



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 07, 2016**  
 Time: **9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance(Rear Yard, Open Space & Street Frontage)**  
 Hearing Body: **Zoning Administrator**

| PROPERTY INFORMATION                            | APPLICATION INFORMATION                 |
|---|---|
| Project Address: <b>645-647 Valencia Street</b> | Case No.: <b>2015-006330VAR</b>         |
| Cross Street(s): <b>Sycamore Street</b>         | Building Permit: <b>2016.11.14.2504</b> |
| Block / Lot No.: <b>3576/062</b>                | Applicant/Agent: <b>Toby Morris</b>     |
| Zoning District(s): <b>Valencia St NCT/55-X</b> | Telephone: <b>415-749-0302</b>          |
| Area Plan: <b>Mission</b>                       | E-Mail: <b>toby@kermanmorris.com</b>    |

## PROJECT DESCRIPTION

The proposal includes a three-story vertical addition to an existing two-story building, and would establish seven dwelling units on the second through fifth floors and approximately 633 square feet of ground floor commercial space.

**PER SECTION 134 OF THE PLANNING CODE** , the subject property is required to maintain a rear yard of 20 feet. Currently, the existing building encroaches into the required rear yard. Because the project includes construction of a vertical addition within the required rear yard, a variance is required from Planning Code Section 134.

**PER SECTION 135 OF THE PLANNING CODE** , the proposed project is required to provide 80 square feet of private open space per dwelling unit. Currently, the proposed project does not provide code-complying open space for four of seven proposed dwelling units. Because the project does not provide open space for all dwelling units, a variance is required from Planning Code Section 135.

**PER SECTION 145.1 OF THE PLANNING CODE** , the proposed project is required to set back any at-grade off-street parking at least 25-feet from the street façade. Currently, the proposed project includes off-street parking within 25 feet of the street façade along Sycamore Street. Because the project does not set back the off-street parking, a variance is required from Planning Code Section 145.1.

## ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Richard Sucre** Telephone: **415-575-9108** Mail: [Richard.Sucre@sfgov.org](mailto:Richard.Sucre@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2015-006330VAR.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

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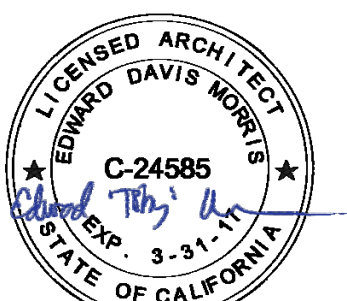
# 645-647 VALENCIA STREET

