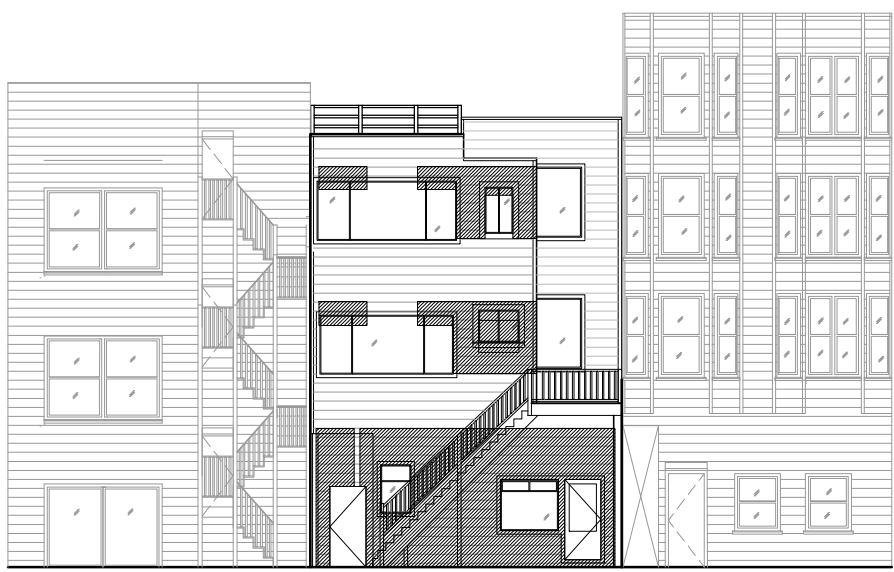
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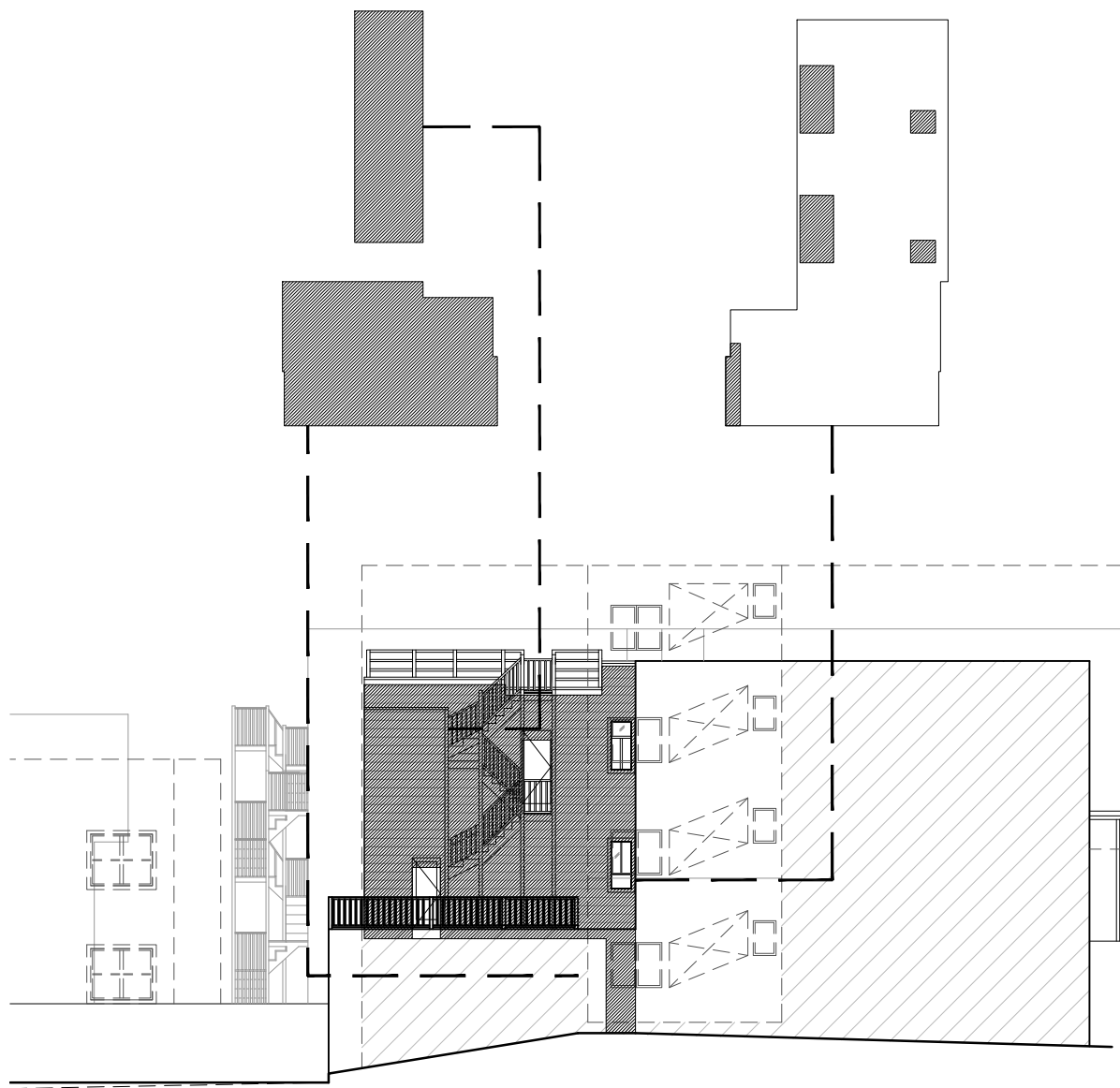
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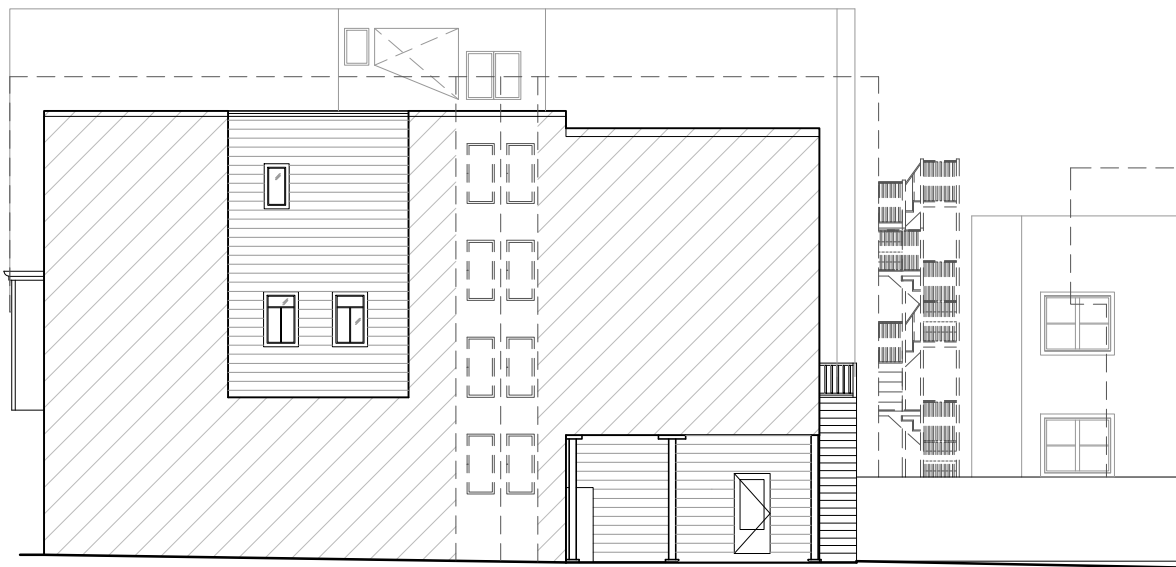
FRONT (SOUTH) ELEVATION
853 SF EXISTING
214 SF REMOVED



REAR (NORTH) ELEVATION
746 SF EXISTING
316 SF REMOVED



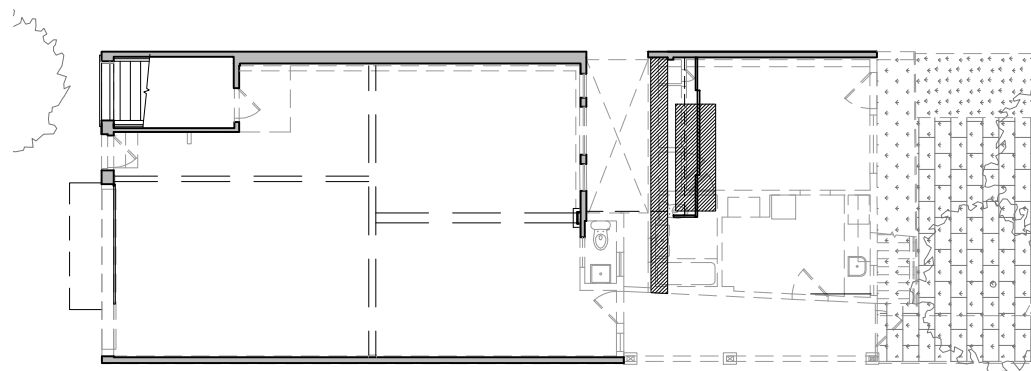
WEST SIDE ELEVATION
3033 SF EXISTING
928 SF REMOVED



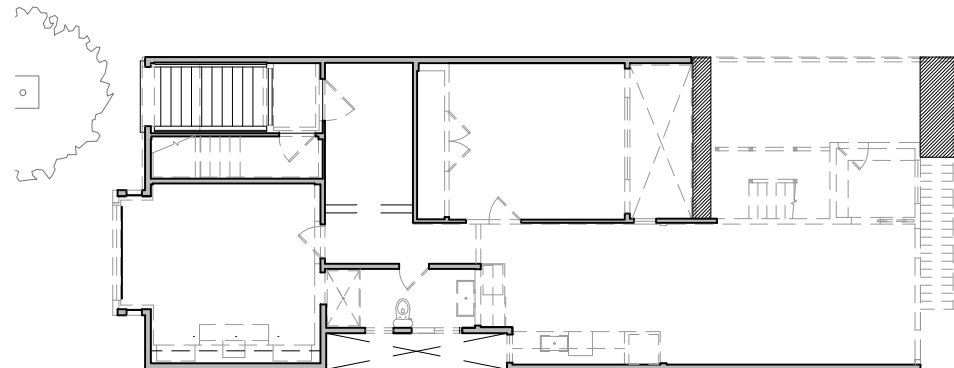
EAST SIDE ELEVATION
2494 SF EXISTING
0 SF REMOVED

NOTE: SHADED AREA INDICATES
VERTICAL SURFACE AREA TO BE
REMOVED

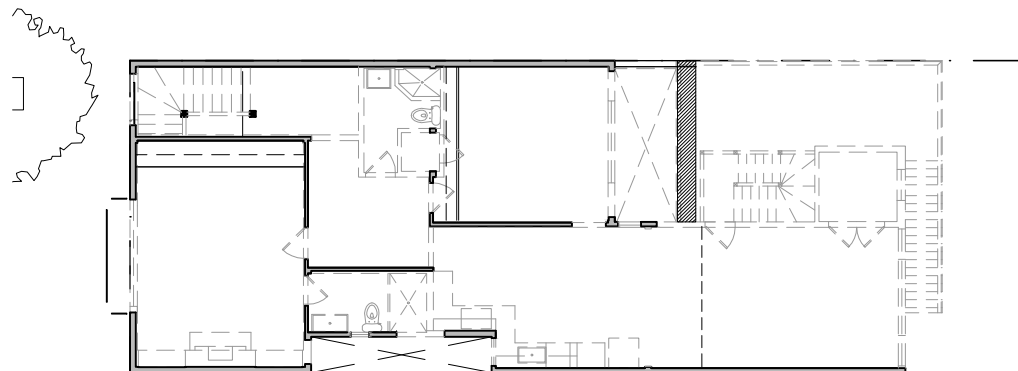
4 VERTICAL AREA CALCULATIONS
SCALE: N.T.S.



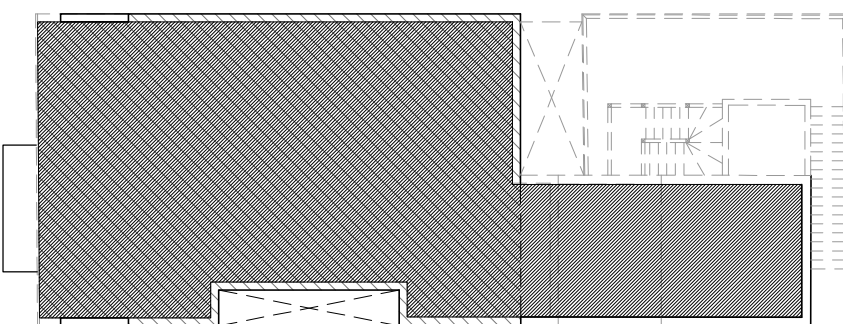
FIRST FLOOR
EXISTING HORIZONTAL AREA: 1494 SF
REMOVED HORIZONTAL AREA: 58 SF



SECOND FLOOR
EXISTING HORIZONTAL AREA: 1515 SF
REMOVED HORIZONTAL AREA: 45 SF



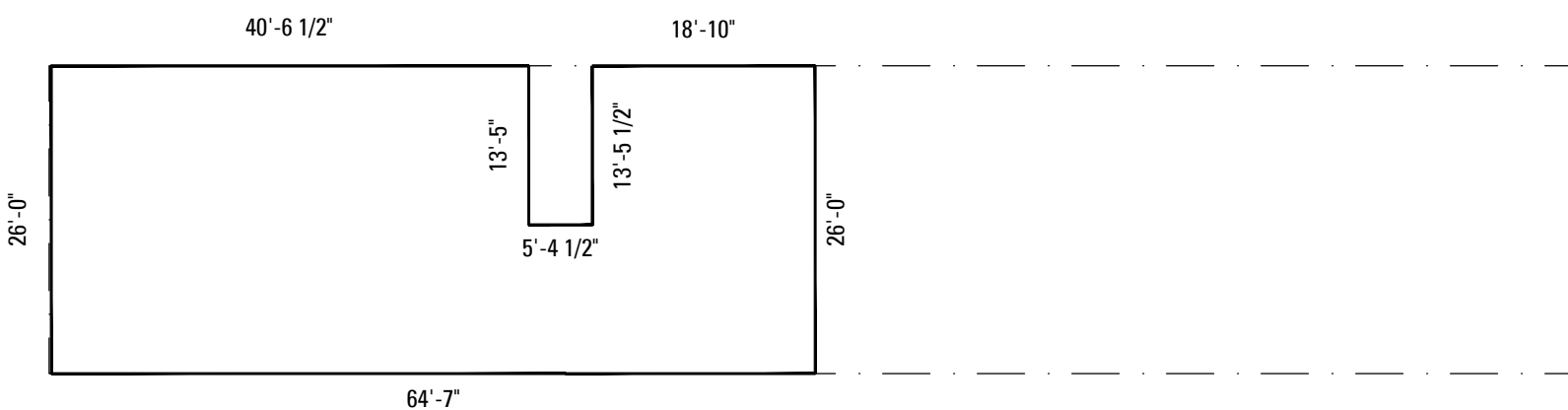
THIRD FLOOR
EXISTING HORIZONTAL AREA: 1298 SF
REMOVED HORIZONTAL AREA: 20 SF



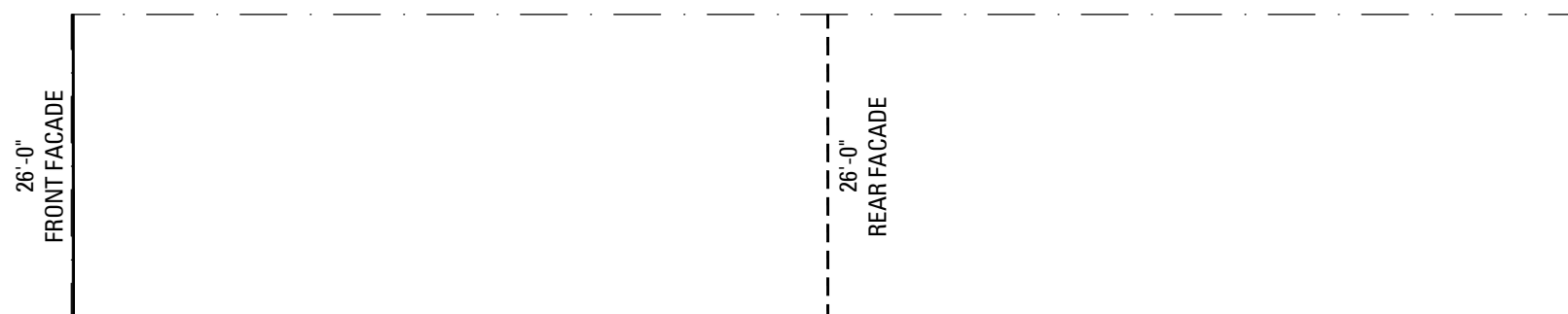
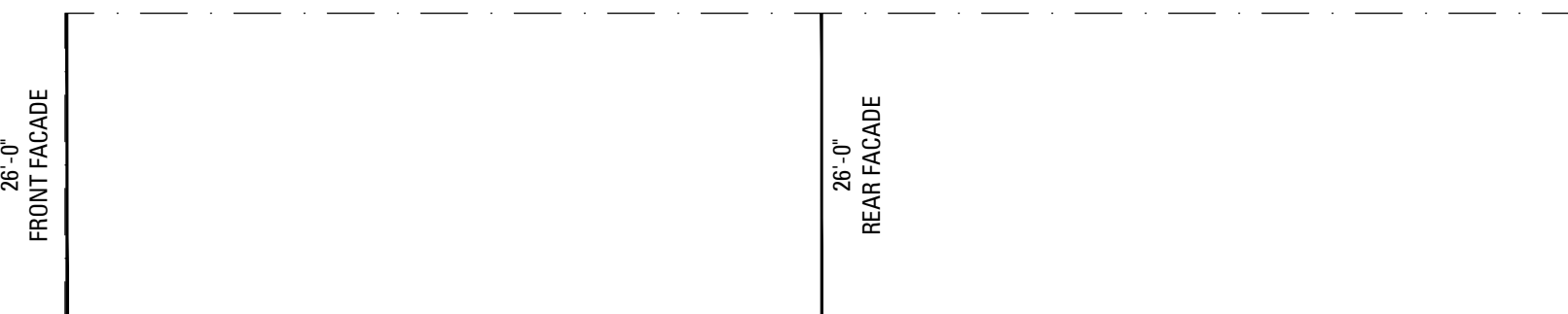
ROOF PLAN
EXISTING HORIZONTAL AREA: 1306 SF
REMOVED HORIZONTAL AREA: 1191 SF

NOTE: SHADED AREA INDICATES
HORIZONTAL SURFACE AREA TO
BE REMOVED

3 HORIZONTAL AREA CALCULATIONS
SCALE: N.T.S.



TOTAL EXISTING PERIMETER = 208'-2 1/2"



DASHED LINE INDICATES LINEAR
DIMENSION OF WALL TO BE REMOVED

2 PERIMETER WALLS - LINEAR FEET
SCALE: N.T.S.

1 FRONT AND REAR - LINEAR FEET
SCALE: N.T.S.

SECTION 317 (B) DEMOLITION CALCULATIONS - METHOD 2

VERTICAL AREA CALCULATIONS. SEE DRAWINGS 4/A003

ABOVE GRADE VERTICAL ELEMENTS IN SQUARE FEET	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	PERCENT BY CODE	COMPLIES?
FRONT (SOUTH) ELEVATION	853	214	--	--	--
WEST SIDE ELEVATION	3033	928	--	--	--
REAR (NORTH) ELEVATION	746	316	--	--	--
EAST SIDE ELEVATION	2494	0	--	--	--
TOTAL	7126	1458	20.6 %	50 %	YES

HORIZONTAL AREA CALCULATIONS. SEE DRAWING 3/A003

HORIZONTAL ELEMENTS IN SQUARE FEET	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	PERCENT BY CODE	COMPLIES?
FIRST FLOOR	1494	58	--	--	--
SECOND FLOOR	1515	45	--	--	--
THIRD FLOOR	1298	20	--	--	--
ROOF ABOVE THIRD FLOOR	1306	1191	--	--	--
TOTAL	5913	1314	22 %	50 %	YES

METHOD 2 COMPLIANCE

RECORD OF DRAWING ISSUANCE

PRE-APP MEETING	10.13.2015
SITE PERMIT SET	11.13.2015
SITE PERMIT SET REV.	04.27.2016
SITE PERMIT SET REV. 2	05.26.2016
SITE PERMIT SET REV. 3	06.10.2016

SECTION 317 (B) DEMOLITION CALCULATIONS - METHOD 1

FRONT AND REAR FACADE CALCULATIONS. SEE DRAWING 1/A003

SUM OF FRONT AND REAR FACADES MEASURED IN LINEAL FEET	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	PERCENT BY CODE	COMPLIES?
FRONT FACADE	26	0	--	--	--
REAR FACADE	26	26	--	--	--
TOTAL	52	26	50 %	50.00 %	YES

PERIMETER WALL CALCULATIONS. SEE DRAWING 2/A002

SUM OF EXTERIOR WALLS MEASURED AT FOUNDATION LEVEL	EXISTING	PROPOSED REMOVAL	PERCENT REMOVAL	PERCENT BY CODE	COMPLIES?
PERIMETER	208'-2 1/2"	65'-11"	31.66 %	65.00 %	YES

METHOD 1 COMPLIANCE

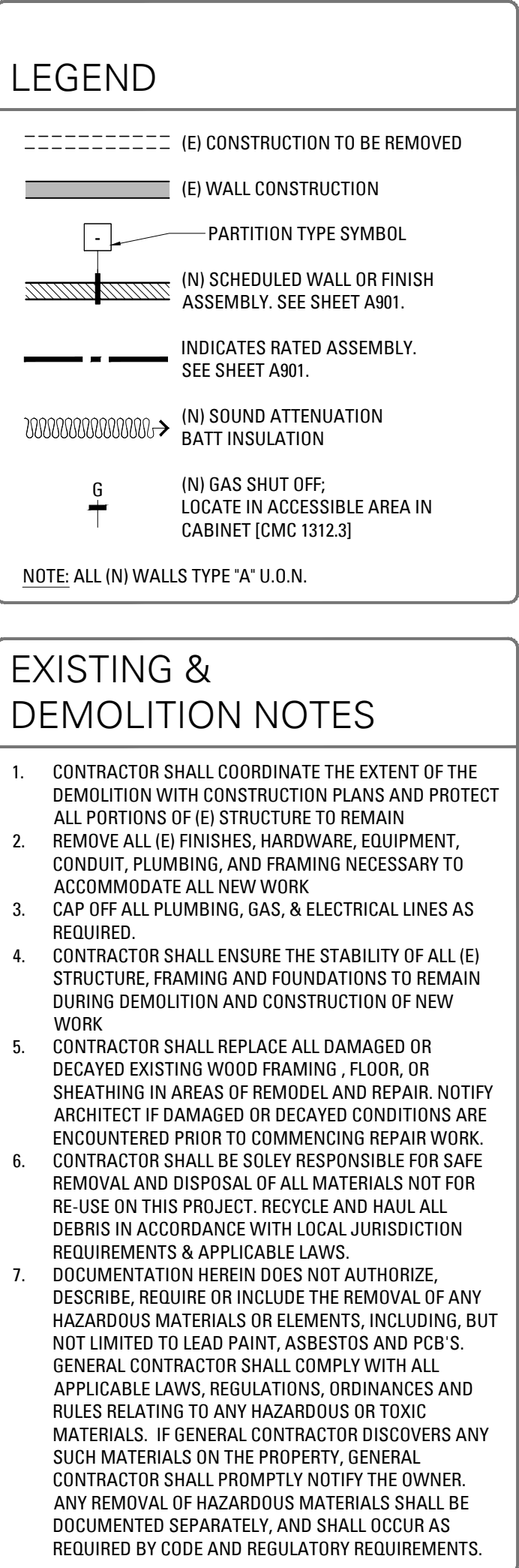
SITE PERMIT SET
REVISION 3

Drawn By:	S.A.
Checked By:	B.M.
Project Number:	1554.1

Section 317B Calculations

SHEET NUMBER

A005

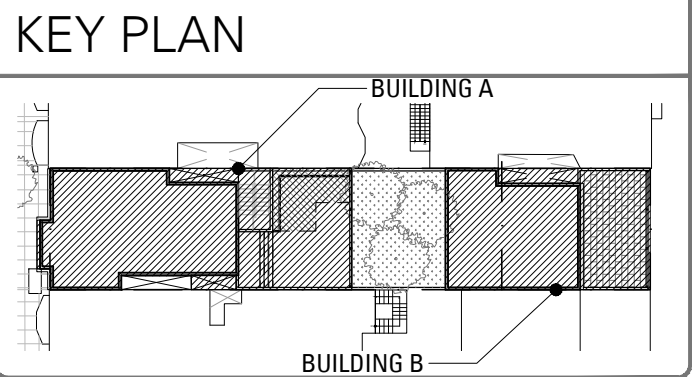


EXISTING & DEMOLITION KEYNOTES

D1	REMOVE (E) WALL TO ACCOMMODATE (N) WORK (S.S.D.)
D2	REMOVE (E) DOOR
D3	REMOVE (E) WINDOW TO ACCOMMODATE (N) WORK
D4	(E) WINDOW TO BE REPLACED IN KIND
D5	REMOVE (E) CASEWORK/CABINETY
D6	REMOVE (E) PLUMBING FIXTURE ; CAP OFF /RE-ROUTE UTILITY LINES, AS REQUIRED
D7	REMOVE (E) APPLIANCE/EQUIPMENT; CAP OFF /RE-ROUTE UTILITY LINES, AS REQUIRED
D8	REMOVE (E) FINISHES IN THIS AREA TO ACCOMMODATE (N) WORK
D9	REMOVE (E) STAIRS AND (E) HANDRAIL
D10	(E) STAIRS AND HANDRAIL TO BE REPAIRED TO MAINTAIN (E) CONDITIONS.
D11	REMOVE (E) ROOF TO ACCOMMODATE (N) WORK
D12	PREPARE (E) ROOF FOR (N) ROOF DECK
D13	(E) REAR YARD TO BE EXCAVATED TO ACCOMMODATE (N) WORK IN REAR YARD
D14	REMOVE (E) PARAPETS TO ACCOMMODATE (N) WORK
D15	REMOVE (E) LANDSCAPING TO ACCOMMODATE (N) WORK

RECORD OF DRAWING ISSUANCE	
PRE-APP MEETING	10.13.2019
SITE PERMIT SET	11.13.2019
SITE PERMIT SET REV.	04.27.2019
SITE PERMIT SET REV. 2	05.26.2019
SITE PERMIT SET REV. 3	06.10.2019

A102



BUILDING B

870 UNION STREET,
SAN FRANCISCO, CA 94133

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----- (E) CONSTRUCTION TO BE REMOVED

===== (E) WALL CONSTRUCTION

□ PARTITION TYPE SYMBOL

||||| (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.