ADDITIONS AND ALTERATIONS TO AN EXISTING 2-STORY STRUCTURE

**SITE PERMIT**  
 11-10-2016  
 EE#: 20151339E  
 VAR#: 2015-006330VAR

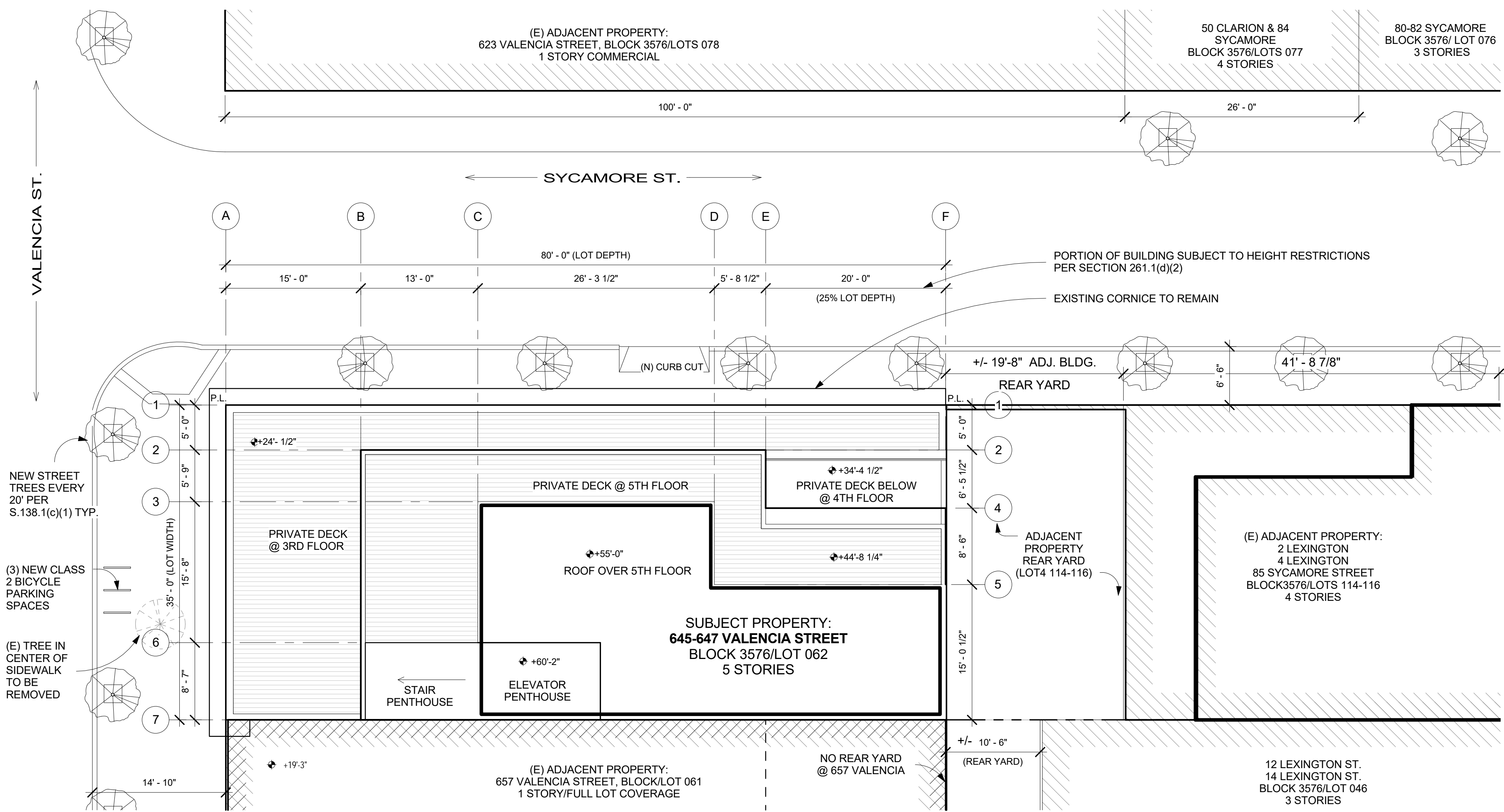


| Revisions |                        |
|-----------|------------------------|
| 2         | Env R-1 10-28-15       |
| 3         | Env R-2 4-27-16        |
| 4         | Var 5-10-16            |
| 5         | EnvR-3/Var R-1 8-25-16 |
| 6         | SITE PERMIT 11-10-16   |