--- INDICATES RATED ASSEMBLY. SEE SHEET A901.




~~~~~ (N) SOUND ATTENUATION BATT INSULATION

G (N) GAS SHUT OFF; LOCATE IN ACCESSIBLE AREA IN CABINET (CMC 1312.3)

NOTE: ALL (N) WALLS TYPE "A" U.O.N.

1. CONTRACTOR SHALL COORDINATE THE EXTENT OF THE DEMOLITION WITH CONSTRUCTION PLANS AND PROTECT ALL PORTIONS OF (E) STRUCTURE TO REMAIN
2. REMOVE ALL (E) FINISHES, HARDWARE, EQUIPMENT, CONDUIT, PLUMBING, AND FRAMING NECESSARY TO REMEDIATE ALL (E) STRUCTURE
3. CAP OFF ALL PLUMBING, GAS, & ELECTRICAL LINES AS REQUIRED.
4. CONTRACTOR SHALL ENSURE THE STABILITY OF ALL (E) STRUCTURE, FRAMING AND FOUNDATIONS TO REMAIN DURING DEMOLITION AND CONSTRUCTION OF NEW BUILDING
5. CONTRACTOR SHALL REPLACE ALL DAMAGED OR DECAYED EXISTING WOOD FRAMING, FLOOR, OR SHEATHING IN AREAS OF REMODEL AND REPAIR. NOTIFY ARCHITECT IF DAMAGED OR DECAYED CONDITIONS ARE ENCOUNTERED PRIOR TO COMMENCING REPAIR WORK.
6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFE REMOVAL AND DISPOSAL OF ALL DEBRIS FOR RE-USE ON THIS PROJECT. RECYCLE AND HAIL ALL DEBRIS IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS & APPLICABLE LAWS.
7. DOCUMENTATION HEREIN DOES NOT, INCLUDING, DESCRIBE, REQUIRE OR INCLUDE THE REMOVAL OF ANY HAZARDOUS MATERIALS OR NON-HAZARDOUS MATERIALS, BUT NOT LIMITED TO LEAD PAINT, ASBESTOS AND PCB'S. GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND RULES RELATING TO ANY HAZARDOUS OR TOXIC MATERIALS. IF GENERAL CONTRACTOR DISCOVERS ANY SUCH MATERIALS ON THIS PROPERTY, GENERAL CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. ANY REMOVAL OF HAZARDOUS MATERIALS SHALL BE DOCUMENTED SEPARATELY, AND SHALL OCCUR AS REQUIRED BY CODE AND REGULATORY REQUIREMENTS.

|     |                                                                                |
|-----|--------------------------------------------------------------------------------|
| D1  | REMOVE (E) WALL TO ACCOMMODATE (N) WORK (S.S.D.)                               |
| D2  | REMOVE (E) DOOR                                                                |
| D3  | REMOVE (E) WINDOW TO ACCOMMODATE (N) WORK                                      |
| D4  | (E) WINDOW TO BE REPLACED IN KIND                                              |
| D5  | REMOVE (E) CASEWORK/CABINETY                                                   |
| D6  | REMOVE (E) PLUMBING FIXTURE ;<br>CAP OFF /RE-ROUTE UTILITY LINES, AS REQUIRED  |
| D7  | REMOVE (E) APPLANCE/EQUIPMENT;<br>CAP OFF /RE-ROUTE UTILITY LINES, AS REQUIRED |
| D8  | REMOVE (E) FINISHES IN THIS AREA<br>TO ACCOMMODATE (N) WORK                    |
| D9  | REMOVE (E) STAIRS AND (E) HANDRAIL                                             |
| D10 | (E) STAIRS AND HANDRAIL TO BE REPAIRED TO<br>MAINTAIN (E) CONDITIONS.          |
| D11 | REMOVE (E) ROOF TO ACCOMMODATE (N) WORK                                        |
| D12 | PREPARE (E) ROOF FOR (N) ROOF DECK                                             |
| D13 | (E) REAR YARD TO BE EXCAVATED TO<br>ACCOMMODATE (N) WORK IN REAR YARD          |
| D14 | REMOVE (E) PARAPETS TO ACCOMMODATE (N) WORK                                    |
| D15 | REMOVE (E) LANDSCAPING TO ACCOMMODATE (N)<br>WORK                              |

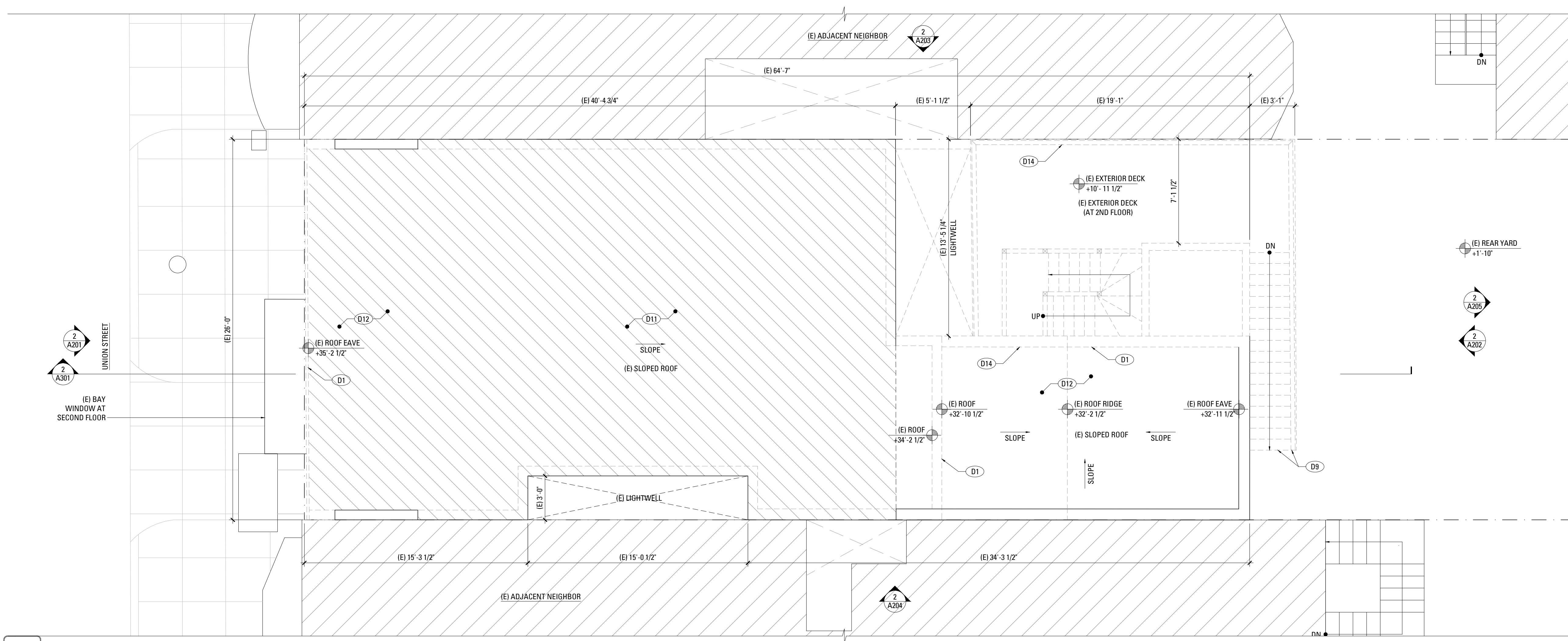
| RECORD OF DRAWING ISSUANCE |                                                                                                  |
|----------------------------|--------------------------------------------------------------------------------------------------|
| PRE-APP MEETING            | 10.13.2015                                                                                       |
| SITE PERMIT SET            | 11.13.2015                                                                                       |
| SITE PERMIT SET REV.       |  04.27.2016 |
| SITE PERMIT SET REV. 2     |  05.26.2016 |
| SITE PERMIT SET REV. 3     |  06.10.2016 |



|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By :    | B.M.   |
| Project Number: | 1554.1 |

SHEET NUMBER

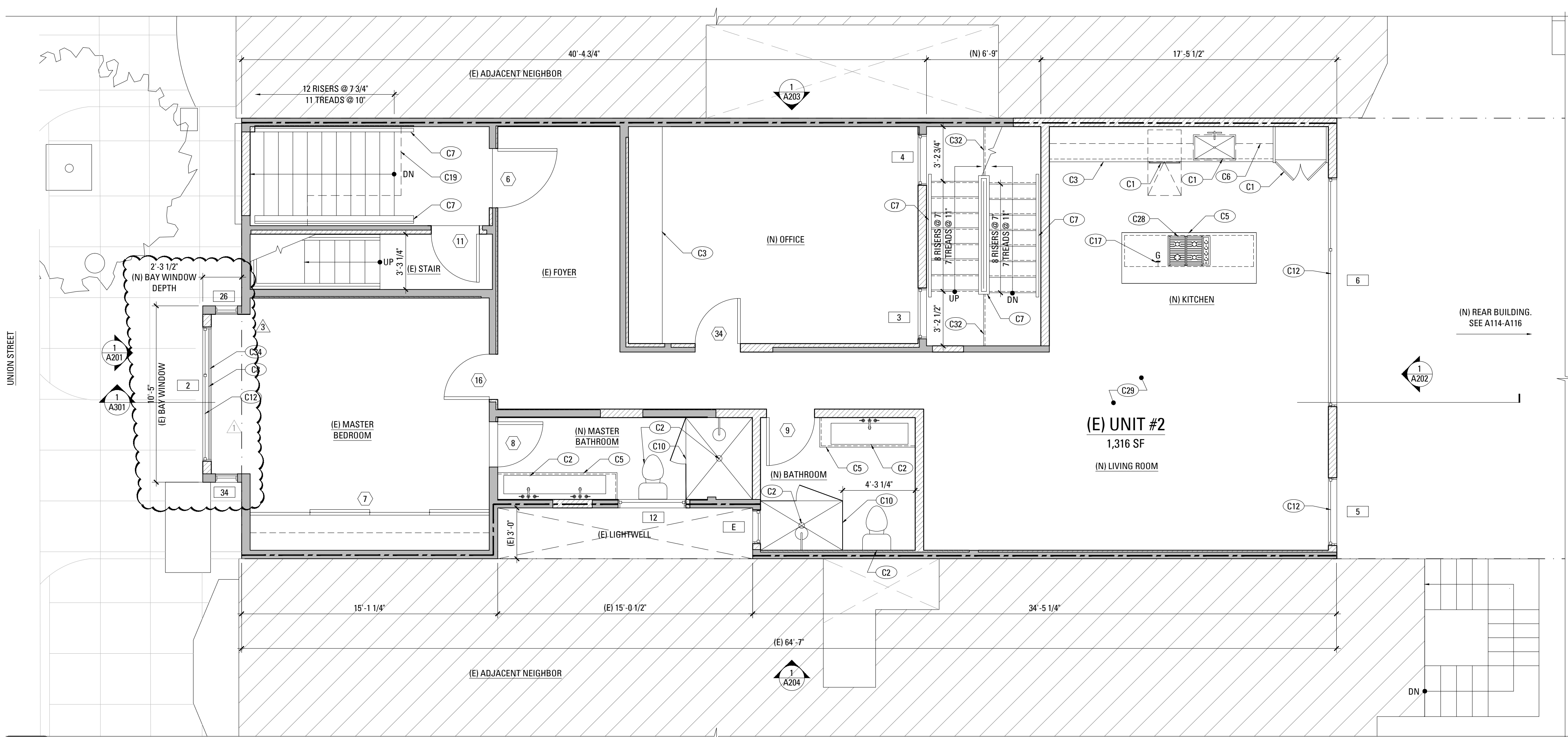
A103



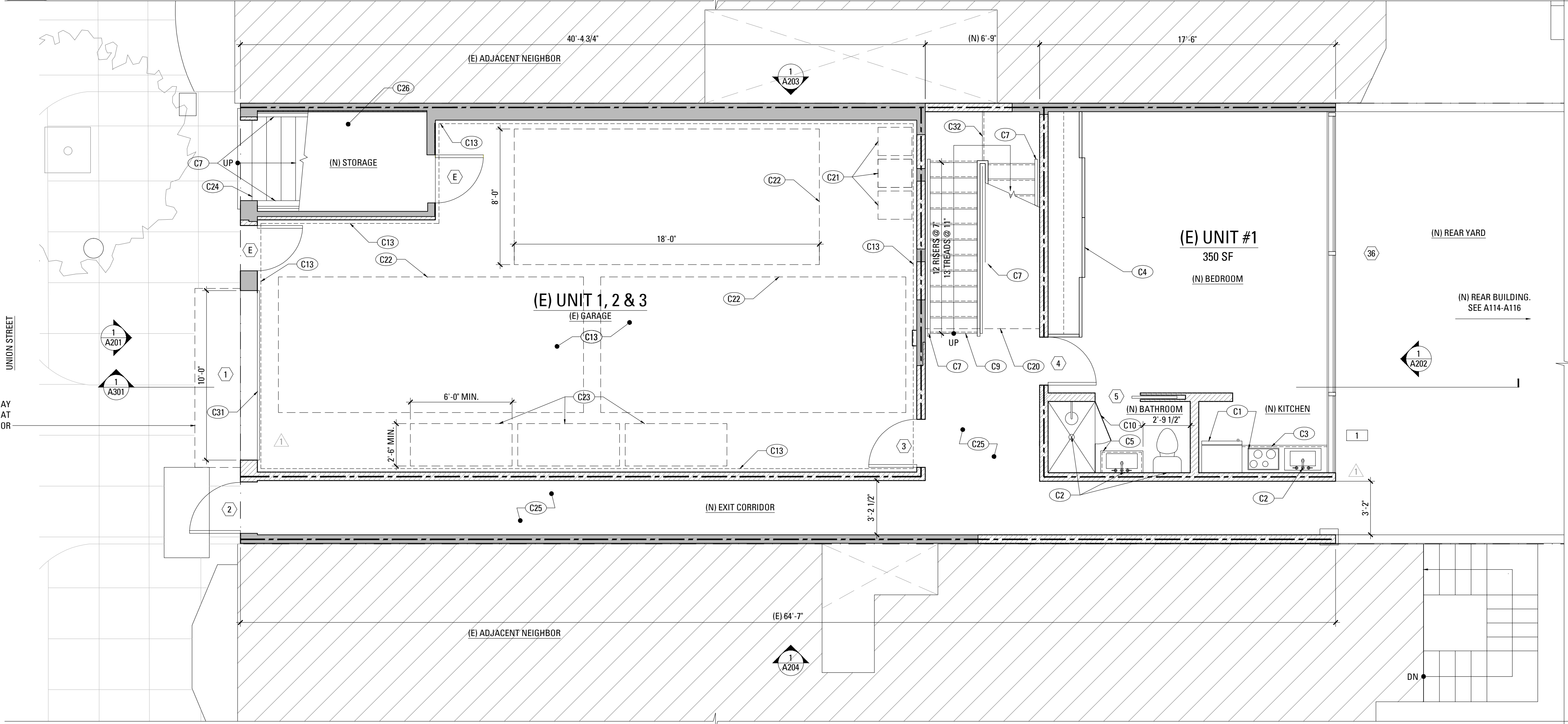
**1** ROOF LEVEL EXISTING/DEMOLITION PLAN : BUILDING A

SCALE:  $1/4" = 1'-0"$





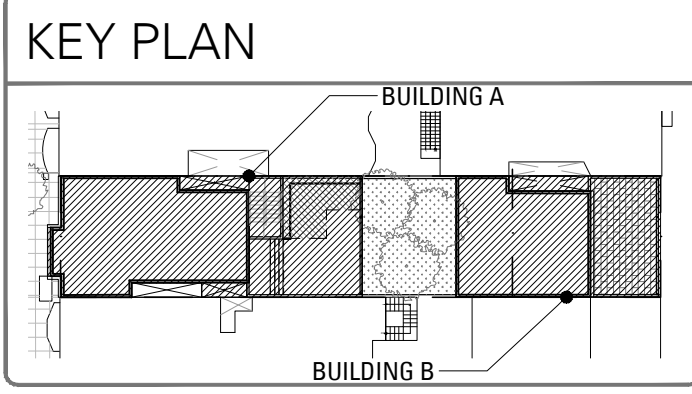
**2 SECOND FLOOR CONSTRUCTION PLAN : BUILDING A**  
SCALE: 1/4" = 1'-0"



**1 FIRST FLOOR CONSTRUCTION PLAN : BUILDING A**  
SCALE: 1/4" = 1'-0"

| CONSTRUCTION KEYNOTES |                                                                                                                                                                                                                      |
|-----------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| C1                    | (N) APPLIANCES AND EQUIPMENT. SEE SCHEDULE                                                                                                                                                                           |
| C2                    | (N) PLUMBING FIXTURES, TYP. SEE SCHEDULE                                                                                                                                                                             |
| C3                    | (N) BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                      |
| C4                    | (N) FULL HEIGHT BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                          |
| C5                    | (N) BASE CABINETS AND COUNTER. SEE INTERIOR ELEVATIONS                                                                                                                                                               |
| C6                    | (N) UPPER CABINETS. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                         |
| C7                    | (N) GRIPPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS HANDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407         |
| C8                    | (N) GUARDRAIL AT 42" A.F.F. WITH 4" MAX. OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS GUARDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407 |
| C9                    | (N) STAIR                                                                                                                                                                                                            |
| C10                   | (N) TEMPERED GLASS SHOWER ENCLOSURE                                                                                                                                                                                  |
| C11                   | (N) SKYLIGHT ABOVE. SEE SCHEDULE                                                                                                                                                                                     |
| C12                   | (N) OR REPLACEMENT WINDOW TO BE OPERABLE AND COMPLY WITH EGRESS REQUIREMENTS PER CBC 1029                                                                                                                            |
| C13                   | PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 406.3.4                                                                                                 |
| C14                   | (N) FAU. HEAT SYSTEM BY G.C.                                                                                                                                                                                         |
| C15                   | (N) HOT WATER HEATER BY G.C.                                                                                                                                                                                         |
| C16                   | (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR                                                                                                                                                                |
| C17                   | (N) GAS SHUT-OFF                                                                                                                                                                                                     |
| C18                   | (N) CARPENTER-BUILT STAIR; (3) 2X12 WD. STRINGERS MIN. W/ 3/4" PLYWD. TREADS & RISERS; P.T. LUMBER AT ALL EXTERIOR CONDITIONS                                                                                        |
| C19                   | (N) STAIR SOFFIT ABOVE                                                                                                                                                                                               |
| C20                   | (N) FLOOR ABOVE                                                                                                                                                                                                      |
| C21                   | LOCATION OF EQUAL ACCESS FOR STORAGE COLLECTION AND LOADING OF RECYCLABLE, COMPOSTABLE, AND LANDFILL MATERIALS.                                                                                                      |
| C22                   | 144 SQ. FT. REQUIRED PARKING CLEARANCE                                                                                                                                                                               |
| C23                   | (N) DEDICATED CLASS 1 BICYCLE PARKING SPOT                                                                                                                                                                           |
| C24                   | REPAIRED (E) STAIRS TO MATCH (E) CONDITIONS                                                                                                                                                                          |
| C25                   | WALLS AND CEILING OF PASSAGE SHALL BE RATED AND CONSTRUCTED PER CBC 707 & 711 (CBC TABLE 721.1) (3) 13-1.4)                                                                                                          |
| C26                   | PROVIDE 5/8" GYPSUM BOARD ON UNDERSIDE OF STAIRS                                                                                                                                                                     |
| C27                   | (N) CONCRETE RETAINING WALL                                                                                                                                                                                          |
| C28                   | (N) EXHAUST HOOD COMPLIANT WITH CBC 2013, EXTERIOR VENT                                                                                                                                                              |
| C29                   | (N) CONTINUOUS HOUSE FAN FOR AREA GREATER THAN 20'-0" FROM EXTERIOR OPENING FOR REQUIRED VENTILATION                                                                                                                 |
| C30                   | (N) GLASS PARTITION                                                                                                                                                                                                  |
| C31                   | MINIMUM 200 SQ. INCH LOUVER FOR GARAGE VENTILATION                                                                                                                                                                   |
| C32                   | 1 RISER AT 7" MAXIMUM                                                                                                                                                                                                |
| C33                   | (N) METAL LOUVER                                                                                                                                                                                                     |
| C34                   | (N) FIXED GLASS PANEL UP TO 3'-0" A.F.F. INSIDE WINDOW FRAME                                                                                                                                                         |

- ### MECHANICAL GENERAL NOTES
- ENVIRONMENTAL AIR DUCTS TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING.
  - PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2
  - PROVIDE COMBUSTION AIR PER CMC CHAPTER 7.
  - PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.



- ### LEGEND
- (E) CONSTRUCTION TO BE REMOVED
  - ===== (E) WALL CONSTRUCTION
  - (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.
  - INDICATES RATED ASSEMBLY. SEE SHEET A901.
  - (N) SOUND ATTENUATION BATT INSULATION
  - G (N) GAS SHUT OFF; LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3]
- NOTE: ALL (N) WALLS TYPE "A" U.O.N.

- ### CONSTRUCTION GENERAL NOTES
- ALL (N) WALLS TYPE "A" U.O.N. SEE SCHEDULE, A901.
  - ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
  - DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 3" OFF JAMB, U.O.N.
  - ALL REQUIRED HANDRAILS SHALL COMPLY WITH HANDRAIL GRASPABILITY PER CBC 1012.3.
  - PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION.
  - PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM E212-07, STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.
  - WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.
  - FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL. COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL.
  - ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.
  - FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.
  - PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED.
  - PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH
  - WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD
  - ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
  - ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE
  - STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.
  - ALL APPLIANCES WITH QUICK-ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10)
  - ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009)
  - WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2)
  - KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.0122" MINIMUM THICK (2013 CMC 920.3)
  - EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.
  - ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.
  - APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES. (CPC 508.4)
  - APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES AND A WORK PLATFORM OR NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CPC 508.4.2 & 508.4.3)
  - APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4)

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SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650  
San Francisco, CA 94104  
T 415 346 9990

RECORDED & RETURNED  
JAN 10 2016  
COUNTY OF CALIFORNIA

RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
| SITE PERMIT SET REV.   | 04.27.2016 |
| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |

SITE PERMIT SET  
REVISION 3

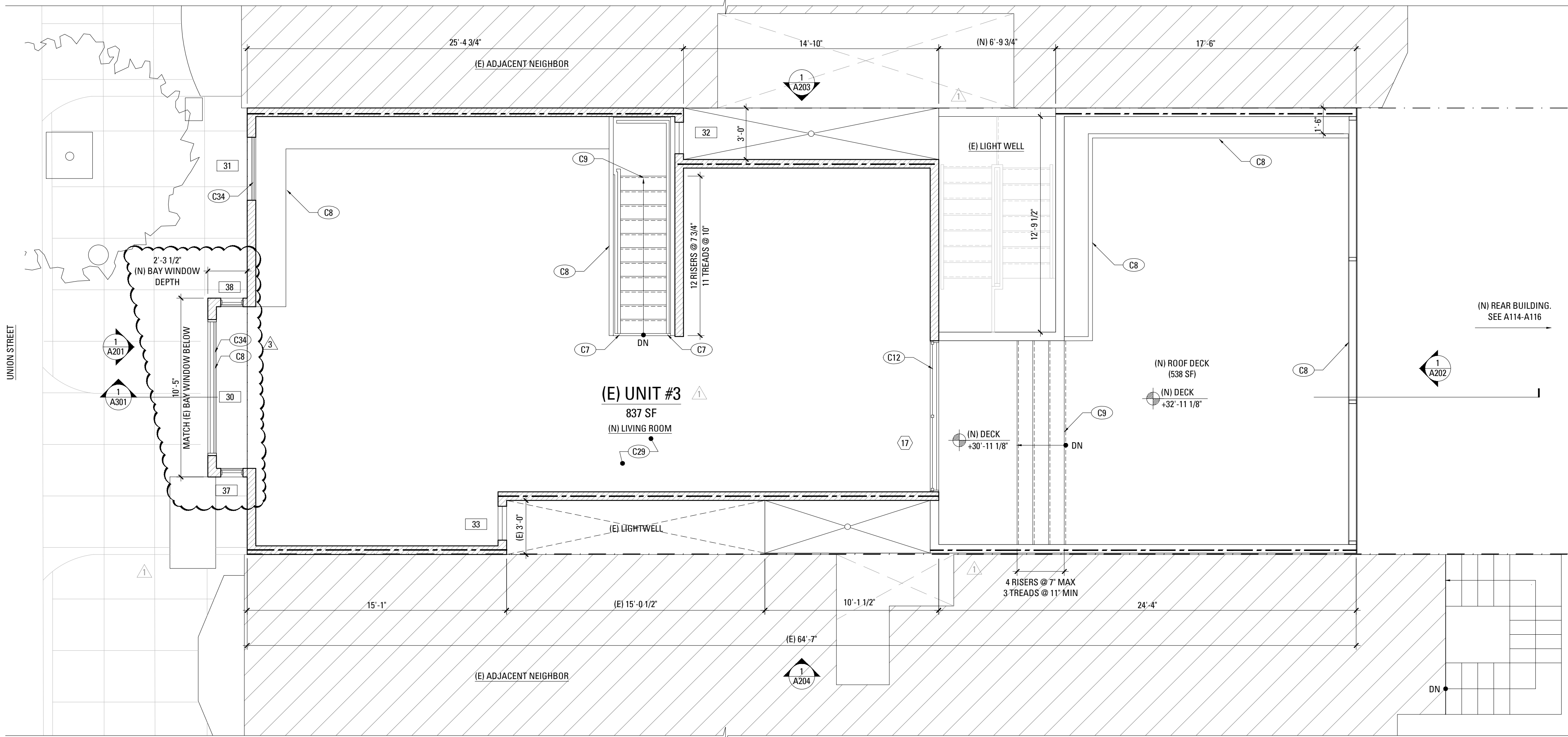
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| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Construction Plan

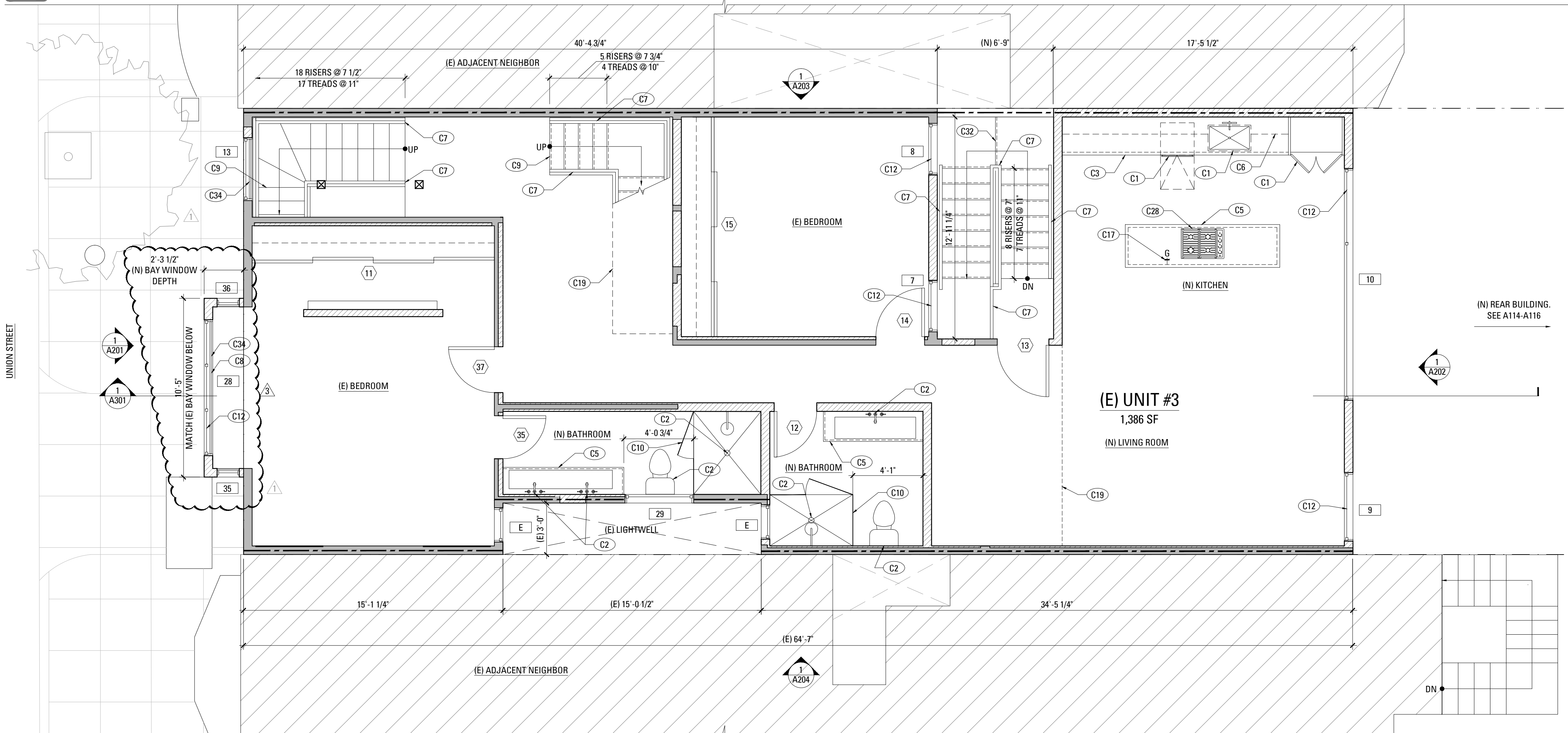
SHEET NUMBER

**A111**





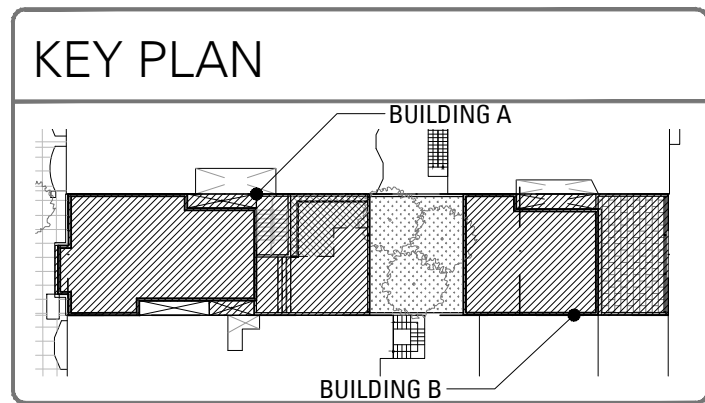
2 FOURTH FLOOR CONSTRUCTION PLAN : BUILDING A  
SCALE: 1/4" = 1'-0"



1 THIRD FLOOR CONSTRUCTION PLAN : BUILDING A  
SCALE: 1/4" = 1'-0"

| CONSTRUCTION KEYNOTES |                                                                                                                                                                                                                       |
|-----------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| C1                    | (N) APPLIANCES AND EQUIPMENT. SEE SCHEDULE                                                                                                                                                                            |
| C2                    | (N) PLUMBING FIXTURES, TYP. SEE SCHEDULE                                                                                                                                                                              |
| C3                    | (N) BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                       |
| C4                    | (N) FULL HEIGHT BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                           |
| C5                    | (N) BASE CABINETS AND COUNTER. SEE INTERIOR ELEVATIONS                                                                                                                                                                |
| C6                    | (N) UPPER CABINETS. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                          |
| C7                    | (N) GRIPPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS HANDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407          |
| C8                    | (N) GUARDRAIL AT 42" A.F.F. WITH 4" MAX. OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS GUARDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407. |
| C9                    | (N) STAIR                                                                                                                                                                                                             |
| C10                   | (N) TEMPERED GLASS SHOWER ENCLOSURE                                                                                                                                                                                   |
| C11                   | (N) SKYLIGHT ABOVE. SEE SCHEDULE                                                                                                                                                                                      |
| C12                   | (N) OR REPLACEMENT WINDOW TO BE OPERABLE AND COMPLY WITH EGRESS REQUIREMENTS PER CBC 1029                                                                                                                             |