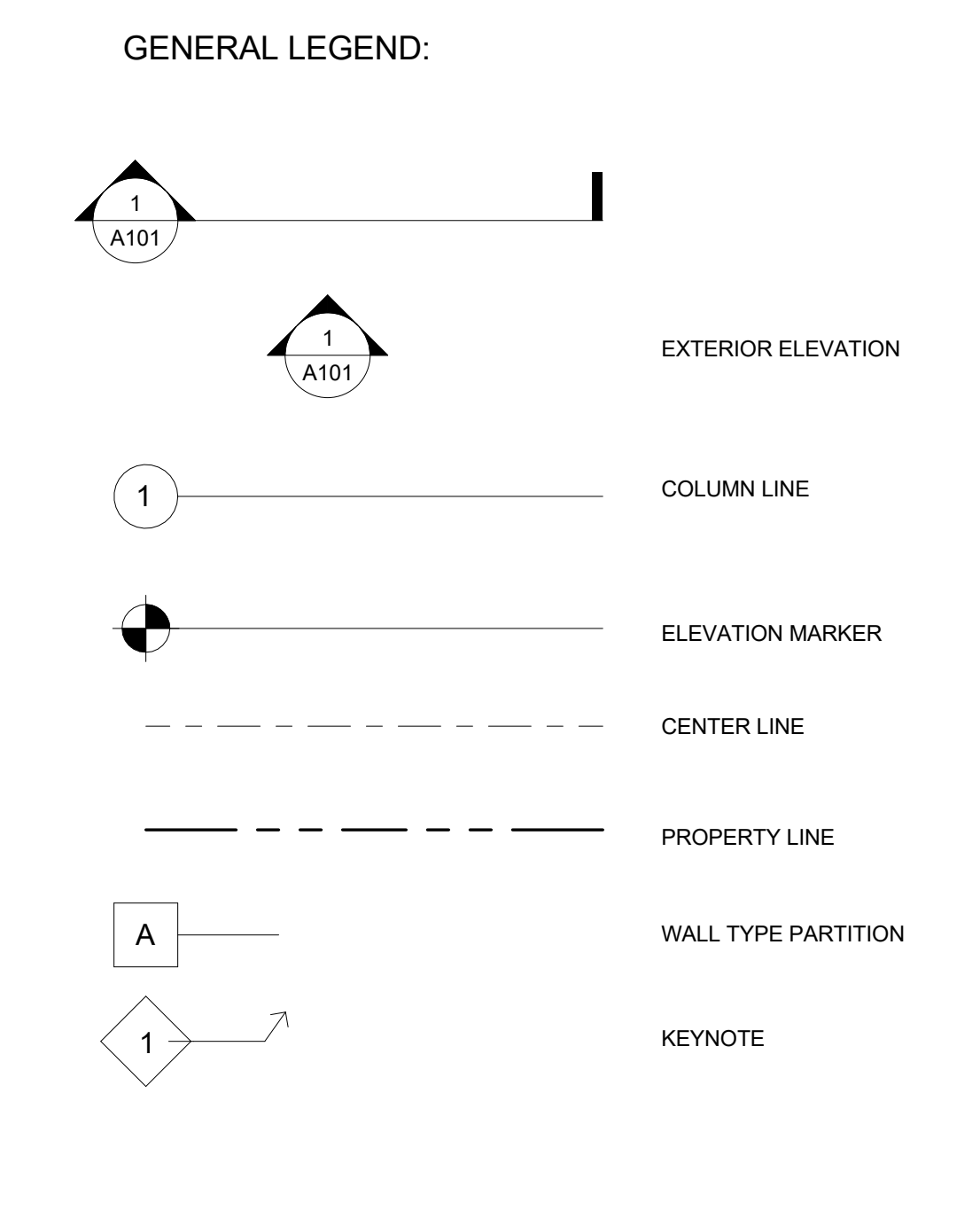


**645-647 VALENCIA ST.**  
 ADDITIONS & ALTERATIONS  
 BPA#2015.0305.0103

**NOTICE**  
 These drawings and specifications are the property and copyright of Kerman/Morris Architects and shall not be used on any other work except by written agreement with Kerman/Morris Architects.  
 The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work.  
 These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details.  
 All attachments, connections, fastenings, etc. are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.