| C13                   | PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 406.3.4                                                                                                  |
| C14                   | (N) FAU. HEAT SYSTEM BY G.C.                                                                                                                                                                                          |
| C15                   | (N) HOT WATER HEATER BY G.C.                                                                                                                                                                                          |
| C16                   | (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR                                                                                                                                                                 |
| C17                   | (N) GAS SHUT-OFF                                                                                                                                                                                                      |
| C18                   | (N) CARPENTER-BUILT STAIR; (3) 2X12 WD. STRINGERS MIN. W/ 3/4" PLYWD. TREADS & RISERS; P.T. LUMBER AT ALL EXTERIOR CONDITIONS                                                                                         |
| C19                   | (N) STAIR SOFFIT ABOVE                                                                                                                                                                                                |
| C20                   | (N) FLOOR ABOVE                                                                                                                                                                                                       |
| C21                   | LOCATION OF EQUAL ACCESS FOR STORAGE COLLECTION AND LOADING OF RECYCLABLE, COMPOSTABLE, AND LANDFILL MATERIALS.                                                                                                       |
| C22                   | 144 SQ. FT. REQUIRED PARKING CLEARANCE                                                                                                                                                                                |
| C23                   | (N) DEDICATED CLASS 1 BICYCLE PARKING SPOT                                                                                                                                                                            |
| C24                   | REPAIRED (E) STAIRS TO MATCH (E) CONDITIONS                                                                                                                                                                           |
| C25                   | WALLS AND CEILING OF PASSAGE SHALL BE RATED AND CONSTRUCTED PER CBC 707 & 711 (CBC TABLE 721.1 (3) 13-1.4)                                                                                                            |
| C26                   | PROVIDE 5/8" GYPSUM BOARD ON UNDERSIDE OF STAIRS                                                                                                                                                                      |
| C27                   | (N) CONCRETE RETAINING WALL                                                                                                                                                                                           |
| C28                   | (N) EXHAUST HOOD COMPLIANT WITH CBC 2013, EXTERIOR VENT                                                                                                                                                               |
| C29                   | (N) CONTINUOUS HOUSE FAN FOR AREA GREATER THAN 20'-0" FROM EXTERIOR OPENING FOR REQUIRED VENTILATION                                                                                                                  |
| C30                   | (N) GLASS PARTITION                                                                                                                                                                                                   |
| C31                   | MINIMUM 200 SQ. INCH LOUVER FOR GARAGE VENTILATION                                                                                                                                                                    |
| C32                   | 1 RISER AT 7" MAXIMUM                                                                                                                                                                                                 |
| C33                   | (N) METAL LOUVER                                                                                                                                                                                                      |
| C34                   | (N) FIXED GLASS PANEL UP TO 3'-0" A.F.F. INSIDE WINDOW FRAME                                                                                                                                                          |

- ### MECHANICAL GENERAL NOTES
- ENVIRONMENTAL AIR DUCTS TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING.
  - PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2
  - PROVIDE COMBUSTION AIR PER CMC CHAPTER 7.
  - PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.



| LEGEND                              |                                                                     |
|-------------------------------------|---------------------------------------------------------------------|
| -----                               | (E) CONSTRUCTION TO BE REMOVED                                      |
| =====                               | (E) WALL CONSTRUCTION                                               |
| +                                   | PARTITION TYPE SYMBOL                                               |
|                                     | (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.              |
| ---                                 | INDICATES RATED ASSEMBLY. SEE SHEET A901.                           |
|                                     | (N) SOUND ATTENUATION BATT INSULATION                               |
| G                                   | (N) GAS SHUT OFF; LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3] |
| NOTE: ALL (N) WALLS TYPE 'A' U.O.N. |                                                                     |

- ### CONSTRUCTION GENERAL NOTES
- ALL (N) WALLS TYPE 'A' U.O.N. SEE SCHEDULE, A901.
  - ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
  - DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 3" OFF JAMB, U.O.N.
  - ALL REQUIRED HANDRAILS SHALL COMPLY WITH HANDRAIL GRASPABILITY PER CBC 102.3.
  - PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION.
  - PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM E212-07, STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.
  - WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.
  - FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL. COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL.
  - ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.
  - FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.
  - PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED.
  - PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH
  - WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD
  - ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
  - ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE
  - STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.
  - ALL APPLIANCES WITH QUICK-ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10)
  - ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009)
  - WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2)
  - KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.0122" MINIMUM THICK (2013 CMC 920.3)
  - EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.
  - ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.
  - APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES. (CPC 508.4)
  - APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4)

870 Union Street  
Residence Addition  
and Remodel

870 UNION STREET,  
SAN FRANCISCO, CA 94133

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SITE PERMIT SET  
REVISION 3

|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Construction Plan

SHEET NUMBER

A112



|     |                                                                                                                                                                                                                      |
|-----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| C1  | (N) APPLIANCES AND EQUIPMENT. SEE SCHEDULE                                                                                                                                                                           |
| C2  | (N) PLUMBING FIXTURES, TYP. SEE SCHEDULE                                                                                                                                                                             |
| C3  | (N) BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                      |
| C4  | (N) FULL HEIGHT BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                          |
| C5  | (N) BASE CABINETS AND COUNTER. SEE INTERIOR ELEVATIONS                                                                                                                                                               |
| C6  | (N) UPPER CABINETS. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                         |
| C7  | (N) GRIPABLE HANDRAIL @ 36" ABOVE NOISING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS HANDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407.        |
| C8  | (N) GUARDRAIL AT 42" A.F.F. WITH 4" MAX. OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1;GLASS GUARDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407. |
| C9  | (N) STAIR                                                                                                                                                                                                            |
| C10 | (N) TEMPERED GLASS SHOWER ENCLOSURE                                                                                                                                                                                  |
| C11 | (N) SKYLIGHT ABOVE. SEE SCHEDULE                                                                                                                                                                                     |
| C12 | (N) OR REPLACEMENT WINDOW TO BE OPERABLE AND COMPLY WITH EGRESS REQUIREMENTS PER CBC 1029                                                                                                                            |
| C13 | PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 406.3.4                                                                                                 |
| C14 | (N) FAU. HEAT SYSTEM BY G.C.                                                                                                                                                                                         |
| C15 | (N) HOT WATER HEATER BY G.C.                                                                                                                                                                                         |
| C16 | (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR                                                                                                                                                                |
| C17 | (N) GAS SHUT-OFF                                                                                                                                                                                                     |
| C18 | (N) CARPENTER-BUILT STAIR; (3) 2X12 WD. STRINGERS MIN. W/ 3/4" PLYWD. TREADS & RISERS; P.T. LUMBER AT ALL EXTERIOR CONDITIONS                                                                                        |
| C19 | (N) STAIR SOFFIT ABOVE                                                                                                                                                                                               |
| C20 | (N) FLOOR ABOVE                                                                                                                                                                                                      |
| C21 | LOCATION OF EQUAL ACCESS FOR STORAGE COLLECTION AND LOADING OF RECYCLABLE, COMPOSTABLE, AND LANDFILL MATERIALS.                                                                                                      |
| C22 | 144 SQ FT. REQUIRED PARKING CLEARANCE                                                                                                                                                                                |
| C23 | (N) DEDICATED CLASS 1 BICYCLE PARKING SPOT                                                                                                                                                                           |
| C24 | REPAIRED (E) STAIRS TO MATCH (E) CONDITIONS                                                                                                                                                                          |
| C25 | WALLS AND CEILING OF PASSAGE SHALL BE RATED AND CONSTRUCTED PER CBC 707 & 711 (CBC TABLE 721.1 (9) 13-14)                                                                                                            |
| C26 | PROVIDE 5/8" GYPSUM BOARD ON UNDERSIDE OF STAIRS                                                                                                                                                                     |
| C27 | (N) CONCRETE RETAINING WALL                                                                                                                                                                                          |
| C28 | (N) EXHAUST HOOD COMPLIANT WITH CBC 2013, EXTERIOR VENT                                                                                                                                                              |
| C29 | (N) CONTINUOUS HOUSE FAN FOR AREA GREATER THAN 20'-0" FROM EXTERIOR OPENING FOR REQUIRED VENTILATION                                                                                                                 |
| C30 | (N) GLASS PARTITION                                                                                                                                                                                                  |
| C31 | MINIMUM 200 SQ. INCH LOUVER FOR GARAGE VENTILATION                                                                                                                                                                   |
| C32 | 1 RISER AT 7" MAXIMUM                                                                                                                                                                                                |
| C33 | (N) METAL LOUVER                                                                                                                                                                                                     |
| C34 | (N) FIXED GLASS PANEL UP TO 3'-0" A.F.F. INSIDE WINDOW FRAME                                                                                                                                                         |

(E) CONSTRUCTION TO BE REMOVED

(E) WALL CONSTRUCTION

PARTITION TYPE SYMBOL

(N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.

INDICATES RATED ASSEMBLY. SEE SHEET A901.

(N) SOUND ATTENUATION BATT INSULATION

(N) GAS SHUT OFF; LOCATE IN ACCESSIBLE AREA IN COMBINATION 1312.3

NOTE: ALL (N) WALLS TYPE "A" U.O.N.

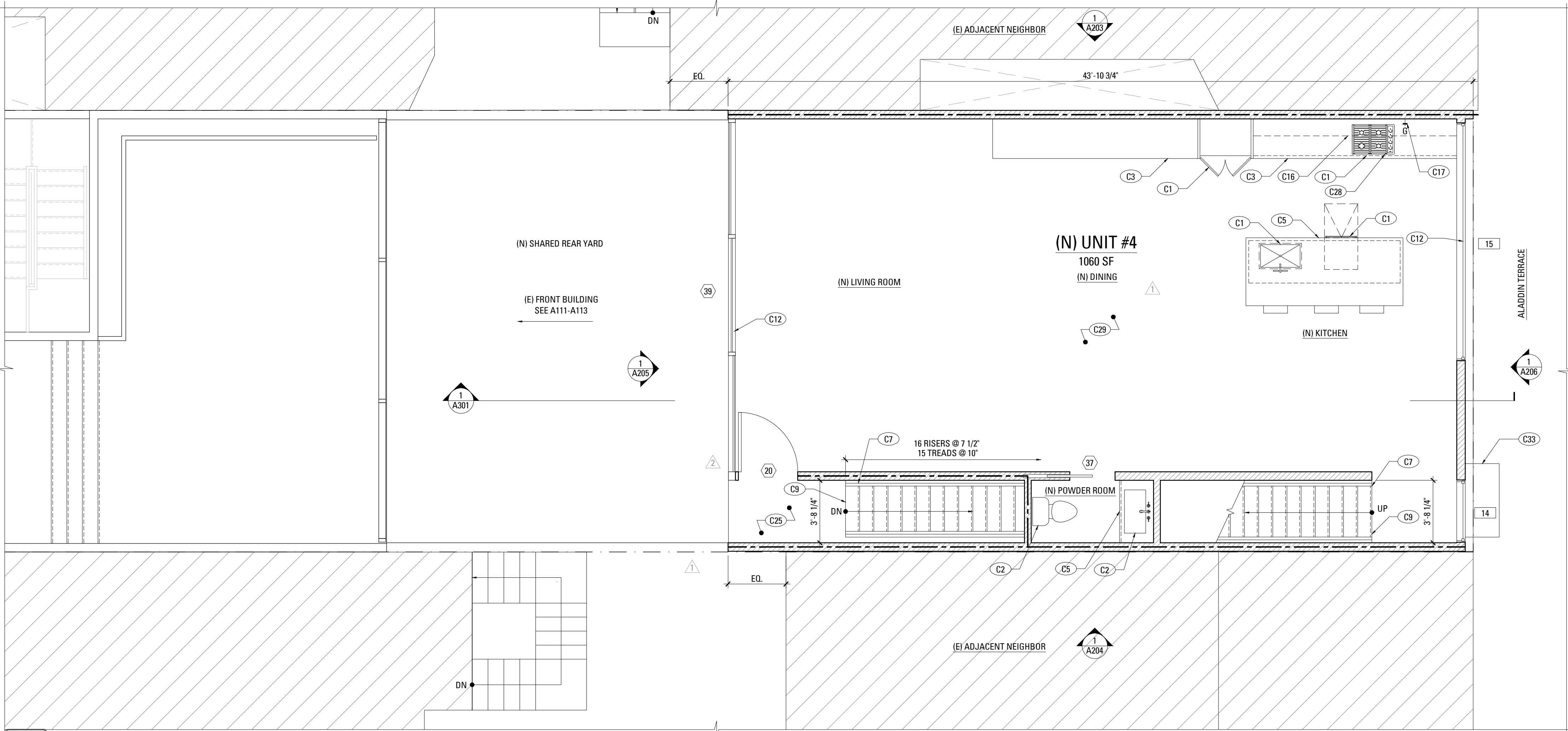
1. ALL (N) WALLS TYPE "A" U.O.N. SEE SCHEDULE, A901.
2. ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
3. DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED OFF JAMB.
4. ALL REQUIRED HANDRAILS SHALL COMPLY WITH HANDRAIL GRASPABILITY PER CBC 102.3.
5. PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF ROOFING WITH CHIMNEYS, EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION.
6. PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM F2250-10 STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.
7. WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.
8. FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS' NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL, COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL.
9. USE AND PROTECT ALL EXISTING METALS IN CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES, PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.
10. FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM FOR ARCHITECTURAL WORK.
11. PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACES. IN AREAS NOT ALREADY INSULATED, PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH.
12. WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD.
13. ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
14. ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM THE SIDE OF THE TOILET TO EACH SIDE.
15. STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE INCLUDING.
16. ALL APPLIANCES WITH QUICK ACTION VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10).
17. ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB 407 (2008).
18. WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE SHIP. (CPC 700.2)
19. KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE RANGE. THE METALS HOOD SHALL BE AT LEAST MINIMUM THICK 2013 OMC 920.3).
20. EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.
21. ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.
22. APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 24 INCHES BY 30 INCHES IN MINIMUM.
23. APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES AND A WORK PLATFORM OF NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CPC 508.4.2 & 508.4.3)
24. APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4)

A113

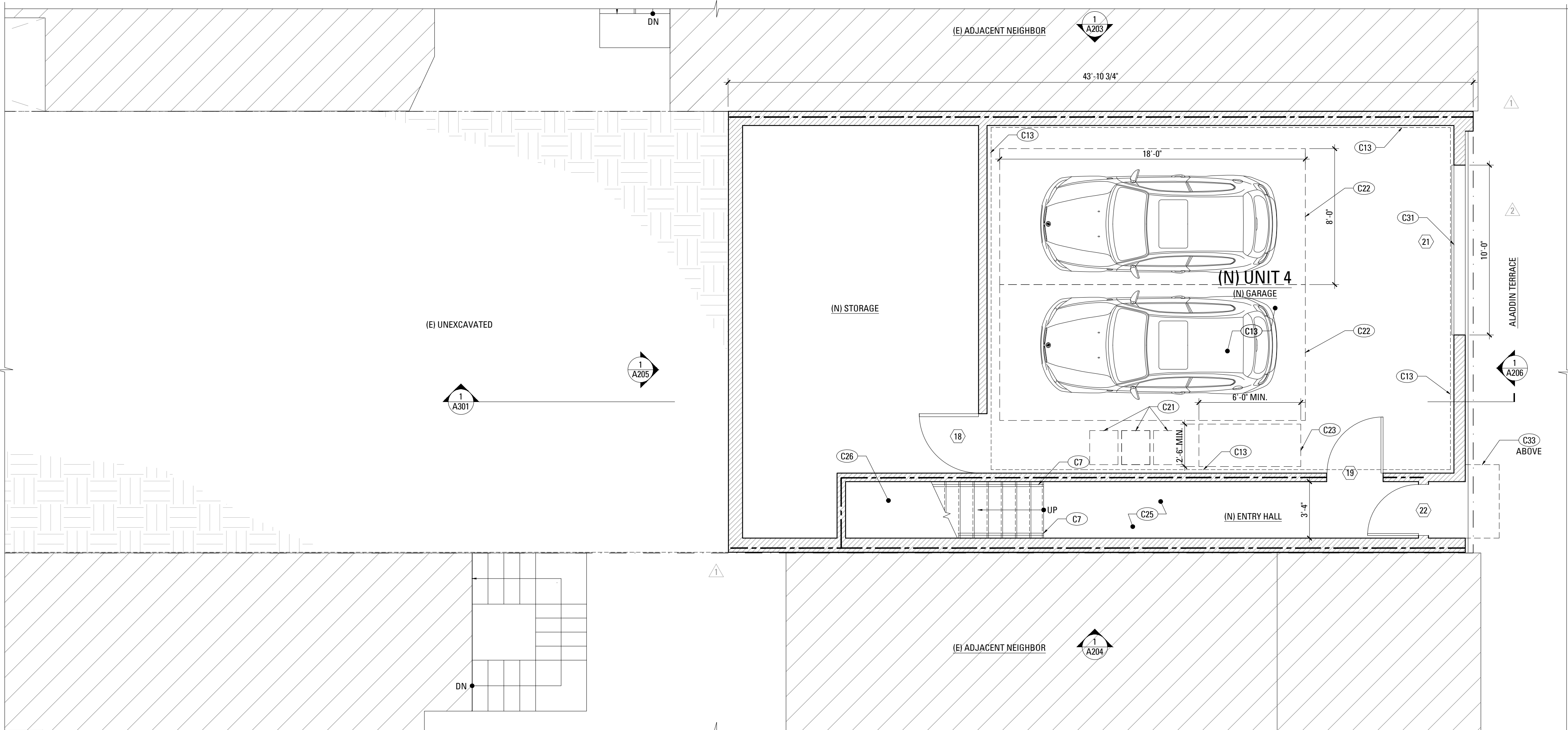


1. ENVIRONMENTAL AIR DUCTS TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING.
2. PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2
3. PROVIDE COMBUSTION AIR PER CMC CHAPTER 7.
4. PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.





2 SECOND FLOOR REAR YARD CONSTRUCTION PLAN : BUILDING B  
SCALE: 1/4" = 1'-0"



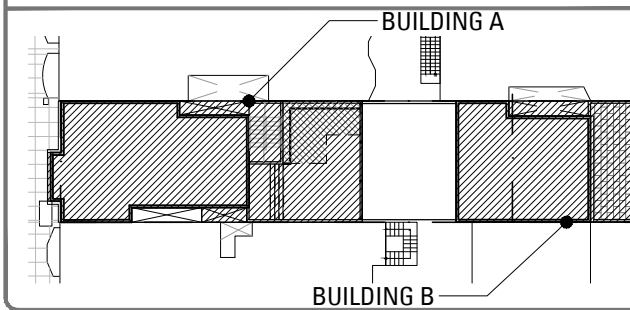
1 FIRST FLOOR REAR YARD CONSTRUCTION PLAN : BUILDING B  
SCALE: 1/4" = 1'-0"

| CONSTRUCTION KEYNOTES |                                                                                                                                                                                                                       |
|-----------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| C1                    | (N) APPLIANCES AND EQUIPMENT. SEE SCHEDULE                                                                                                                                                                            |
| C2                    | (N) PLUMBING FIXTURES, TYP. SEE SCHEDULE                                                                                                                                                                              |
| C3                    | (N) BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                       |
| C4                    | (N) FULL HEIGHT BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                           |
| C5                    | (N) BASE CABINETS AND COUNTER. SEE INTERIOR ELEVATIONS                                                                                                                                                                |
| C6                    | (N) UPPER CABINETS. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                          |
| C7                    | (N) GRIPPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS HANDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407          |
| C8                    | (N) GUARDRAIL AT 42" A.F.F. WITH 4" MAX. OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS GUARDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407. |
| C9                    | (N) STAIR                                                                                                                                                                                                             |
| C10                   | (N) TEMPERED GLASS SHOWER ENCLOSURE                                                                                                                                                                                   |
| C11                   | (N) SKYLIGHT ABOVE. SEE SCHEDULE                                                                                                                                                                                      |
| C12                   | (N) OR REPLACEMENT WINDOW TO BE OPERABLE AND COMPLY WITH EGRESS REQUIREMENTS PER CBC 1029                                                                                                                             |
| C13                   | PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 406.3.4                                                                                                  |
| C14                   | (N) FAU. HEAT SYSTEM BY G.C.                                                                                                                                                                                          |
| C15                   | (N) HOT WATER HEATER BY G.C.                                                                                                                                                                                          |
| C16                   | (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR                                                                                                                                                                 |
| C17                   | (N) GAS SHUT-OFF                                                                                                                                                                                                      |
| C18                   | (N) CARPENTER-BUILT STAIR; (3) 2X12 WD. STRINGERS MIN. W/ 3/4" PLYWD. TREADS & RISERS; P.T. LUMBER AT ALL EXTERIOR CONDITIONS                                                                                         |
| C19                   | (N) STAIR SOFFIT ABOVE                                                                                                                                                                                                |
| C20                   | (N) FLOOR ABOVE                                                                                                                                                                                                       |
| C21                   | LOCATION OF EQUAL ACCESS FOR STORAGE COLLECTION AND LOADING OF RECYCLABLE, COMPOSTABLE, AND LANDFILL MATERIALS.                                                                                                       |
| C22                   | 144 SQ. FT. REQUIRED PARKING CLEARANCE                                                                                                                                                                                |
| C23                   | (N) DEDICATED CLASS 1 BICYCLE PARKING SPOT                                                                                                                                                                            |
| C24                   | REPAIRED (E) STAIRS TO MATCH (E) CONDITIONS                                                                                                                                                                           |
| C25                   | WALLS AND CEILING OF PASSAGE SHALL BE RATED AND CONSTRUCTED PER CBC 707 & 711 (CIB TABLE 721.1) (3) 13-1.4)                                                                                                           |
| C26                   | PROVIDE 5/8" GYPSUM BOARD ON UNDERSIDE OF STAIRS                                                                                                                                                                      |
| C27                   | (N) CONCRETE RETAINING WALL                                                                                                                                                                                           |
| C28                   | (N) EXHAUST HOOD COMPLIANT WITH CBC 2013, EXTERIOR VENT                                                                                                                                                               |
| C29                   | (N) CONTINUOUS HOUSE FAN FOR AREA GREATER THAN 20'-0" FROM EXTERIOR OPENING FOR REQUIRED VENTILATION                                                                                                                  |
| C30                   | (N) GLASS PARTITION                                                                                                                                                                                                   |
| C31                   | MINIMUM 200 SQ. INCH LOUVER FOR GARAGE VENTILATION                                                                                                                                                                    |
| C32                   | 1 RISER AT 7" MAXIMUM                                                                                                                                                                                                 |
| C33                   | (N) METAL LOUVER                                                                                                                                                                                                      |
| C34                   | (N) FIXED GLASS PANEL UP TO 3'-0" A.F.F. INSIDE WINDOW FRAME                                                                                                                                                          |

## MECHANICAL GENERAL NOTES

- ENVIRONMENTAL AIR DUCTS TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING.
- PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2
- PROVIDE COMBUSTION AIR PER CMC CHAPTER 7.
- PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.

## KEY PLAN

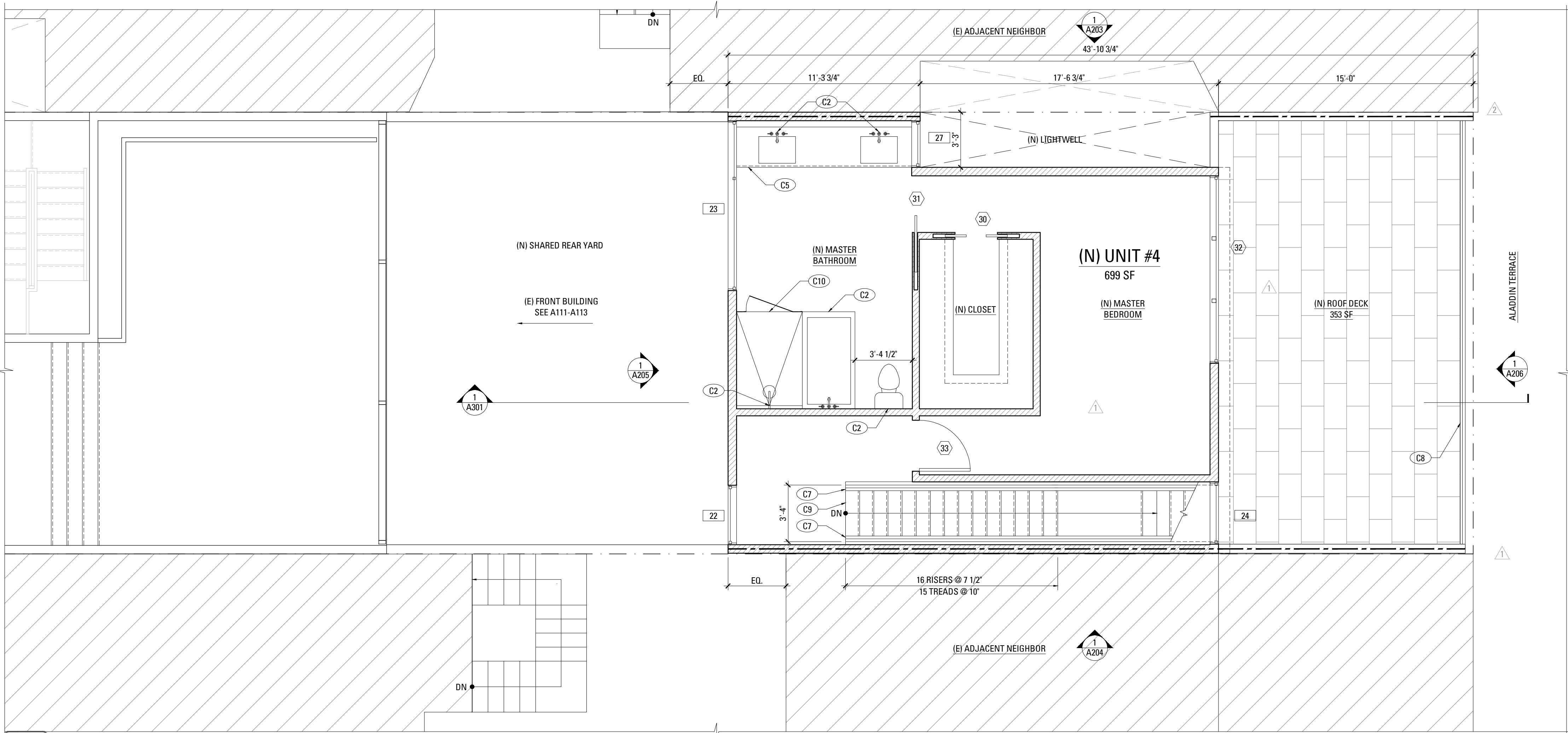


| LEGEND                              |                                                                     |
|-------------------------------------|---------------------------------------------------------------------|
| -----                               | (E) CONSTRUCTION TO BE REMOVED                                      |
| =====                               | (E) WALL CONSTRUCTION                                               |
| +                                   | PARTITION TYPE SYMBOL                                               |
|                                     | (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.              |
| ---                                 | INDICATES RATED ASSEMBLY. SEE SHEET A901.                           |
|                                     | (N) SOUND ATTENUATION BATT INSULATION                               |
| G                                   | (N) GAS SHUT OFF. LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3] |
| NOTE: ALL (N) WALLS TYPE 'A' U.O.N. |                                                                     |

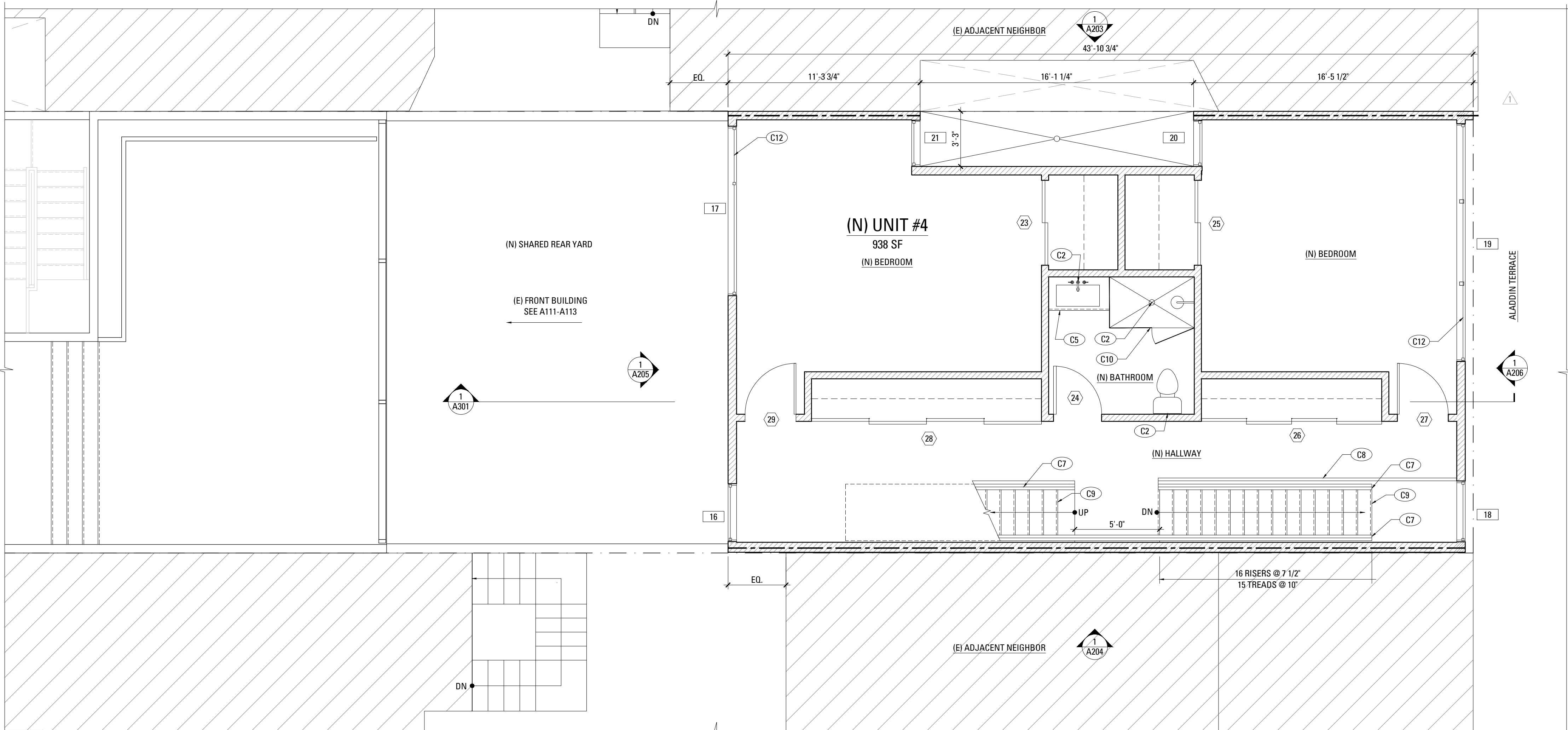
| CONSTRUCTION GENERAL NOTES |                                                                                                                                                                                                                                                                                                                                           |
|----------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.                         | ALL (N) WALLS TYPE 'A' U.O.N. SEE SCHEDULE, A901.                                                                                                                                                                                                                                                                                         |
| 2.                         | ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.                                                                                                                                                                                                                                                 |
| 3.                         | DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 3" OFF JAMB, U.O.N.                                                                                                                                                                                                                                                                        |
| 4.                         | ALL REQUIRED HANDRAILS SHALL COMPLY WITH HANDRAIL GRASPABILITY PER CBC 1012.3.                                                                                                                                                                                                                                                            |
| 5.                         | PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION. |
| 6.                         | PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM E2112-07, STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.                                                                                                                                          |
| 7.                         | WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.                                                                                                                                                                                                                                                            |
| 8.                         | FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL. COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL.                                    |
| 9.                         | ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.                                  |
| 10.                        | FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.                                                                                                                                                                                |
| 11.                        | PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED.                                                                                                                                                                                                           |
| 12.                        | PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH                                                                                                                                                                                                                                                                              |
| 13.                        | WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD                                                                                                                                                                                                                                                                                |
| 14.                        | ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.                                                                                                                                                                                                                                                                            |
| 15.                        | ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE                                                                                                                                                                                                                                |
| 16.                        | STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.                                                                                                                                                                                                                                        |
| 17.                        | ALL APPLIANCES WITH QUICK-ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10)                                                                                                                                                                                       |
| 18.                        | ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009)                                                                                                                                                                                                                                           |
| 19.                        | WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2)                                                                        |
| 20.                        | KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.0122" MINIMUM THICK (2013 CMC 920.3)                                   |
| 21.                        | EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.                                                                                                                                                                                                                         |
| 22.                        | ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.                                                                                                                                                                                   |
| 23.                        | APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES. (CPC 508.4)                                                                                                                       |
| 24.                        | APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES AND A WORK PLATFORM OF NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CPC 508.4.2 & 508.4.3)                                                                                              |
| 25.                        | APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4)                                                                                                                                                                                     |

|                                                                              |            |
|------------------------------------------------------------------------------|------------|
| 870 Union Street<br>Residence Addition<br>and Remodel                        |            |
| 870 UNION STREET,<br>SAN FRANCISCO, CA 94133                                 |            |
| MARTINKOVIC MILFORD ARCHITECTS                                               |            |
| 101 Montgomery Street Suite 650<br>San Francisco, CA 94104<br>T 415 346 9990 |            |
| RECORDED ARCHITECT<br>STATE OF CALIFORNIA<br>No. CCB490<br>EXPIRES 6/30/2017 |            |
| RECORD OF DRAWING ISSUANCE                                                   |            |
| PRE-APP MEETING                                                              | 10.13.2015 |