| ABBREVIATIONS:            |                                   |
|---------------------------|-----------------------------------|
| # NUMBER                  | FDN FOUNDATION                    |
| @ AT                      | FIN FINISH                        |
| AB ANCHOR BOLT            | FLR FLOOR                         |
| ADJ ADJACENT              | FLUOR FLUORESCENT                 |
| ALT ALTERNATE             | FCC FACE OF CONCRETE              |
| AFV ABOVE FINISH FLOOR    | FOS FACE OF STUD                  |
| APPROX APPROXIMATE        | FTG FOOTING                       |
| ASPH ASPHALT              | FOF FACE OF FINISH                |
| BLDG BUILDING             | GALV GALVANIZED                   |
| BTWN BETWEEN              | GFIC GROUND FAULT                 |
| BOT BOTTOM                | INTC INTERRUPT CIRCUIT            |
| CAB CABINET               | GND GROUND                        |
| CEM CEMENT                | GYP GYPSUM                        |
| CLR CLEAR                 | GWB GYPSUM WALL BOARD             |
| CMU CONCRETE MASONRY UNIT | HORZ HORIZONTAL                   |
| COL COLUMN                | HT HEIGHT                         |
| CONT CONTINUOUS           | INSUL INSULATION                  |
| CTR CENTER                | INT INTERIOR                      |
| CL CENTER LINE            | JT JOINT                          |
| CER CERAMIC               | LAV LAVATORY                      |
| CLG CEILING               | MAX MAXIMUM                       |
| CONC CONCRETE             | MIN MINIMUM                       |
| DBL DOUBLE                | MFR MANUFACTURER                  |
| DEPT DEPARTMENT           | MTL METAL                         |
| DIA DIAMETER              | (N) NEW                           |
| DH DOUBLE HUNG            | NIC NOT IN CONTRACT               |
| DF DIMENSION              | NO# NUMBER                        |
| DN DOWN                   | NTS NOT TO SCALE                  |
| DS DOWNSPOUT              | OC ON CENTER                      |
| DTL DETAIL                | OPNG OPENING                      |
| DWG DRAWING               | OPP OPPOSITE                      |
| (E) EXISTING              | PL PROPERTY LINE                  |
| EA EACH                   | PLY PLYWOOD                       |
| ELEC ELECTRICAL           | PTDF PRESSURE TREATED DOUGLAS FIR |
| EL ELEVATION              | PTD PAINTED                       |
| EQ EQUAL                  | PTN PARTITION                     |
| EXT EXTERIOR              |                                   |
|                           | R RISER                           |
|                           | REF REFERENCE                     |
|                           | REFR REFRIGERATOR                 |
|                           | RWD REDWOOD                       |
|                           | REINF REINFORCED                  |
|                           | RO ROUGH OPENING                  |
|                           | RWL RAIN WATER LEADER             |
|                           | REQ REQUIRED                      |
|                           | SIM SIMILAR                       |
|                           | SHT SHEET                         |
|                           | SOG SLAB ON GRADE                 |
|                           | SPEC SPECIFICATION                |
|                           | STD STANDARD                      |
|                           | STRL STRUCTURAL                   |
|                           | SUSP SUSPENDED                    |
|                           | SYM SYMMETRICAL                   |
|                           | TRD TREAD                         |
|                           | T&G TONGUE AND GROOVE             |
|                           | THK TRICK                         |
|                           | TOP TOP OF SLAB                   |
|                           | TP TOILET PAPER                   |
|                           | TB TOWEL BAR                      |
|                           | TYP TYPICAL                       |
|                           | UON UNLESS OTHERWISE NOTED        |
|                           | VERT VERTICAL                     |
|                           | VIF VERIFY IN FIELD               |
|                           | VIF VAPOR PERMEABLE FLUID         |
|                           | VPFAM APPLIED MEMBRANE            |
|                           | W/ WITH                           |
|                           | W/O WITHOUT                       |
|                           | WC WATER CLOSET                   |
|                           | WOW WATERPROOF                    |
|                           | WP WEIGHT                         |
|                           | WT WOOD                           |
|                           | WH WATER HEATER                   |