| SITE PERMIT SET                                                              | 11.13.2015 |
| SITE PERMIT SET REV.                                                         | 04.27.2016 |
| SITE PERMIT SET REV. 2                                                       | 05.26.2016 |
| SITE PERMIT SET REV. 3                                                       | 06.10.2016 |
| SHEET NUMBER                                                                 |            |
| A114                                                                         |            |
| Construction Plan                                                            |            |
| SHEET NUMBER                                                                 |            |
| A114                                                                         |            |





**2** FOURTH FLOOR REAR YARD CONSTRUCTION PLAN : BUILDING B  
SCALE: 1/4" = 1'-0"



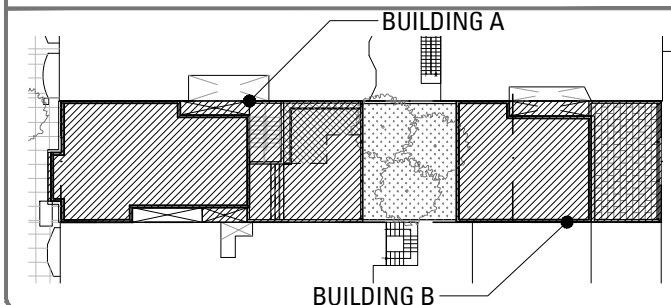
**1** THIRD FLOOR REAR YARD CONSTRUCTION PLAN : BUILDING B  
SCALE: 1/4" = 1'-0"

| CONSTRUCTION KEYNOTES |                                                                                                                                                                                                                       |
|-----------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (C1)                  | (N) APPLIANCES AND EQUIPMENT. SEE SCHEDULE                                                                                                                                                                            |
| (C2)                  | (N) PLUMBING FIXTURES, TYP. SEE SCHEDULE                                                                                                                                                                              |
| (C3)                  | (N) BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                       |
| (C4)                  | (N) FULL HEIGHT BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                           |
| (C5)                  | (N) BASE CABINETS AND COUNTER. SEE INTERIOR ELEVATIONS                                                                                                                                                                |
| (C6)                  | (N) UPPER CABINETS. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                          |
| (C7)                  | (N) GRIPPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS HANDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407          |
| (C8)                  | (N) GUARDRAIL AT 42" A.F.F. WITH 4" MAX. OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS GUARDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407. |
| (C9)                  | (N) STAIR                                                                                                                                                                                                             |
| (C10)                 | (N) TEMPERED GLASS SHOWER ENCLOSURE                                                                                                                                                                                   |
| (C11)                 | (N) SKYLIGHT ABOVE. SEE SCHEDULE                                                                                                                                                                                      |
| (C12)                 | (N) OR REPLACEMENT WINDOW TO BE OPERABLE AND COMPLY WITH EGRESS REQUIREMENTS PER CBC 1029                                                                                                                             |
| (C13)                 | PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 406.3.4                                                                                                  |
| (C14)                 | (N) FAU. HEAT SYSTEM BY G.C.                                                                                                                                                                                          |
| (C15)                 | (N) HOT WATER HEATER BY G.C.                                                                                                                                                                                          |
| (C16)                 | (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR                                                                                                                                                                 |
| (C17)                 | (N) GAS SHUT-OFF                                                                                                                                                                                                      |
| (C18)                 | (N) CARPENTER-BUILT STAIR; (3) 2X12 WD. STRINGERS MIN. W/ 3/4" PLYWD. TREADS & RISERS; P.T. LUMBER AT ALL EXTERIOR CONDITIONS                                                                                         |
| (C19)                 | (N) STAIR SOFFIT ABOVE                                                                                                                                                                                                |
| (C20)                 | (N) FLOOR ABOVE                                                                                                                                                                                                       |
| (C21)                 | LOCATION OF EQUAL ACCESS FOR STORAGE COLLECTION AND LOADING OF RECYCLABLE, COMPOSTABLE, AND LANDFILL MATERIALS.                                                                                                       |
| (C22)                 | 144 SQ. FT. REQUIRED PARKING CLEARANCE                                                                                                                                                                                |
| (C23)                 | (N) DEDICATED CLASS 1 BICYCLE PARKING SPOT                                                                                                                                                                            |
| (C24)                 | REPAIRED (E) STAIRS TO MATCH (E) CONDITIONS                                                                                                                                                                           |
| (C25)                 | WALLS AND CEILING OF PASSAGE SHALL BE RATED AND CONSTRUCTED PER CBC 707 & 711 (CBC TABLE 721.1 (3) 13-1.4)                                                                                                            |
| (C26)                 | PROVIDE 5/8" GYPSUM BOARD ON UNDERSIDE OF STAIRS                                                                                                                                                                      |
| (C27)                 | (N) CONCRETE RETAINING WALL                                                                                                                                                                                           |
| (C28)                 | (N) EXHAUST HOOD COMPLIANT WITH CBC 2013, EXTERIOR VENT                                                                                                                                                               |
| (C29)                 | (N) CONTINUOUS HOUSE FAN FOR AREA GREATER THAN 20'-0" FROM EXTERIOR OPENING FOR REQUIRED VENTILATION                                                                                                                  |
| (C30)                 | (N) GLASS PARTITION                                                                                                                                                                                                   |
| (C31)                 | MINIMUM 200 SQ. INCH LOUVER FOR GARAGE VENTILATION                                                                                                                                                                    |
| (C32)                 | 1 RISER AT 7" MAXIMUM                                                                                                                                                                                                 |
| (C33)                 | (N) METAL LOUVER                                                                                                                                                                                                      |
| (C34)                 | (N) FIXED GLASS PANEL UP TO 3'-0" A.F.F. INSIDE WINDOW FRAME                                                                                                                                                          |

### MECHANICAL GENERAL NOTES

- ENVIRONMENTAL AIR DUCTS TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING.
- PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2
- PROVIDE COMBUSTION AIR PER CMC CHAPTER 7.
- PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.

### KEY PLAN



### LEGEND

- (E) CONSTRUCTION TO BE REMOVED
  - ===== (E) WALL CONSTRUCTION
  - (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.
  - INDICATES RATED ASSEMBLY. SEE SHEET A901.
  - (N) SOUND ATTENUATION BATT INSULATION
  - G (N) GAS SHUT OFF; LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3]
- NOTE: ALL (N) WALLS TYPE "A" U.O.N.

### CONSTRUCTION GENERAL NOTES

- ALL (N) WALLS TYPE "A" U.O.N. SEE SCHEDULE, A901.
- ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
- DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 3' OFF JAMB, U.O.N.
- ALL REQUIRED HANDRAILS SHALL COMPLY WITH HANDRAIL GRASPABILITY PER CBC 1012.3.
- PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION.
- PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM E2112-07, STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.
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- PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED.
- PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH
- WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD
- ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
- ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE.
- STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.
- ALL APPLIANCES WITH QUICK-ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10)
- ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009)
- WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2)
- KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.0122" MINIMUM THICK (2013 CMC 920.3)
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- ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.
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- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4)

870 Union Street  
Residence Addition  
and Remodel

870 UNION STREET,  
SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650  
San Francisco, CA 94104  
T 415 346 9990



#### RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
| SITE PERMIT SET REV.   | 04.27.2016 |
| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |
|                        |            |
|                        |            |
|                        |            |

#### SITE PERMIT SET REVISION 3

|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

#### Construction Plan

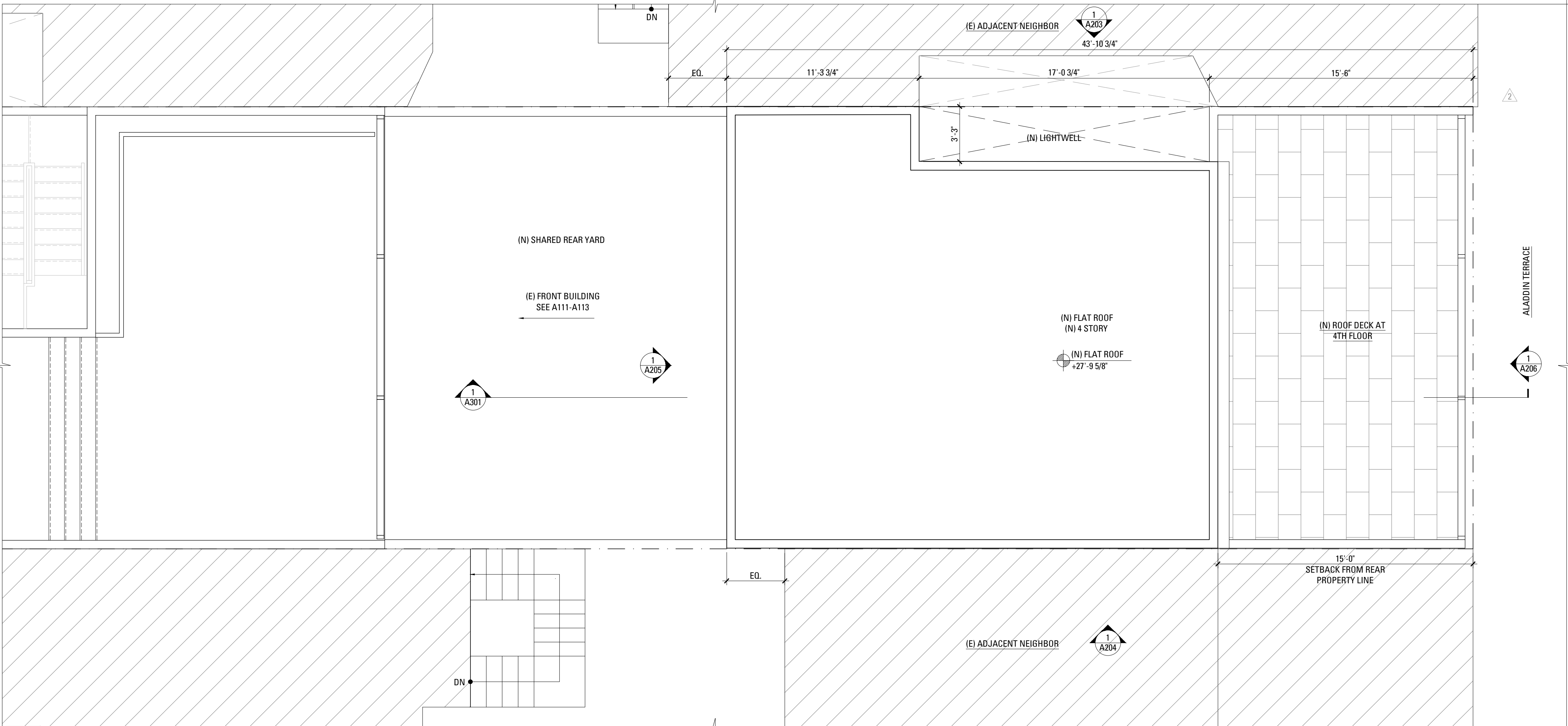
SHEET NUMBER

**A115**



2016/Jun/13

A116-CONSTRUCTION PLAN.DWG



**1** ROOF REAR YARD CONSTRUCTION PLAN : BUILDING B  
SCALE: 1/4" = 1'-0"

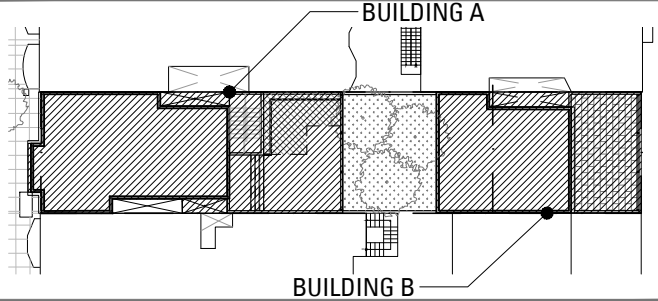
## CONSTRUCTION KEYNOTES

|     |                                                                                                                                                                                                                      |
|-----|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| C1  | (N) APPLIANCES AND EQUIPMENT. SEE SCHEDULE                                                                                                                                                                           |
| C2  | (N) PLUMBING FIXTURES, TYP. SEE SCHEDULE                                                                                                                                                                             |
| C3  | (N) BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                      |
| C4  | (N) FULL HEIGHT BUILT-IN CASEWORK. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                          |
| C5  | (N) BASE CABINETS AND COUNTER. SEE INTERIOR ELEVATIONS                                                                                                                                                               |
| C6  | (N) UPPER CABINETS. SEE INTERIOR ELEVATIONS. PROVIDE BACKING                                                                                                                                                         |
| C7  | (N) GRIPPABLE HANDRAIL @ 36" ABOVE NOSING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1; GLASS HANDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407         |
| C8  | (N) GUARDRAIL AT 42" A.F.F. WITH 4" MAX. OPENING; DESIGN SHALL RESIST LINEAR LOAD OF 50 P.L.F. IN ACCORDANCE W/ SECTION 4.5.1 OF ASCE 7 PER CBC 1607.8.1;GLASS GUARDRAIL ASSEMBLIES SHALL ALSO COMPLY WITH CBC 2407. |
| C9  | (N) STAIR                                                                                                                                                                                                            |
| C10 | (N) TEMPERED GLASS SHOWER ENCLOSURE                                                                                                                                                                                  |
| C11 | (N) SKYLIGHT ABOVE. SEE SCHEDULE                                                                                                                                                                                     |
| C12 | (N) OR REPLACEMENT WINDOW TO BE OPERABLE AND COMPLY WITH EGRESS REQUIREMENTS PER CBC 1029                                                                                                                            |
| C13 | PROVIDE MIN. 1/2" TYPE "X" GWB. TO WALLS & MIN. 5/8" TYPE "X" GWB. TO THE CEILING ON THE GARAGE SIDE PER CBC 406.3.4                                                                                                 |
| C14 | (N) FAU. HEAT SYSTEM BY G.C.                                                                                                                                                                                         |
| C15 | (N) HOT WATER HEATER BY G.C.                                                                                                                                                                                         |
| C16 | (N) WASHER/DRYER AND HOOK UPS. VENT DRYER TO EXTERIOR                                                                                                                                                                |
| C17 | (N) GAS SHUT-OFF                                                                                                                                                                                                     |
| C18 | (N) CARPENTER-BUILT STAIR; (3) 2X12 WD. STRINGERS MIN. W/ 3/4" PLYWD. TREADS & RISERS; P.T. LUMBER AT ALL EXTERIOR CONDITIONS                                                                                        |
| C19 | (N) STAIR SOFFIT ABOVE                                                                                                                                                                                               |
| C20 | (N) FLOOR ABOVE                                                                                                                                                                                                      |
| C21 | LOCATION OF EQUAL ACCESS FOR STORAGE COLLECTION AND LOADING OF RECYCLABLE, COMPOSTABLE, AND LANDFILL MATERIALS.                                                                                                      |
| C22 | 144 SQ. FT. REQUIRED PARKING CLEARANCE                                                                                                                                                                               |
| C23 | (N) DEDICATED CLASS 1 BICYCLE PARKING SPOT                                                                                                                                                                           |
| C24 | REPAIRED (E) STAIRS TO MATCH (E) CONDITIONS                                                                                                                                                                          |
| C25 | WALLS AND CEILING OF PASSAGE SHALL BE RATED AND CONSTRUCTED PER CBC 707 & 711 (CBC TABLE 721.1 (3) 13-1.4)                                                                                                           |
| C26 | PROVIDE 5/8" GYPSUM BOARD ON UNDERSIDE OF STAIRS                                                                                                                                                                     |
| C27 | (N) CONCRETE RETAINING WALL                                                                                                                                                                                          |
| C28 | (N) EXHAUST HOOD COMPLIANT WITH CBC 2013, EXTERIOR VENT                                                                                                                                                              |
| C29 | (N) CONTINUOUS HOUSE FAN FOR AREA GREATER THAN 20'-0" FROM EXTERIOR OPENING FOR REQUIRED VENTILATION                                                                                                                 |
| C30 | (N) GLASS PARTITION                                                                                                                                                                                                  |
| C31 | MINIMUM 200 SQ. INCH LOUVER FOR GARAGE VENTILATION                                                                                                                                                                   |
| C32 | 1 RISER AT 7" MAXIMUM                                                                                                                                                                                                |
| C33 | (N) METAL LOUVER                                                                                                                                                                                                     |
| C34 | (N) FIXED GLASS PANEL UP TO 3'-0" A.F.F. INSIDE WINDOW FRAME                                                                                                                                                         |

## MECHANICAL GENERAL NOTES

- ENVIRONMENTAL AIR DUCTS TERMINATE 3' FROM PROPERTY LINE & OPENINGS INTO BUILDING.
- PROVIDE GAS VENT TERMINATIONS PER CMC 802.6 & 802.6.2
- PROVIDE COMBUSTION AIR PER CMC CHAPTER 7.
- PROVIDE SPACE HEATING TO ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY.

## KEY PLAN



## LEGEND

- (E) CONSTRUCTION TO BE REMOVED
- ===== (E) WALL CONSTRUCTION
- PARTITION TYPE SYMBOL
- (N) SCHEDULED WALL OR FINISH ASSEMBLY. SEE SHEET A901.
- INDICATES RATED ASSEMBLY. SEE SHEET A901.
- (N) SOUND ATTENUATION BATT INSULATION
- G (N) GAS SHUT OFF; LOCATE IN ACCESSIBLE AREA IN CABINET [CMC 1312.3]

NOTE: ALL (N) WALLS TYPE 'A' U.O.N. SEE SCHEDULE, A901.

## CONSTRUCTION GENERAL NOTES

- ALL (N) WALLS TYPE 'A' U.O.N. SEE SCHEDULE, A901.
- ALL DIMENSIONS ARE TO FACE OF FINISH, CENTERLINE OF OPENING OR EDGE OF JAMB FRAME, U.O.N.
- DOORS NOT LOCATED BY DIMENSION SHALL BE PLACED 3" OFF JAMB, U.O.N.
- ALL REQUIRED HANDRAILS SHALL COMPLY WITH HANDRAIL GRASPABILITY PER CBC 1012.3.
- PROVIDE & INSTALL FLASHING, COUNTERFLASHING, CAP FLASHING, METAL TRIM, OTHER FABRICATED ITEMS AND MISCELLANEOUS SHEET METALWORK AT JUNCTIONS OF A ROOF AND WALL, AT CHIMNEYS, OVER EXPOSED DOORS AND WINDOWS, AT CHANGES OF SIDING MATERIAL IN ROOF VALLEYS OR WHERE REQUIRED TO PROVIDE COMPLETE WATERTIGHT AND WATERPROOF CONSTRUCTION.
- PROVIDE & INSTALL ONE PIECE GSM PAN FLASHING AT ALL NEW AND REPLACEMENT EXTERIOR DOORS. COMPLY WITH ASTM E2112-07, STANDARD PRACTICE FOR INSTALLATION OF EXTERIOR WINDOWS, DOORS, AND SKYLIGHTS.
- WATERPROOFING SHALL OVERLAP FLASHINGS FOR POSITIVE DRAINAGE AT ALL CONDITIONS.
- FLASHING & SHEET METALWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA) ARCHITECTURAL SHEET METAL MANUAL. COMPLY WITH MINIMUM THICKNESS OR GAGE REQUIREMENTS AS SPECIFIED IN SMACNA ARCHITECTURAL SHEET METAL MANUAL.
- ISOLATE AND PROTECT DISSIMILAR METALS FROM CONTACT WITH EACH OTHER BY APPLYING SPECIFIED ISOLATION MATERIAL TO CONTACT SURFACES. PROTECT SURFACES OF SHEET METAL IN CONTACT WITH CONCRETE, TREATED WOOD, OR ALUMINUM WITH A HEAVY COATING OF BITUMINOUS PAINT AS RECOMMENDED BY MANUFACTURER/FABRICATOR.
- FLASHING & SHEET METALWORK WILL NOT BE MEASURED SEPARATELY FOR PAYMENT BUT WILL BE PAID FOR AS PART OF THE CONTRACT LUMP SUM PRICE FOR ARCHITECTURAL WORK.
- PROVIDE MINIMUM OF R-13 BATT INSULATION IN EXTERIOR WALLS ADJACENT TO (N) AND (E) LIVING SPACE, IN AREAS NOT ALREADY INSULATED
- PROVIDE CEMENT BOARD BACKING IN AREAS TO RECEIVE TILE FINISH
- WOOD LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD
- ALL DOORS AND WINDOWS NOT TAGGED ARE EXISTING TO REMAIN U.O.N.
- ALL TOILETS TO HAVE A MINIMUM CLEARANCE OF 24" IN FRONT AND 15" FROM CENTERLINE OF THE TOILET TO EACH SIDE
- STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES ABOVE THE FRONT EDGE OF THE NOSING.
- ALL APPLIANCES WITH QUICK-ACTING VALVES, INCLUDING BUT NOT LIMITED TO DISHWASHERS & CLOTHES WASHERS, SHALL HAVE WATER HAMMER ARRESTORS (CPC 609.10)
- ALL EXISTING NON-COMPLIANT AND NEW PLUMBING FIXTURES SHALL COMPLY WITH CALIFORNIA SB-407 (2009)
- WATER HEATERS SHALL HAVE SEISMIC STRAPPING AT A POINT WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF THE WATER HEATER'S VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS TO THE STRAP. (CPC 507.2)
- KITCHEN RANGES SHALL BE PROVIDED WITH A METAL VENTILATING HOOD. A VERTICAL CLEARANCE OF 24" MINIMUM BETWEEN THE COOKTOP & METAL VENTILATING HOOD SHALL BE MAINTAINED. THE HOOD SHALL BE AS WIDE AS THE RANGE AND CENTERED OVER THE UNIT. THE METAL HOOD SHALL BE 0.0122" MINIMUM THICK (2013 CMC 920.3)
- EACH KITCHEN IS REQUIRED TO HAVE AN EXHAUST FAN DUCTED TO THE OUTSIDE WITH A MINIMUM VENTILATION RATE OF 100 CFM.
- ALL EXHAUST FAN DUCTING, INCLUDING BUT NOT LIMITED TO TO KITCHEN AND BATHROOM EXHAUST FANS, SHALL BE SIZED ACCORDING TO ASHRAE STANDARD 62.2 TABLE 7.1.
- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY AT LEAST AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22 INCHES BY 30 INCHES. (CPC 508.4)
- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A SOLID FLOOR PASSAGEWAY OF NOT LESS THAN 24 INCHES AND A WORK PLATFORM OF NOT LESS THAN 30 INCHES BY 30 INCHES IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE. (CPC 508.4.2 & 508.4.3)
- APPLIANCES IN ATTIC AND UNDER-FLOOR SPACES SHALL HAVE A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE NEAR THE APPLIANCE. (CPC 508.4.4)

## 870 Union Street Residence Addition and Remodel

870 UNION STREET,  
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RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
| SITE PERMIT SET REV.   | 04.27.2016 |
| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |



SITE PERMIT SET  
REVISION 3

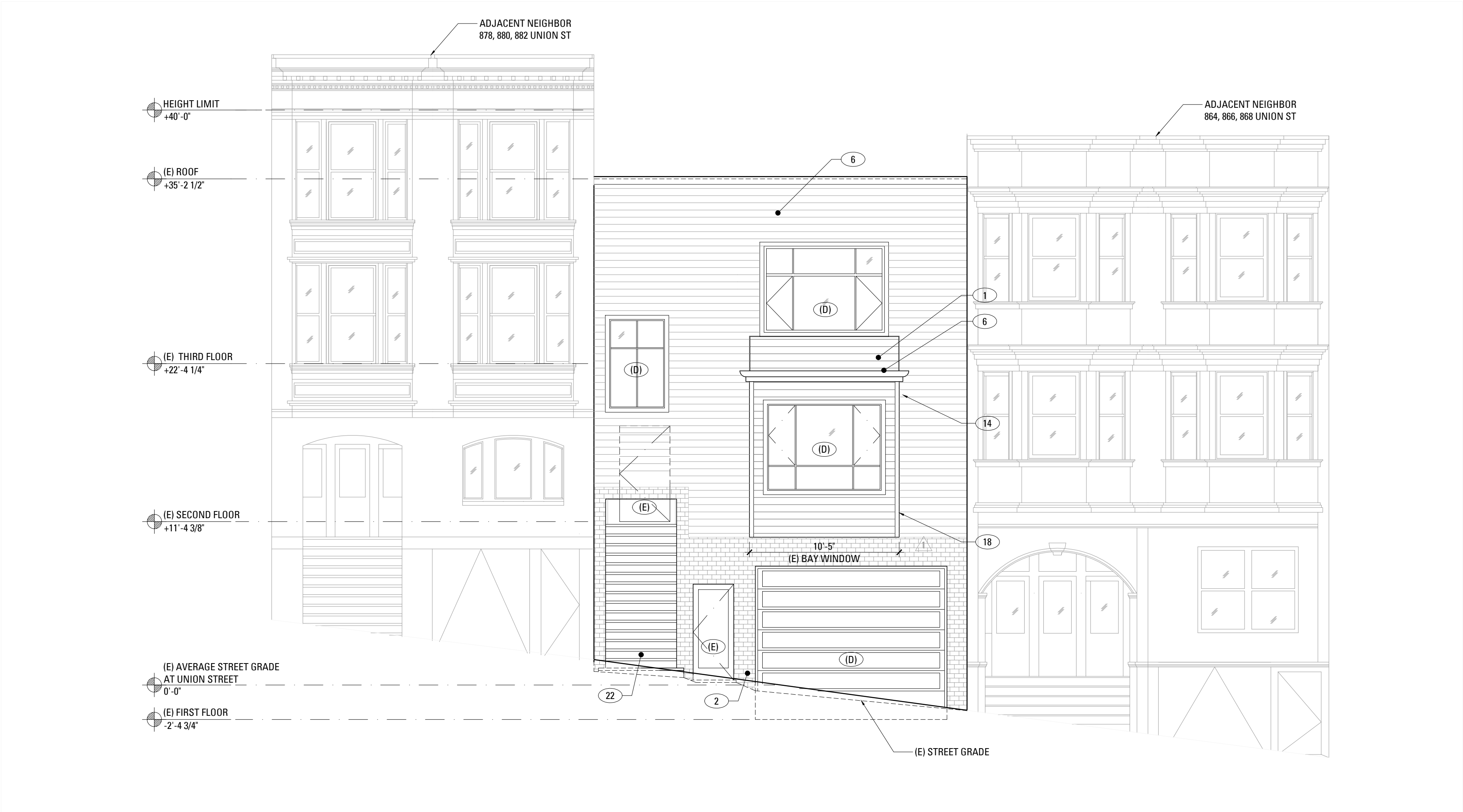
|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Construction Plan

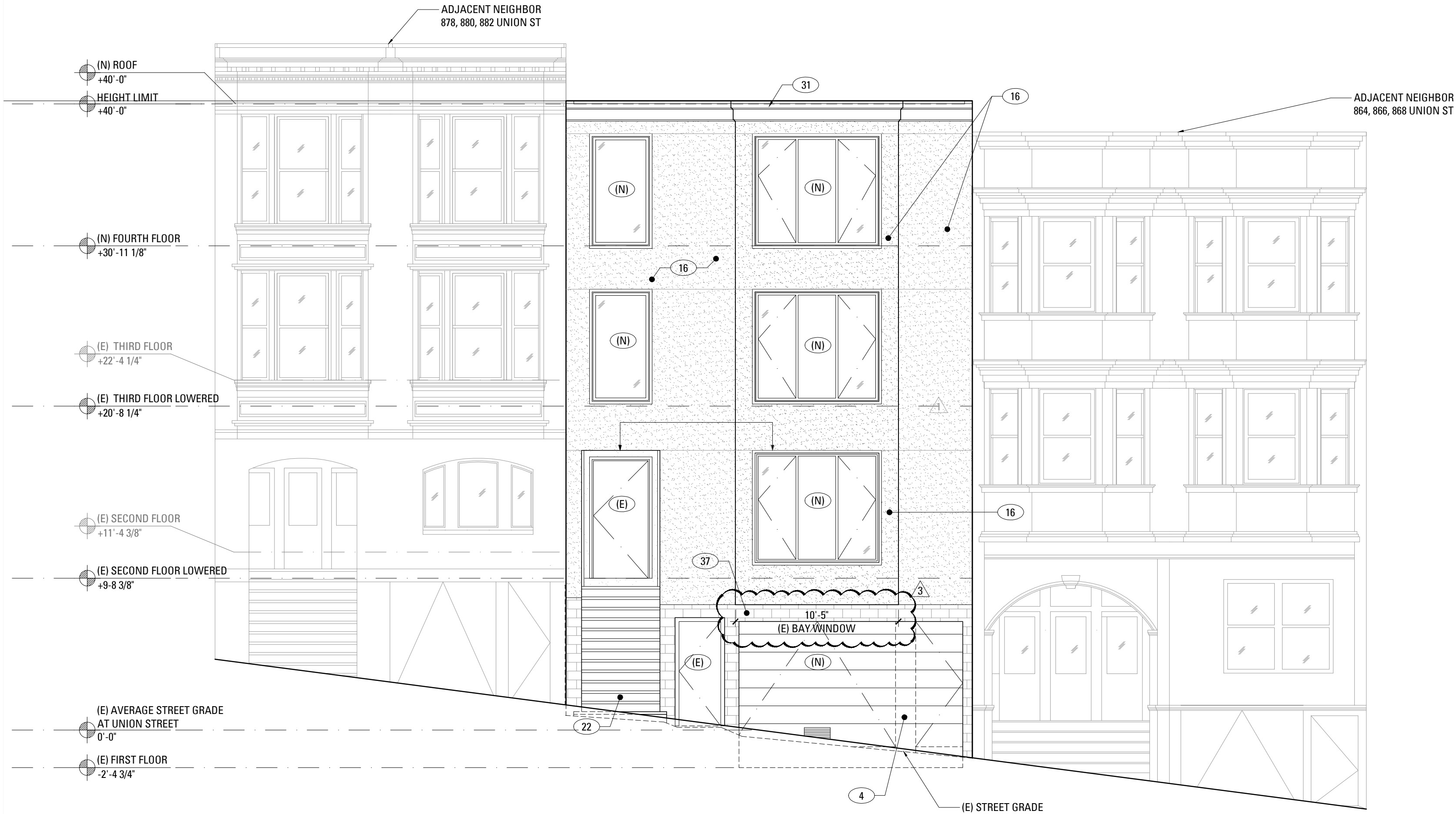
SHEET NUMBER

A116





**2** EXISTING FRONT ELEVATION : BUILDING A (SOUTH)  
SCALE: 3/16" = 1'-0"

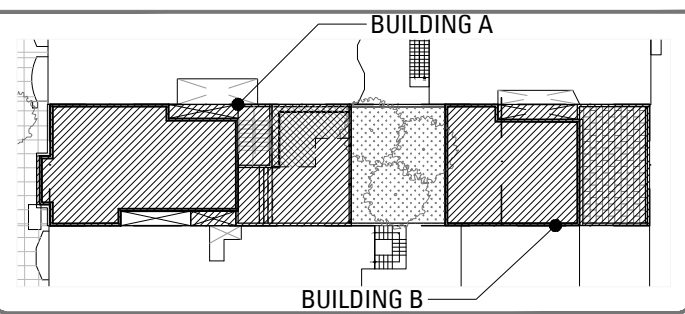


**1** PROPOSED FRONT ELEVATION : BUILDING A (SOUTH)  
SCALE: 3/16" = 1'-0"

## EXTERIOR ELEVATION KEYNOTES

|     |                                                                                                       |
|-----|-------------------------------------------------------------------------------------------------------|
| (E) | (E) DOOR OR WINDOW, TO REMAIN                                                                         |
| (D) | (E) DOOR OR WINDOW, TO BE REMOVED                                                                     |
| (N) | (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902                                                        |
| (R) | REPLACE (E) WINDOW OR DOOR IN KIND, SEE SCHEDULE A901 AND A902                                        |
| 1   | (E) PARTIAL HEIGHT WALL TO BE REMOVED                                                                 |
| 2   | (E) PAINTED BRICK FINISH TO BE REMOVED                                                                |
| 3   | (E) WOOD FENCE                                                                                        |
| 4   | (N) WOOD SIDING                                                                                       |
| 5   | (N) CONCRETE RETAINING WALL                                                                           |
| 6   | (E) WOOD SIDING TO BE REMOVED                                                                         |
| 7   | (E) WOOD FENCE TO BE REMOVED TO ACCOMMODATE (N) WORK                                                  |
| 8   | (E) LANDSCAPE RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                    |
| 12  | (E) WOOD STAIRS TO BE REMOVED                                                                         |
| 13  | (N) WOOD DECK                                                                                         |
| 14  | (E) WOOD TRIM TO BE REMOVED                                                                           |
| 15  | (N) GUARDRAIL                                                                                         |
| 16  | (N) PAINTED PLASTER FINISH                                                                            |
| 17  | (E) OPENING TO BE ENCLOSED                                                                            |
| 18  | (E) BAY TO REMAIN                                                                                     |
| 19  | (N) EXIT CORRIDOR, OPEN TO BEYOND                                                                     |
| 20  | (E) WOOD GUARDRAIL TO BE REMOVED                                                                      |
| 21  | (E) AREA TO BE EXCAVATED TO ACCOMMODATE (N) WORK, SEE SECTIONS SHEET A301                             |
| 22  | REPAIR (E) EXTERIOR STAIRS TO MATCH (E) CONDITIONS                                                    |
| 23  | (N) ROOF LINE BEYOND PARAPET                                                                          |
| 24  | (E) WOOD TRIM TO BE REMOVED TO PREPARE FOR (N) WORK                                                   |
| 25  | (E) EXTERIOR STAIRS TO BE REMOVED                                                                     |
| 26  | (N) CONCRETE WALL                                                                                     |
| 27  | (E) RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                              |
| 28  | (N) SMOOTH TROWLED, PAINTED PLASTER FINISH                                                            |
| 29  | (E) LIGHT WELL BEYOND PROPERTY LINE WALL TO BE ALTERED OR REMOVED, SEE CONSTRUCTION PLANS FOR DETAILS |
| 30  | (E) COLUMN TO BE REMOVED                                                                              |
| 31  | (N) WOOD ROOF TRIM                                                                                    |
| 32  | (N) WOOD SIDING TO MATCH THE GARAGE DOOR FINISH                                                       |
| 33  | (N) DOORBELL                                                                                          |
| 34  | (N) RECESSED PEDESTRIAN ENTRANCE                                                                      |
| 35  | (N) WALL SCENCE                                                                                       |
| 36  | (N) METAL AWNING                                                                                      |
| 37  | (N) PAINTED BRICK FINISH                                                                              |

## KEY PLAN



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## RECORD OF DRAWING ISSUANCE

|                        |            |
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| PRE-APP MEETING        | 10.13.2015 |
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| SITE PERMIT SET REV. 3 | 06.10.2016 |
|                        |            |
|                        |            |
|                        |            |

## SITE PERMIT SET REVISION 3

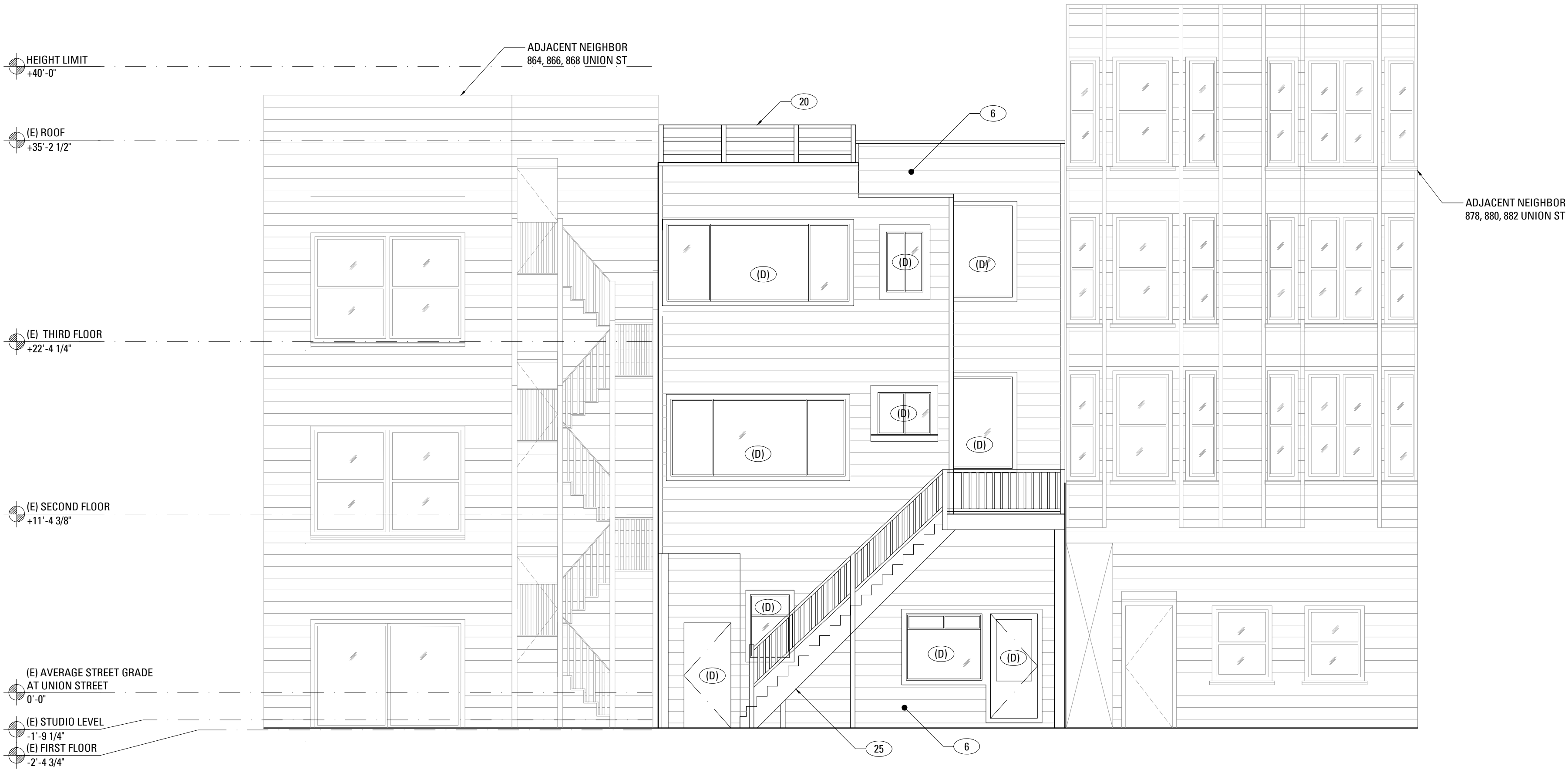
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|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Exterior Elevations

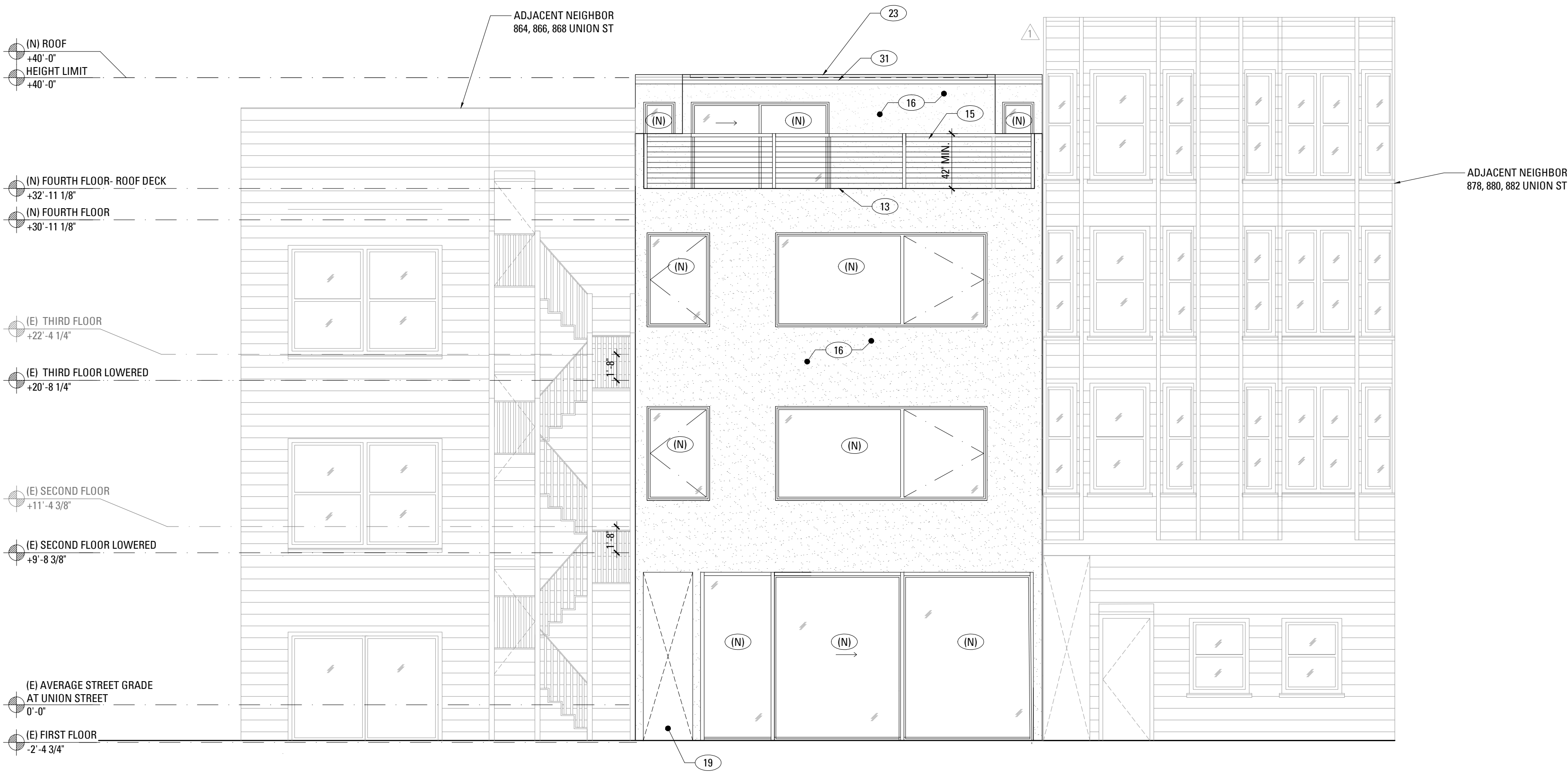
SHEET NUMBER

A201





**2** EXISTING REAR ELEVATION : BUILDING A (NORTH)  
SCALE: 3/16" = 1'-0"

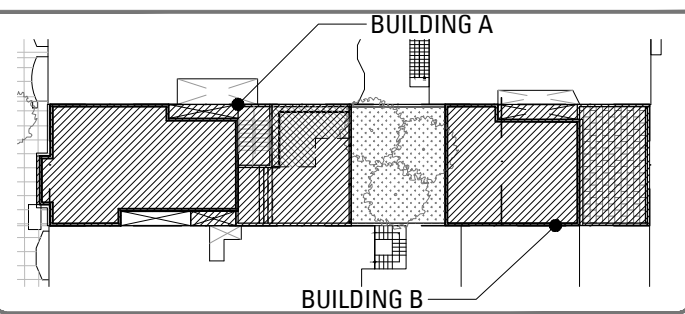


**1** PROPOSED REAR ELEVATION : BUILDING A (NORTH)  
SCALE: 3/16" = 1'-0"

## EXTERIOR ELEVATION KEYNOTES

|     |                                                                                                       |
|-----|-------------------------------------------------------------------------------------------------------|
| (E) | (E) DOOR OR WINDOW, TO REMAIN                                                                         |
| (D) | (E) DOOR OR WINDOW, TO BE REMOVED                                                                     |
| (N) | (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902                                                        |
| (R) | REPLACE (E) WINDOW OR DOOR IN KIND, SEE SCHEDULE A901 AND A902                                        |
| 1   | (E) PARTIAL HEIGHT WALL TO BE REMOVED                                                                 |
| 2   | (E) PAINTED BRICK FINISH TO BE REMOVED                                                                |
| 3   | (E) WOOD FENCE                                                                                        |
| 4   | (N) WOOD SIDING                                                                                       |
| 5   | (N) CONCRETE RETAINING WALL                                                                           |
| 6   | (E) WOOD SIDING TO BE REMOVED                                                                         |
| 7   | (E) WOOD FENCE TO BE REMOVED TO ACCOMMODATE (N) WORK                                                  |
| 8   | (E) LANDSCAPE RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                    |
| 12  | (E) WOOD STAIRS TO BE REMOVED                                                                         |
| 13  | (N) WOOD DECK                                                                                         |
| 14  | (E) WOOD TRIM TO BE REMOVED                                                                           |
| 15  | (N) GUARDRAIL                                                                                         |
| 16  | (N) PAINTED PLASTER FINISH                                                                            |
| 17  | (E) OPENING TO BE ENCLOSED                                                                            |
| 18  | (E) BAY TO REMAIN                                                                                     |
| 19  | (N) EXIT CORRIDOR, OPEN TO BEYOND                                                                     |
| 20  | (E) WOOD GUARDRAIL TO BE REMOVED                                                                      |
| 21  | (E) AREA TO BE EXCAVATED TO ACCOMMODATE (N) WORK, SEE SECTIONS SHEET A301                             |
| 22  | REPAIR (E) EXTERIOR STAIRS TO MATCH (E) CONDITIONS                                                    |
| 23  | (N) ROOF LINE BEYOND PARAPET                                                                          |
| 24  | (E) WOOD TRIM TO BE REMOVED TO PREPARE FOR (N) WORK                                                   |
| 25  | (E) EXTERIOR STAIRS TO BE REMOVED                                                                     |
| 26  | (N) CONCRETE WALL                                                                                     |
| 27  | (E) RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                              |
| 28  | (N) SMOOTH TROWLED, PAINTED PLASTER FINISH                                                            |
| 29  | (E) LIGHT WELL BEYOND PROPERTY LINE WALL TO BE ALTERED OR REMOVED, SEE CONSTRUCTION PLANS FOR DETAILS |
| 30  | (E) COLUMN TO BE REMOVED                                                                              |
| 31  | (N) WOOD ROOF TRIM                                                                                    |
| 32  | (N) WOOD SIDING TO MATCH THE GARAGE DOOR FINISH                                                       |
| 33  | (N) DOORBELL                                                                                          |
| 34  | (N) RECESSED PEDESTRIAN ENTRANCE                                                                      |
| 35  | (N) WALL SCNCE                                                                                        |
| 36  | (N) METAL AWNING                                                                                      |
| 37  | (N) PAINTED BRICK FINISH                                                                              |

## KEY PLAN



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## RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
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| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |

## SITE PERMIT SET REVISION 3

|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Exterior Elevations

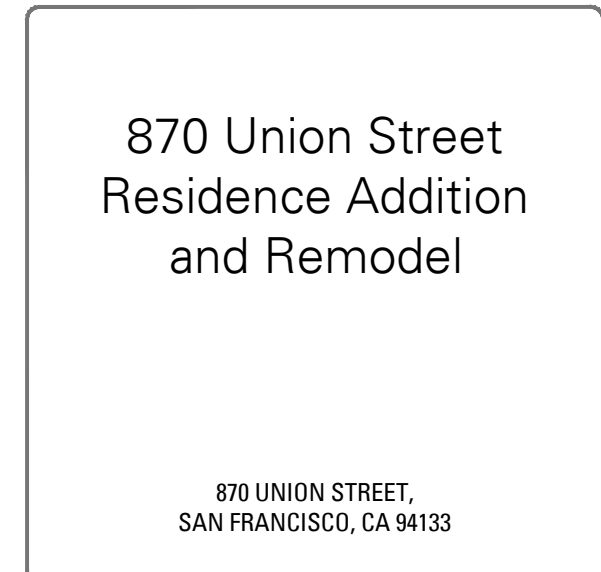
SHEET NUMBER

A202





|      |                                                                                                       |
|------|-------------------------------------------------------------------------------------------------------|
| (E)  | (E) DOOR OR WINDOW, TO REMAIN                                                                         |
| (ID) | (E) DOOR OR WINDOW, TO BE REMOVED                                                                     |
| (N)  | (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902                                                        |
| (R)  | REPLACE (E) WINDOW OR DOOR IN KIND, SEE SCHEDULE A901 AND A902                                        |
| 1    | (E) PARTIAL HEIGHT WALL TO BE REMOVED                                                                 |
| 2    | (E) PAINTED BRICK FINISH TO BE REMOVED                                                                |
| 3    | (E) WOOD FENCE                                                                                        |
| 4    | (N) WOOD SIDING                                                                                       |
| 5    | (N) CONCRETE RETAINING WALL                                                                           |
| 6    | (E) WOOD SIDING TO BE REMOVED                                                                         |
| 7    | (E) WOOD FENCE TO BE REMOVED TO ACCOMMODATE (N) WORK                                                  |
| 8    | (E) LANDSCAPE RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                    |
| 12   | (E) WOOD STAIRS TO BE REMOVED                                                                         |
| 13   | (N) WOOD DECK                                                                                         |
| 14   | (E) WOOD TRIM TO BE REMOVED                                                                           |
| 15   | (N) GUARDRAIL                                                                                         |
| 16   | (N) PAINTED PLASTER FINISH                                                                            |
| 17   | (E) OPENING TO BE ENCLOSED                                                                            |
| 18   | (E) BAY TO REMAIN                                                                                     |
| 19   | (N) EXIT CORRIDOR, OPEN TO BEYOND                                                                     |
| 20   | (E) WOOD GUARDRAIL TO BE REMOVED                                                                      |
| 21   | (E) AREA TO BE EXCAVATED TO ACCOMMODATE (N) WORK, SEE SECTIONS SHEET A301                             |
| 22   | REPAIR (E) EXTERIOR STAIRS TO MATCH (E) CONDITIONS                                                    |
| 23   | (N) ROOF LINE BEYOND PARAPET                                                                          |
| 24   | (E) WOOD TRIM TO BE REMOVED TO PREPARE FOR (N) WORK                                                   |
| 25   | (E) EXTERIOR STAIRS TO BE REMOVED                                                                     |
| 26   | (N) CONCRETE WALL                                                                                     |
| 27   | (E) RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                              |
| 28   | (N) SMOOTH TROWLED, PAINTED PLASTER FINISH                                                            |
| 29   | (E) LIGHT WELL BEYOND PROPERTY LINE WALL TO BE ALTERED OR REMOVED, SEE CONSTRUCTION PLANS FOR DETAILS |
| 30   | (E) COLUMN TO BE REMOVED                                                                              |
| 31   | (N) WOOD ROOF TRIM                                                                                    |
| 32   | (N) WOOD SIDING TO MATCH THE GARAGE DOOR FINISH                                                       |
| 33   | (N) DOORBELL                                                                                          |
| 34   | (N) RECESSED PEDESTRIAN ENTRANCE                                                                      |
| 35   | (N) WALL SCONCE                                                                                       |
| 36   | (N) METAL AWNING                                                                                      |
| 37   | (N) PAINTED BRICK FINISH                                                                              |



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| RECORD OF DRAWING ISSUANCE |              |
|----------------------------|--------------|
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| SITE PERMIT SET            | 11.13.2015   |
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| SITE PERMIT SET REV. 2     | ⚠ 05.26.2016 |
| SITE PERMIT SET REV. 3     | ⚠ 06.10.2016 |

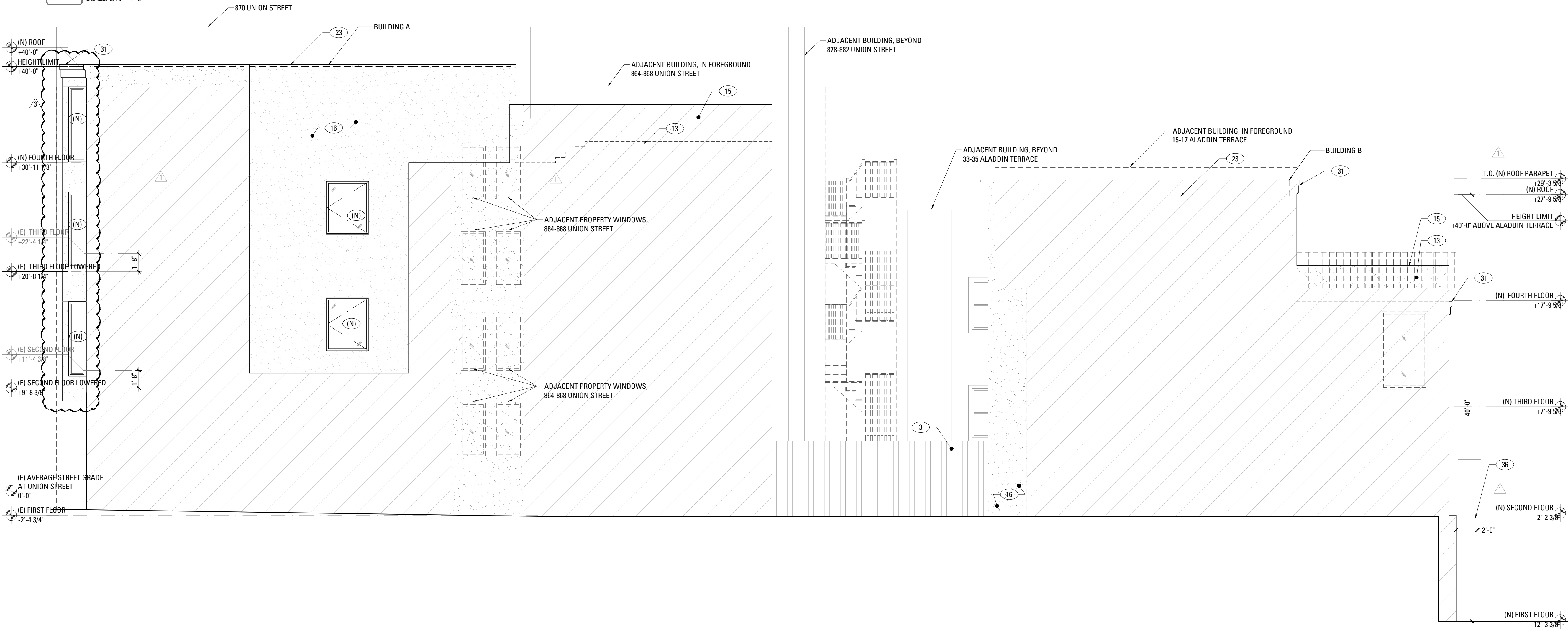
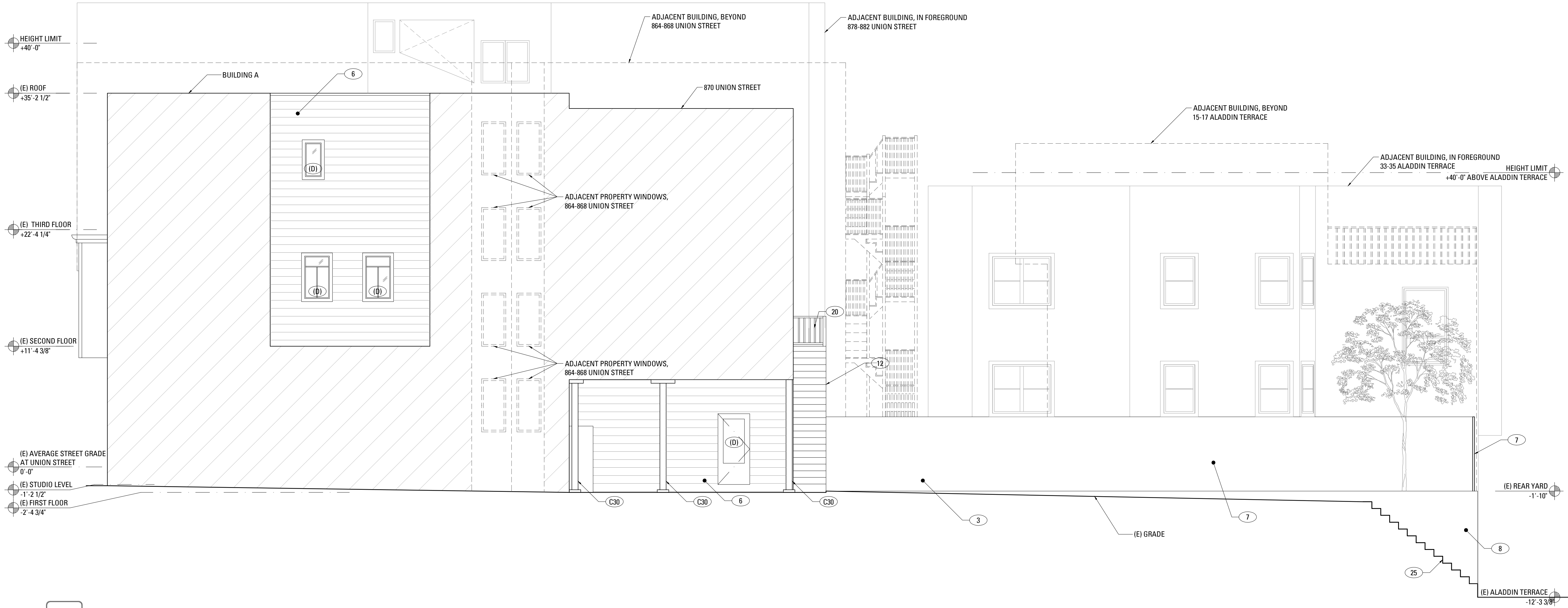
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| SITE PERMIT SET<br>REVISION 3 |        |
| Drawn By:                     | S.A.   |
| Checked By :                  | B.M.   |
| Project Number:               | 1554.1 |

## Exterior Elevations

SHEET NUMBER

# A203

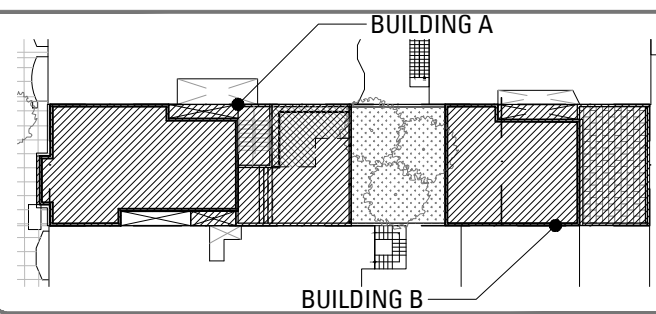




## EXTERIOR ELEVATION KEYNOTES

|     |                                                                                                       |
|-----|-------------------------------------------------------------------------------------------------------|
| (E) | (E) DOOR OR WINDOW, TO REMAIN                                                                         |
| (D) | (E) DOOR OR WINDOW, TO BE REMOVED                                                                     |
| (N) | (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902                                                        |
| (R) | REPLACE (E) WINDOW OR DOOR IN KIND, SEE SCHEDULE A901 AND A902                                        |
| 1   | (E) PARTIAL HEIGHT WALL TO BE REMOVED                                                                 |
| 2   | (E) PAINTED BRICK FINISH TO BE REMOVED                                                                |
| 3   | (E) WOOD FENCE                                                                                        |
| 4   | (N) WOOD SIDING                                                                                       |
| 5   | (N) CONCRETE RETAINING WALL                                                                           |
| 6   | (E) WOOD SIDING TO BE REMOVED                                                                         |
| 7   | (E) WOOD FENCE TO BE REMOVED TO ACCOMMODATE (N) WORK                                                  |
| 8   | (E) LANDSCAPE RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                    |
| 12  | (E) WOOD STAIRS TO BE REMOVED                                                                         |
| 13  | (N) WOOD DECK                                                                                         |
| 14  | (E) WOOD TRIM TO BE REMOVED                                                                           |
| 15  | (N) GUARDRAIL                                                                                         |
| 16  | (N) PAINTED PLASTER FINISH                                                                            |
| 17  | (E) OPENING TO BE ENCLOSED                                                                            |
| 18  | (E) BAY TO REMAIN                                                                                     |
| 19  | (N) EXIT CORRIDOR, OPEN TO BEYOND                                                                     |
| 20  | (E) WOOD GUARDRAIL TO BE REMOVED                                                                      |
| 21  | (E) AREA TO BE EXCAVATED TO ACCOMMODATE (N) WORK, SEE SECTIONS SHEET A301                             |
| 22  | REPAIR (E) EXTERIOR STAIRS TO MATCH (E) CONDITIONS                                                    |
| 23  | (N) ROOF LINE BEYOND PARAPET                                                                          |
| 24  | (E) WOOD TRIM TO BE REMOVED TO PREPARE FOR (N) WORK                                                   |
| 25  | (E) EXTERIOR STAIRS TO BE REMOVED                                                                     |
| 26  | (N) CONCRETE WALL                                                                                     |
| 27  | (E) RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                              |
| 28  | (N) SMOOTH TROWLED, PAINTED PLASTER FINISH                                                            |
| 29  | (E) LIGHT WELL BEYOND PROPERTY LINE WALL TO BE ALTERED OR REMOVED, SEE CONSTRUCTION PLANS FOR DETAILS |
| 30  | (E) COLUMN TO BE REMOVED                                                                              |
| 31  | (N) WOOD ROOF TRIM                                                                                    |
| 32  | (N) WOOD SIDING TO MATCH THE GARAGE DOOR FINISH                                                       |
| 33  | (N) DOORBELL                                                                                          |
| 34  | (N) RECESSED PEDESTRIAN ENTRANCE                                                                      |
| 35  | (N) WALL SCENCE                                                                                       |
| 36  | (N) METAL AWNING                                                                                      |
| 37  | (N) PAINTED BRICK FINISH                                                                              |

## KEY PLAN



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## RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
| SITE PERMIT SET REV.   | 04.27.2016 |
| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |

## SITE PERMIT SET REVISION 3

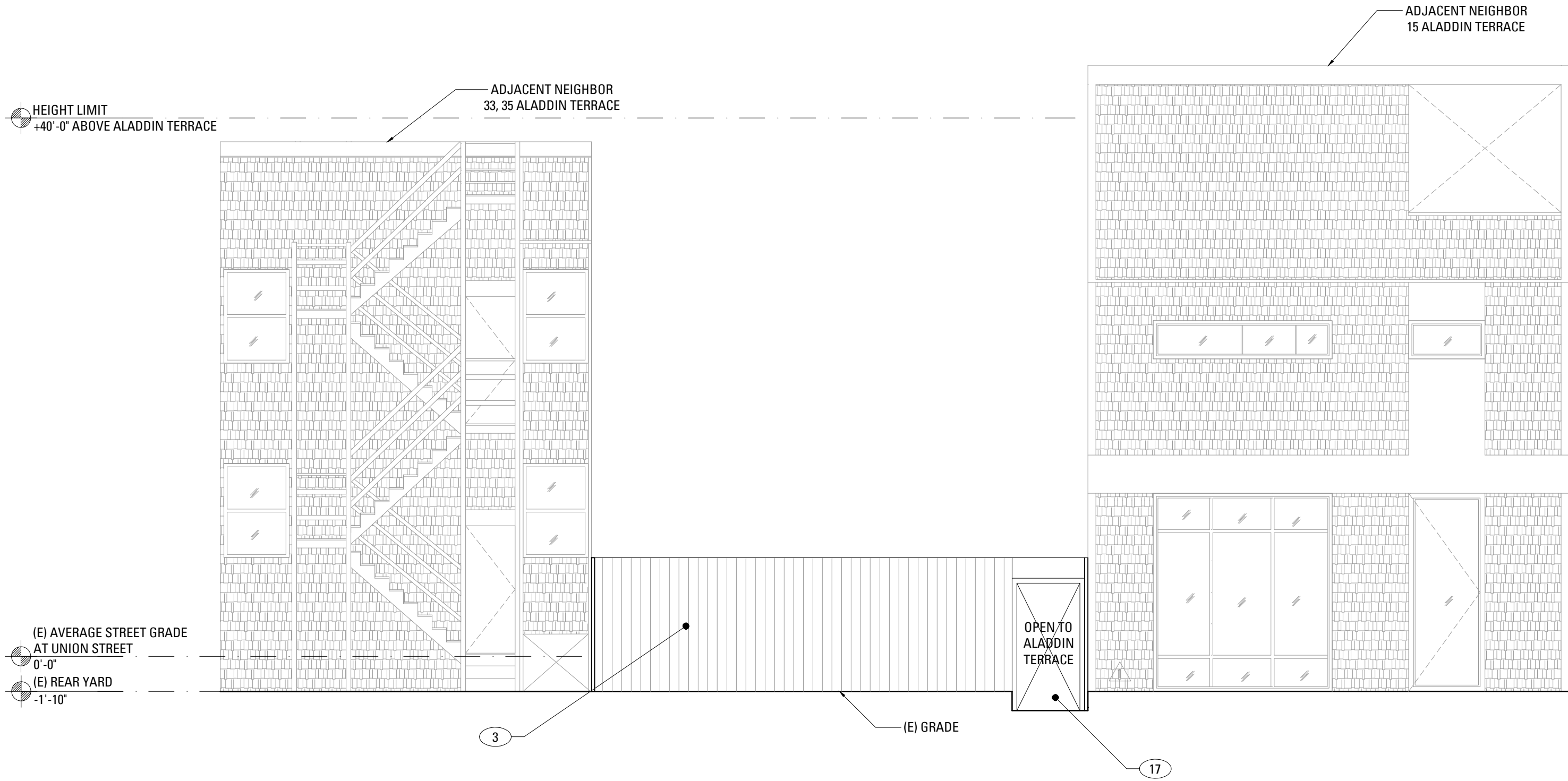
|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

## Exterior Elevations

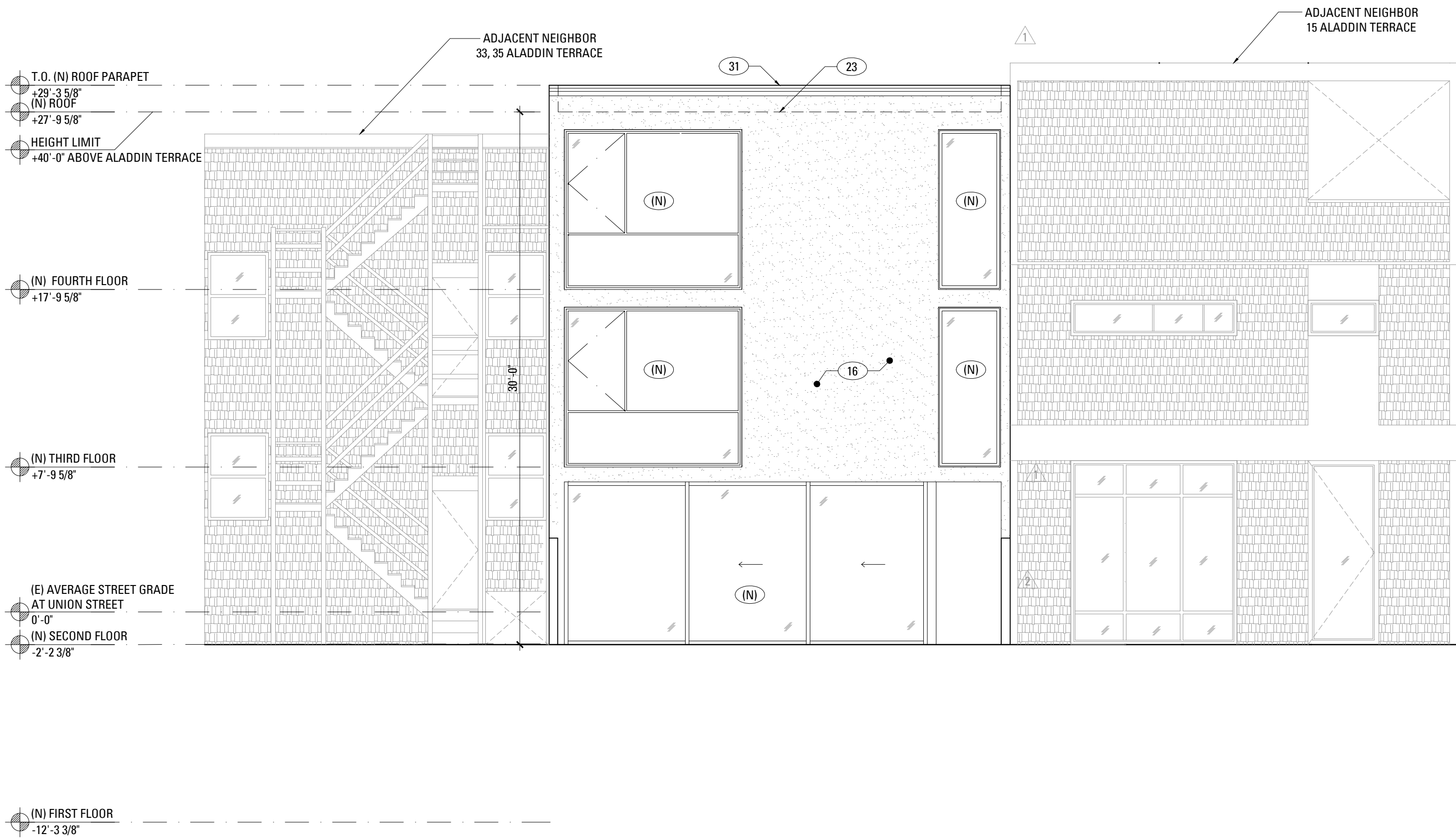
SHEET NUMBER

A204





**2** EXISTING REAR YARD BACK ELEVATION (SOUTH)  
SCALE: 3/16" = 1'-0"

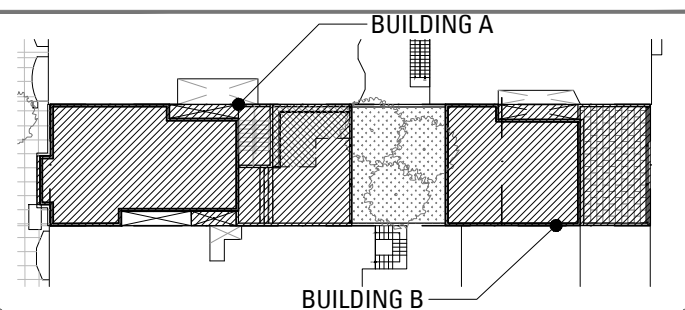


**1** PROPOSED REAR YARD BACK ELEVATION : BUILDING B (SOUTH)  
SCALE: 3/16" = 1'-0"

## EXTERIOR ELEVATION KEYNOTES

|     |                                                                                                       |
|-----|-------------------------------------------------------------------------------------------------------|
| (E) | (E) DOOR OR WINDOW, TO REMAIN                                                                         |
| (D) | (E) DOOR OR WINDOW, TO BE REMOVED                                                                     |
| (N) | (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902                                                        |
| (R) | REPLACE (E) WINDOW OR DOOR IN KIND, SEE SCHEDULE A901 AND A902                                        |
| 1   | (E) PARTIAL HEIGHT WALL TO BE REMOVED                                                                 |
| 2   | (E) PAINTED BRICK FINISH TO BE REMOVED                                                                |
| 3   | (E) WOOD FENCE                                                                                        |
| 4   | (N) WOOD SIDING                                                                                       |
| 5   | (N) CONCRETE RETAINING WALL                                                                           |
| 6   | (E) WOOD SIDING TO BE REMOVED                                                                         |
| 7   | (E) WOOD FENCE TO BE REMOVED TO ACCOMMODATE (N) WORK                                                  |
| 8   | (E) LANDSCAPE RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                    |
| 12  | (E) WOOD STAIRS TO BE REMOVED                                                                         |
| 13  | (N) WOOD DECK                                                                                         |
| 14  | (E) WOOD TRIM TO BE REMOVED                                                                           |
| 15  | (N) GUARDRAIL                                                                                         |
| 16  | (N) PAINTED PLASTER FINISH                                                                            |
| 17  | (E) OPENING TO BE ENCLOSED                                                                            |
| 18  | (E) BAY TO REMAIN                                                                                     |
| 19  | (N) EXIT CORRIDOR, OPEN TO BEYOND                                                                     |
| 20  | (E) WOOD GUARDRAIL TO BE REMOVED                                                                      |
| 21  | (E) AREA TO BE EXCAVATED TO ACCOMMODATE (N) WORK, SEE SECTIONS SHEET A301                             |
| 22  | REPAIR (E) EXTERIOR STAIRS TO MATCH (E) CONDITIONS                                                    |
| 23  | (N) ROOF LINE BEYOND PARAPET                                                                          |
| 24  | (E) WOOD TRIM TO BE REMOVED TO PREPARE FOR (N) WORK                                                   |
| 25  | (E) EXTERIOR STAIRS TO BE REMOVED                                                                     |
| 26  | (N) CONCRETE WALL                                                                                     |
| 27  | (E) RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                              |
| 28  | (N) SMOOTH TROWLED, PAINTED PLASTER FINISH                                                            |
| 29  | (E) LIGHT WELL BEYOND PROPERTY LINE WALL TO BE ALTERED OR REMOVED, SEE CONSTRUCTION PLANS FOR DETAILS |
| 30  | (E) COLUMN TO BE REMOVED                                                                              |
| 31  | (N) WOOD ROOF TRIM                                                                                    |
| 32  | (N) WOOD SIDING TO MATCH THE GARAGE DOOR FINISH                                                       |
| 33  | (N) DOORBELL                                                                                          |
| 34  | (N) RECESSED PEDESTRIAN ENTRANCE                                                                      |
| 35  | (N) WALL SCNCE                                                                                        |
| 36  | (N) METAL AWNING                                                                                      |
| 37  | (N) PAINTED BRICK FINISH                                                                              |

## KEY PLAN



870 Union Street  
Residence Addition  
and Remodel

870 UNION STREET,  
SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650  
San Francisco, CA 94104  
T 415 346 9990



## RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
| SITE PERMIT SET REV.   | 04.27.2016 |
| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |
|                        |            |
|                        |            |

## SITE PERMIT SET REVISION 3

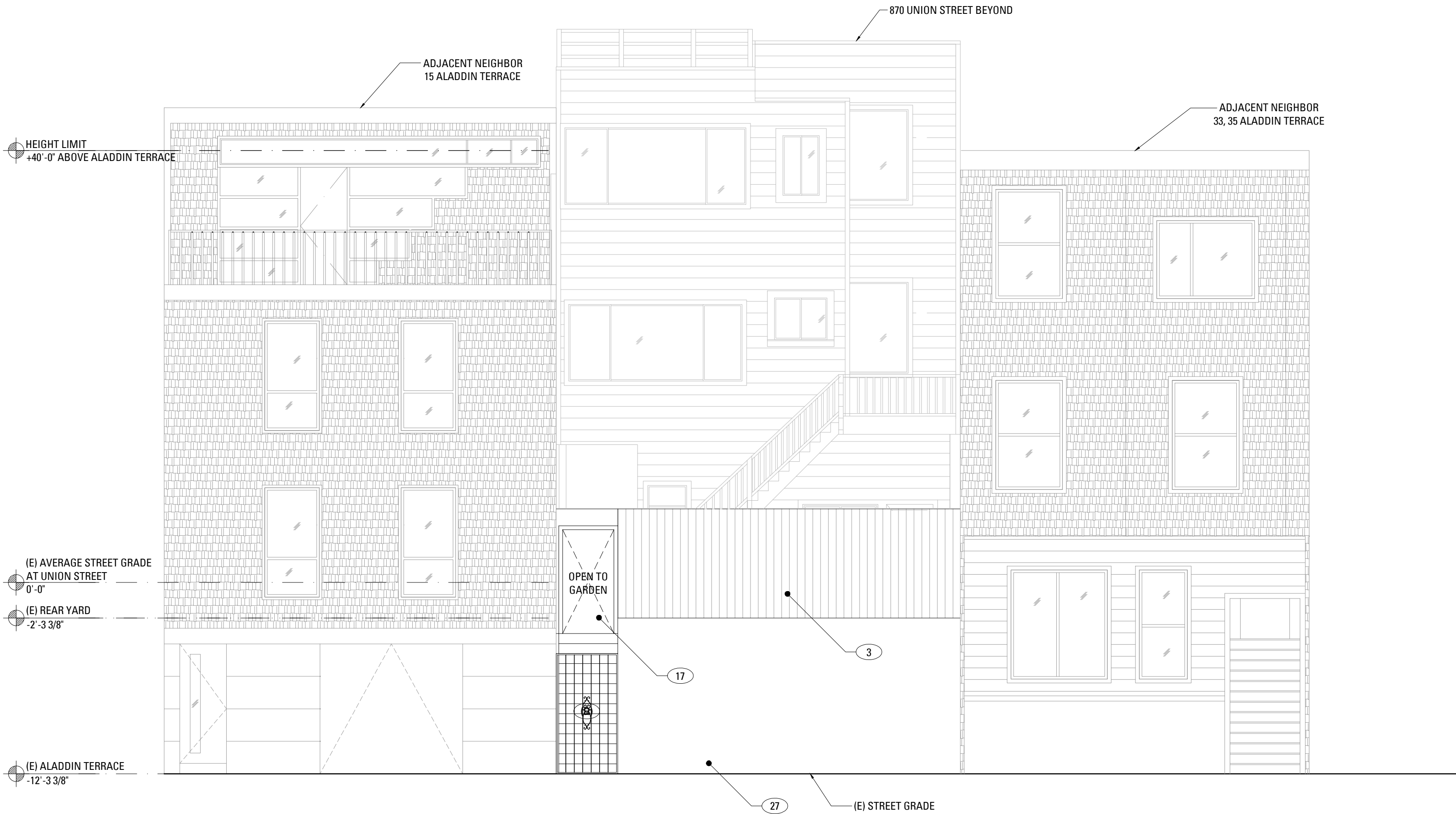
|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By :    | B.M.   |
| Project Number: | 1554.1 |

Exterior Elevations

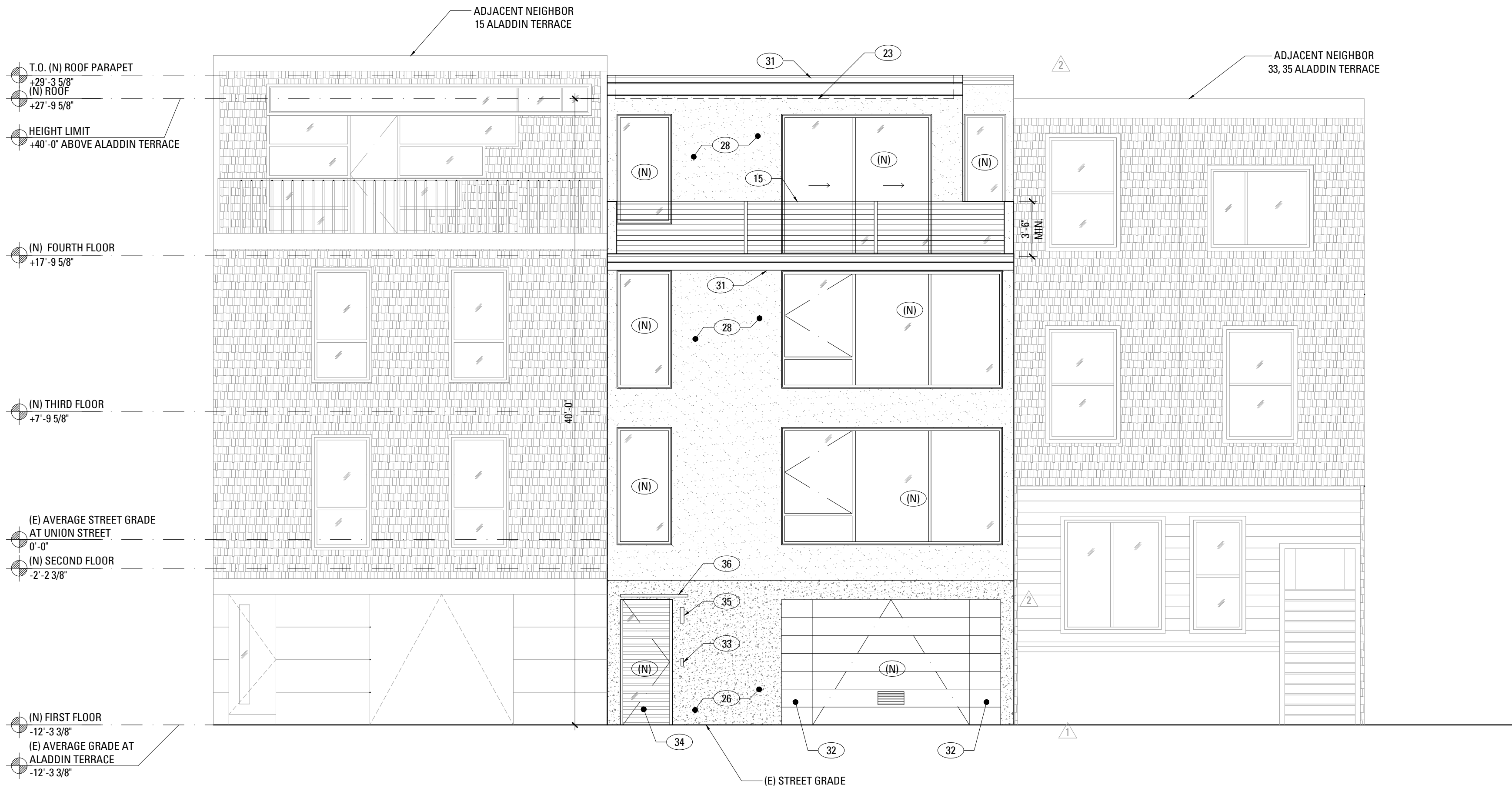
SHEET NUMBER

A205





**2** EXISTING REAR YARD FRONT ELEVATION (NORTH)  
SCALE: 3/16" = 1'-0"

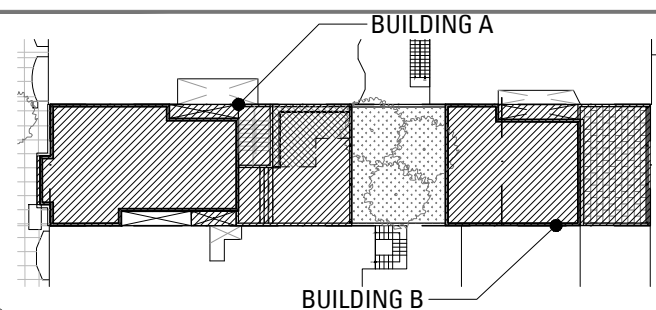


**1** PROPOSED REAR YARD FRONT ELEVATION : BUILDING B (NORTH)  
SCALE: 3/16" = 1'-0"

## EXTERIOR ELEVATION KEYNOTES

|     |                                                                                                       |
|-----|-------------------------------------------------------------------------------------------------------|
| (E) | (E) DOOR OR WINDOW, TO REMAIN                                                                         |
| (D) | (E) DOOR OR WINDOW, TO BE REMOVED                                                                     |
| (N) | (N) DOOR OR WINDOW, SEE SCHEDULE A901 AND A902                                                        |
| (R) | REPLACE (E) WINDOW OR DOOR IN KIND, SEE SCHEDULE A901 AND A902                                        |
| 1   | (E) PARTIAL HEIGHT WALL TO BE REMOVED                                                                 |
| 2   | (E) PAINTED BRICK FINISH TO BE REMOVED                                                                |
| 3   | (E) WOOD FENCE                                                                                        |
| 4   | (N) WOOD SIDING                                                                                       |
| 5   | (N) CONCRETE RETAINING WALL                                                                           |
| 6   | (E) WOOD SIDING TO BE REMOVED                                                                         |
| 7   | (E) WOOD FENCE TO BE REMOVED TO ACCOMMODATE (N) WORK                                                  |
| 8   | (E) LANDSCAPE RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                    |
| 12  | (E) WOOD STAIRS TO BE REMOVED                                                                         |
| 13  | (N) WOOD DECK                                                                                         |
| 14  | (E) WOOD TRIM TO BE REMOVED                                                                           |
| 15  | (N) GUARDRAIL                                                                                         |
| 16  | (N) PAINTED PLASTER FINISH                                                                            |
| 17  | (E) OPENING TO BE ENCLOSED                                                                            |
| 18  | (E) BAY TO REMAIN                                                                                     |
| 19  | (N) EXIT CORRIDOR, OPEN TO BEYOND                                                                     |
| 20  | (E) WOOD GUARDRAIL TO BE REMOVED                                                                      |
| 21  | (E) AREA TO BE EXCAVATED TO ACCOMMODATE (N) WORK, SEE SECTIONS SHEET A301                             |
| 22  | REPAIR (E) EXTERIOR STAIRS TO MATCH (E) CONDITIONS                                                    |
| 23  | (N) ROOF LINE BEYOND PARAPET                                                                          |
| 24  | (E) WOOD TRIM TO BE REMOVED TO PREPARE FOR (N) WORK                                                   |
| 25  | (E) EXTERIOR STAIRS TO BE REMOVED                                                                     |
| 26  | (N) CONCRETE WALL                                                                                     |
| 27  | (E) RETAINING WALL TO BE REMOVED TO ACCOMMODATE (N) WORK                                              |
| 28  | (N) SMOOTH TROWLED, PAINTED PLASTER FINISH                                                            |
| 29  | (E) LIGHT WELL BEYOND PROPERTY LINE WALL TO BE ALTERED OR REMOVED, SEE CONSTRUCTION PLANS FOR DETAILS |
| 30  | (E) COLUMN TO BE REMOVED                                                                              |
| 31  | (N) WOOD ROOF TRIM                                                                                    |
| 32  | (N) WOOD SIDING TO MATCH THE GARAGE DOOR FINISH                                                       |
| 33  | (N) DOORBELL                                                                                          |
| 34  | (N) RECESSED PEDESTRIAN ENTRANCE                                                                      |
| 35  | (N) WALL SCENCE                                                                                       |
| 36  | (N) METAL AWNING                                                                                      |
| 37  | (N) PAINTED BRICK FINISH                                                                              |

## KEY PLAN



## 870 Union Street Residence Addition and Remodel

870 UNION STREET,  
SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

101 Montgomery Street Suite 650  
San Francisco, CA 94104  
T 415 346 9990



## RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
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|                        |            |
|                        |            |

## SITE PERMIT SET REVISION 3

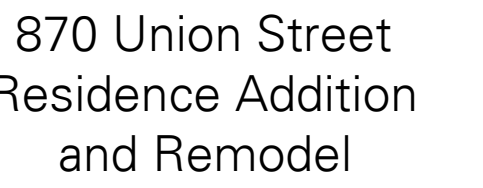
|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

## Exterior Elevations

SHEET NUMBER

A206





870 UNION STREET,  
SAN FRANCISCO, CA 94133

MARTINKOVIC MILFORD ARCHITECTS

1 Montgomery Street Suite 650  
San Francisco, CA 94104  
T 415 346 9990






| EXCAVATION AREA |                                         |                          |
|-----------------|-----------------------------------------|--------------------------|
| REAR YARD       | $25'-8" \times 46'-6" \times 10'-10" =$ | 12,930.9 FT <sup>3</sup> |
| TOTAL           |                                         | 479 YD <sup>3</sup>      |

— AREA TO BE EXCAVATED

— AVERAGE GRADE PLANE

RECORD OF DRAWING ISSUANCE

|                        |                                                                                                  |
|------------------------|--------------------------------------------------------------------------------------------------|
| PRE-APP MEETING        | 10.13.2015                                                                                       |
| SITE PERMIT SET        | 11.13.2015                                                                                       |
| SITE PERMIT SET REV.   |  04.27.2016 |
| SITE PERMIT SET REV. 2 |  05.26.2016 |
| SITE PERMIT SET REV. 3 |  06.10.2016 |

|                               |        |
|-------------------------------|--------|
| SITE PERMIT SET<br>REVISION 3 |        |
| Drawn By:                     | S.A.   |
| Checked By :                  | B.M.   |
| Project Number:               | 1554.1 |

## Building Sections



HEET NUMBER

# A301

2016/Jun/13



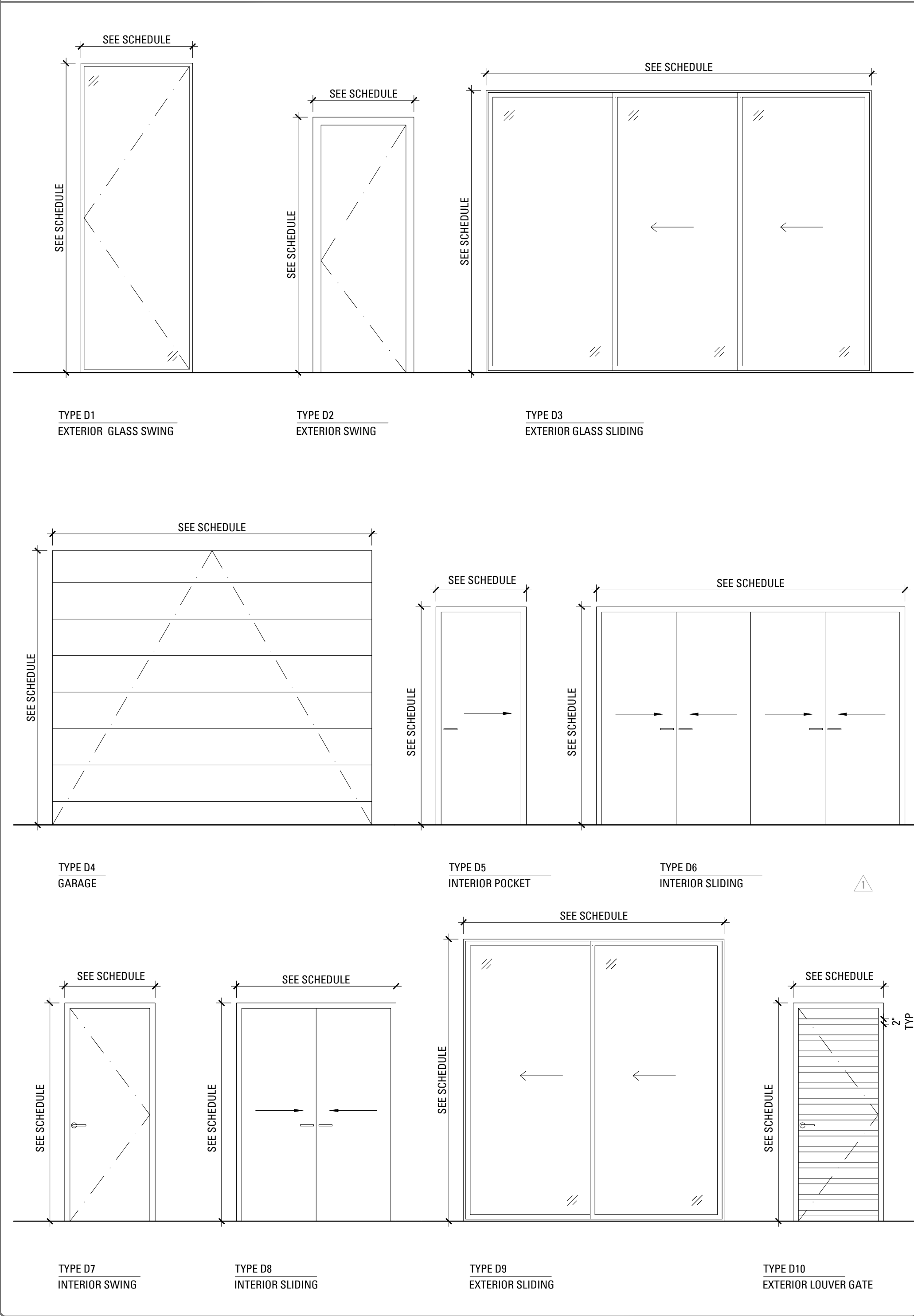
DOOR SCHEDULE

| TYPE                                                                              | DOOR                 |      |        |          | FRAME  |          |        | COMMENTS |
|-----------------------------------------------------------------------------------|----------------------|------|--------|----------|--------|----------|--------|----------|
|                                                                                   | W x H<br>DIM. U.O.N. | TYPE | THICK  | MATERIAL | FINISH | MATERIAL | FINISH |          |
|  | NOT USED             |      |        |          |        |          |        |          |
|  | 16'-6" x 9'-2"       | D3   | 1 3/4" | GLASS    | T.B.D. | ALUMINUM | T.B.D. | --       |








































DOOR NOTES

1. HARDWARE ON RATED DOORS SHALL BEAR UL LABEL
2. GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED
3. GENERAL CONTRACTOR TO VERIFY SIZE OF DOORS TO FIT IN (E) OPENINGS.
4. EXTERIOR DOORS TO BE GLAZED WITH DOUBLE PANE, LOW-E CLEAR GLASS WITH U.V. PROTECTION
5. PROVIDE MASTER BEDROOM & ALL BATHROOMS W/ PRIVACY LOCKS.

DOOR TYPES



DOOR SCHEDULE

| TYPE                                                                                  | DOOR                 |           |           |                  | FRAME     |           |           | COMMENTS                                               |
|---------------------------------------------------------------------------------------|----------------------|-----------|-----------|------------------|-----------|-----------|-----------|--------------------------------------------------------|
|                                                                                       | W x H<br>DIM. U.O.N. | TYPE      | THICK     | MATERIAL         | FINISH    | MATERIAL  | FINISH    |                                                        |
|    | EXISTING             | E         | E         | EXISTING         | EXISTING  | EXISTING  | EXISTING  | --                                                     |
|    | MATCH (E)            | MATCH (E) | MATCH (E) | MATCH (E)        | MATCH (E) | MATCH (E) | MATCH (E) | DOOR TO BE REPLACED IN KIND                            |
|    | 14'-0" x 8'-0"       | D4        | 2"        | ALUMINUM         | T.B.D.    | ALUMINUM  | T.B.D.    | MINIMUM 200 SQ INCH LOUVER FOR VENTILATION             |
|    | 3'-0" x 9'-4"        | D2        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | ALUMINUM  | T.B.D.    | --                                                     |
|    | 3'-6" x 7'-4"        | D2        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | 1-HOUR FIRE RATED DOOR AND FRAME WITH SMOKE GASKETING  |
|    | 3'-6" x 7'-4"        | D2        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | 1-HOUR FIRE RATED DOOR AND FRAME WITH SMOKE GASKETING  |
|    | 2'-8" x 6'-8"        | D5        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 3'-6" x 8'-0"        | D2        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 14'-1 1/4" x 6'-8"   | D6        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 2'-8" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 2'-10" x 6'-8"       | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | NOT USED             | --        | --        | --               | --        | --        | --        | --                                                     |
|    | 2'-10" x 7'-4"       | D2        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 2'-6" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 3'-0" x 7'-0"        | D2        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 2'-10" x 6'-8"       | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 12'-9 3/4" x 6'-8"   | D6        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 2'-8" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|    | 8'-9" x 7'-0"        | D9        | 1 3/4"    | GLASS            | T.B.D.    | ALUMINUM  | T.B.D.    | --                                                     |
|    | 3'-6" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | ALUMINUM  | T.B.D.    | 45-MIN. FIRE RATED DOOR AND FRAME WITH SMOKE GASKETING |
|   | 3'-3" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | 1-HOUR FIRE RATED DOOR AND FRAME WITH SMOKE GASKETING  |
|  | 3'-6" x 8'-0"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | 1-HOUR FIRE RATED DOOR AND FRAME WITH SMOKE GASKETING  |
|  | 10'-0" x 8'-0"       | D4        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | ALUMINUM  | T.B.D.    | --                                                     |
|  | 3'-0" x 8'-0"        | D10       | 1 3/4"    | WOOD LOUVER GATE | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 5'-0" x 6'-8"        | D8        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 2'-10" x 6'-8"       | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 5'-0" x 6'-8"        | D8        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 10'-7 1/2" x 6'-8"   | D6        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 3'-0" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 13'-6 1/2" x 6'-8"   | D6        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 3'-0" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 3'-0" x 6'-8"        | D5        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 3'-6" x 6'-8"        | D5        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 9'-7" x 8'-9"        | D9        | 1 3/4"    | GLASS            | T.B.D.    | ALUMINUM  | T.B.D.    | 2 EQUAL PANELS                                         |
|  | 3'-0" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 2'-8" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 2'-6" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |
|  | 16'-6" x 10'-8"      | D9        | 1 3/4"    | GLASS            | T.B.D.    | ALUMINUM  | T.B.D.    | --                                                     |
|  | 2'-8" x 6'-8"        | D7        | 1 3/4"    | SOLID CORE WOOD  | T.B.D.    | WOOD      | T.B.D.    | --                                                     |

DOOR NOTES

1. HARDWARE ON RATED DOORS SHALL BEAR UL LABEL
2. GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED
3. GENERAL CONTRACTOR TO VERIFY SIZE OF DOORS TO FIT IN (E) OPENINGS.
4. EXTERIOR DOORS TO BE GLAZED WITH DOUBLE PANE, LOW-E CLEAR GLASS WITH U.V. PROTECTION
5. PROVIDE MASTER BEDROOM & ALL BATHROOMS W/ PRIVACY LOCKS.

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RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
| SITE PERMIT SET REV.   | 04.27.2016 |
| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |

|                               |        |
|-------------------------------|--------|
| SITE PERMIT SET<br>REVISION 3 |        |
| Drawn By:                     | S.A.   |
| Checked By :                  | B.M.   |
| Project Number:               | 1554.1 |

Schedule

SHEET NUMBER

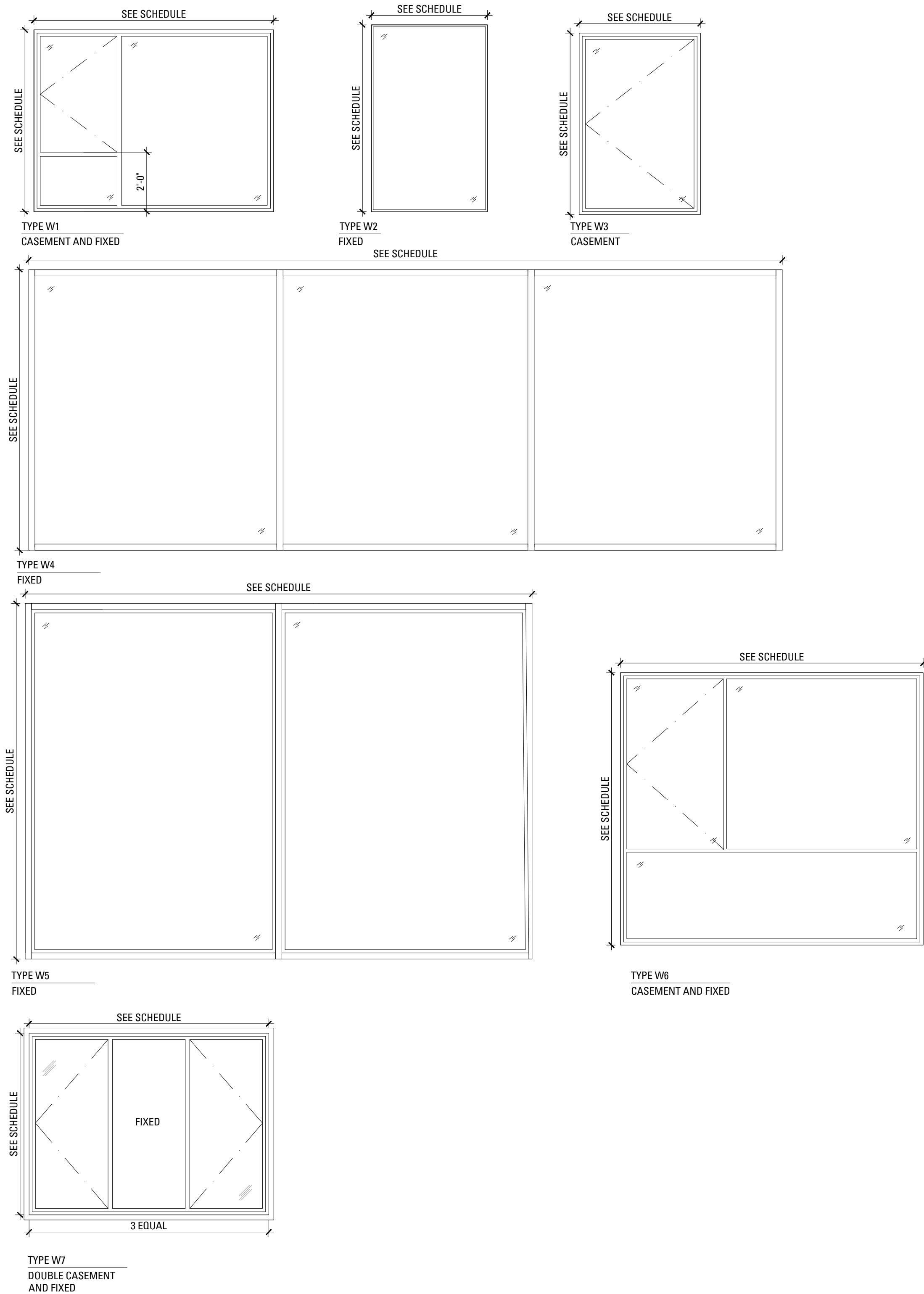
A901



WINDOW SCHEDULE

| NO. | LOCATION |                    | WINDOW |                            | HEAD HEIGHT<br>A.F.F. | MATERIAL | INTERIOR<br>FINISH | EXTERIOR<br>FINISH | MFR.                                                | COMMENTS |
|-----|----------|--------------------|--------|----------------------------|-----------------------|----------|--------------------|--------------------|-----------------------------------------------------|----------|
|     | FLOOR    | ROOM               | TYPE   | W x H<br>FRAME DIM. U.O.N. |                       |          |                    |                    |                                                     |          |
| 36  | 03       | (E) BEDROOM        | W2     | 1'-3" x 7'-0"              | 7'-3 1/2"             | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --       |
| 37  | 04       | (N) LIVING<br>ROOM | W2     | 1'-3" x 7'-0"              | 7'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --       |
| 38  | 04       | (E) BEDROOM        | W2     | 1'-3" x 7'-0"              | 7'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --       |

WINDOW & SKYLIGHT TYPES



WINDOW SCHEDULE

| NO. | LOCATION |                        | WINDOW |                                   | HEAD HEIGHT<br>A.F.F. | MATERIAL | INTERIOR<br>FINISH | EXTERIOR<br>FINISH | MFR.                                                | COMMENTS       |
|-----|----------|------------------------|--------|-----------------------------------|-----------------------|----------|--------------------|--------------------|-----------------------------------------------------|----------------|
|     | FLOOR    | ROOM                   | TYPE   | W x H<br>FRAME DIM. U.O.N.        |                       |          |                    |                    |                                                     |                |
| E   | --       | --                     | E      | EXISTING                          | EXISTING              |          | EXISTING           | EXISTING           | --                                                  | --             |
| 1   | 01       | (N) KITCHEN            | W2     | 4'-6" x 10'-8"                    | 10'-8"                | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 2   | 02       | (E) MASTER<br>BEDROOM  | W7     | EXISTING<br>7'-11" x 7'-0" V.I.F. | 8'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 3   | 02       | (N) OFFICE             | W2     | 3'-0" x 6'-0"                     | 8'-7 1/2"             | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 4   | 02       | (N) OFFICE             | W2     | 3'-0" x 2'-0"                     | 4'-7 1/2"             | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 5   | 02       | (N) LIVING<br>ROOM     | W3     | 4'-0" x 6'-0"                     | 9'-4"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 6   | 02       | (N) KITCHEN            | W1     | 13'-6" x 6'-0"                    | 9'-4"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 7   | 03       | (E) BEDROOM            | W2     | 3'-0" x 6'-0"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 8   | 03       | (E) BEDROOM            | W2     | 3'-0" x 2'-0"                     | 5'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 9   | 03       | (N) LIVING<br>ROOM     | W3     | 4'-0" x 6'-0"                     | 9'-5"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 10  | 03       | (N) KITCHEN            | W1     | 13'-8" x 6'-0"                    | 9'-5"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 11  | 04       | (N) LIVING<br>ROOM     | W7     | 7'-11" x 5'-0"                    | 7'-8"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 12  | 02       | (N) MASTER<br>BATHROOM | W3     | 4'-0 X 5'-0"                      | 8'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 13  | 03       | (E) STAIRS             | W2     | 3'-8" x 7'-0"                     | 7'-3 1/2"             | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 14  | 02       | (N) KITCHEN            | W2     | 3'-6" x 7'-6"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 15  | 02       | (N) KITCHEN            | W1     | 14'-0" x 7'-6"                    | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 16  | 03       | (N) HALLWAY            | W2     | 3'-6" x 9'-0"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 17  | 03       | (N) BEDROOM            | W6     | 10'-0" x 9'-0"                    | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 18  | 03       | (N) HALLWAY            | W2     | 3'-6" x 7'-6"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 19  | 03       | (E) BEDROOM            | W1     | 14'-0" x 7'-6"                    | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 20  | 03       | (E) BEDROOM            | W2     | 2'-9" x 9'-0"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 21  | 03       | (E) BEDROOM            | W2     | 2'-9" x 9'-0"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 22  | 04       | (N) HALLWAY            | W2     | 3'-6" x 9'-0"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 23  | 04       | (N) MASTER<br>BATHROOM | W6     | 10'-0" x 9'-0"                    | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 24  | 04       | (N) HALLWAY            | W2     | 3'-6" x 7'-0"                     | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 25  | 04       | (N) MASTER<br>BEDROOM  | W1     | 14'-0" x 7'-0"                    | 9'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 26  | 02       | (E) MASTER<br>BEDROOM  | W2     | 1'-3" x 7'-0"                     | 8'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 27  | 04       | (N) MASTER<br>BATHROOM | W2     | 2'-9" x 9'-0"                     | 7'-8"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 28  | 03       | (E) BEDROOM            | W7     | 7'-11" x 7'-0"                    | 7'-3 1/2"             | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 29  | 03       | (N) BATHROOM           | W3     | 4'-0" x 5'-0"                     | 8'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 30  | 04       | (N) LIVING<br>ROOM     | W2     | 7'-11" x 7'-0"                    | 7'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 31  | 04       | (N) LIVING<br>ROOM     | W2     | 3'-8" x 7'-0"                     | 7'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 32  | 04       | (N) LIVING<br>ROOM     | W2     | 1'-10" x 5'-0"                    | 7'-8"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 33  | 03       | (E) STAIRS             | W2     | 3'-10" x 6'-0"                    | 8'-2"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | SAFETY GLAZING |
| 34  | 02       | (E) MASTER<br>BEDROOM  | W2     | 1'-3" x 7'-0"                     | 8'-0"                 | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |
| 35  | 03       | (E) BEDROOM            | W2     | 1'-3" x 7'-0"                     | 7'-3 1/2"             | ALUMINUM | PAINTED WOOD       | PAINTED            | PELLA ARCHITECTURAL<br>SERIES, ALL WOOD OR<br>EQUAL | --             |

WINDOW & SKYLIGHT NOTES

- ALL DIMENSIONS ARE UNIT SIZES TO OUTSIDE FRAME DIMENSIONS, U.O.N.
- SILL OR HEAD HEIGHTS GIVEN ARE TO INSIDE OF UNIT OR INSIDE OF FRAME, U.O.N.
- GENERAL CONTRACTOR TO PROVIDE CODE COMPLIANT SAFETY GLAZING WHERE REQUIRED
- EGRESS WINDOWS TO COMPLY WITH 2013 CBC SECTION 1029 AND SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, A MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND MINIMUM NET OPENING WIDTH OF 20" AS A RESULT OF NORMAL OPERATION OF THE OPENING. THE BOTTOM OF THE OPENING SHALL NOT BE GREATER THAN 44" ABOVE FINISHED FLOOR.
- WINDOW TO BE GLAZED WITH DOUBLE PANE, LOW-E CLEAR GLASS, 0.32 U-FACTOR OR BETTER, WITH U.V. PROTECTION, U.O.N.
- PER 2013 CBC SECTION 1013.8, AT OPERABLE EXTERIOR WINDOWS LOCATED MORE THAN 72" ABOVE FINISHED GRADE OR OTHER SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE AT A HEIGHT NOT LESS THAN 36" ABOVE THE FINISHED FLOOR SURFACE OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 36" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" DIAMETER SPHERE CANNOT PASS. EXCEPTION: OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006, F 2090 OR 1013.8.1
- ALL GLAZED EXTERIOR DOORS AND WINDOWS TO HAVE THERMAL SEAL GASKETING, U.O.N.
- ALL EXTERIOR DOORS AND WINDOWS TO HAVE GALVANIZED SHEET METAL PAN FLASHING AND GALVANIZED METAL HEAD FLASHING, U.O.N.
- ALL EXTERIOR DOOR AND WINDOW OPENINGS SHALL HAVE SELF-ADHERED FLASHING
- ALL GAPS BETWEEN FRAMING AND EXTERIOR DOOR & WINDOW FRAMES TO BE FILLED WITH EXPANDING FOAM INSULATION

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RECORD OF DRAWING ISSUANCE

|                        |            |
|------------------------|------------|
| PRE-APP MEETING        | 10.13.2015 |
| SITE PERMIT SET        | 11.13.2015 |
| SITE PERMIT SET REV.   | 04.27.2016 |
| SITE PERMIT SET REV. 2 | 05.26.2016 |
| SITE PERMIT SET REV. 3 | 06.10.2016 |

SITE PERMIT SET  
REVISION 3

|                 |        |
|-----------------|--------|
| Drawn By:       | S.A.   |
| Checked By:     | B.M.   |
| Project Number: | 1554.1 |

Schedule

SHEET NUMBER

A902