**SHEET INDEX**

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**BUILDING DATA:**

|                       |  |
|-----------------------|--|
| OWNER:                | DENNIS & SUSAN RING<br>TEL: (415) 298 5133   |
| PROJECT ADDRESS:      | 645-647 VALENCIA STREET<br>SAN FRANCISCO, CA 94110   |
| BLOCK/ LOT:           | BLOCK 3576/ LOT 062  |
| ZONING DISTRICT:      | VALENCIA-NCT 55-X  |
| SFBC OCCUPANCY CLASS: | LOT SIZE: 2800 SQ FT<br>EXISTING: 2-STORY COMMERCIAL, NIGHT CLUB<br>PROPOSED: R-2 RESIDENTIAL, M MERCANTILE, U PARKING |
| CONSTRUCTION TYPE:    | TYPE III   |
| ARCHITECT:            | KERMAN MORRIS ARCHITECTS, LLP<br>139 NOE STREET<br>SAN FRANCISCO, CA 94114<br>T: (415) 749 0302                        |

**DESCRIPTION OF WORK:**  
 THE WORK CONSISTS OF PRESERVING AND RENOVATING THE EXISTING 2-STORY COMMERCIAL STRUCTURE AT 645-647 VALENCIA STREET AND CONSTRUCTING A NEW 3-STORY ADDITION OVER IT, FOR A TOTAL HEIGHT OF 5-STORIES OR 55' TALL. THE RENOVATED ADDITIONAL/ALTERATION BUILDING WILL BE A MIXED USE STRUCTURE CONSISTING OF GROUND FLOOR COMMERCIAL, A RESIDENTIAL ENTRY AND PARKING FOR SOME OF THE UNITS ACCESSED FROM SYCAMORE STREET. THE UPPER 4 STORIES WILL HOUSE (7) DWELLING UNITS. REAR YARD AND OPEN SPACE VARIANCES ARE REQUIRED.  
 ALL WORK TO COMPLY WITH CURRENT LOCAL AND STATE CODES INCLUDING BUT NOT LIMITED TO: THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE, THE CALIFORNIA PLUMBING CODE, THE CALIFORNIA MECHANICAL CODE, THE CALIFORNIA ELECTRICAL CODE AND THE CALIFORNIA FIRE CODE, THE CURRENT EDITIONS OF THE SAN FRANCISCO BUILDING AND PLANNING CODES, TITLE-24 ENERGY STANDARDS, ETC...

**TITLE 24 COMPLIANCE:**  
 TITLE-24 MANDATORY MEASURES:  
 ALL WORK TO COMPLY WITH TITLE-24 MANDATORY MEASURES INCLUDING BUT NOT LIMITED TO: R-19 MIN. INSULATION IN ALL NEW/REBUILT EXTERIOR WALLS; R-30 MIN. INSULATION IN ALL NEW/REBUILT ROOFS; R-19 RAISED FLOOR INSULATION IN ALL NEW/REBUILT WOOD FRAMED FLOORS; DOUBLE INSULATED DOORS AND WINDOW PRODUCTS WITH CERTIFIED U-VALUE AND INFILTRATION CERTIFICATION; EXTERIOR DOORS AND WINDOWS WEATHER-STRIPPED; ALL JOINTS AND PENETRATIONS CAULKED AND SEALED; 50% MINIMUM HIGH EFFICACY LIGHTING IN KITCHENS (SEPARATELY SWITCHED); HIGH EFFICACY LIGHTING IN BATHROOMS, GARAGE, LAUNDRY ROOM AND UTILITY ROOMS (OR MANUAL-ON OCCUPANCY SENSOR); ALL OTHER ROOMS, LIGHTING TO BE HIGH EFFICACY, MANUAL-ON OCCUPANCY SENSOR, OR DIMMER. ALL RECESSED INCANDESCENT CEILING FIXTURES TO BE IC APPROVED.

**COVER SHEET**

|              |              |
|--------------|--------------|
| DATE         | 11/10/16     |
| SCALE        | As indicated |
| DRAWN BY     | CG, SN, VD   |
| CHECKED BY   | TM           |
| JOB NO.      | 1304         |
| <b>G0.01</b> |              |

UNIT COUNT (COMPLIES WITH S.207.6(c)(2))

| LEVEL        | STUDIO | 1 BR | 2 BR | 3 BR | TOTAL   |
|--------------|--------|------|------|------|---------|
| FIRST FLOOR  | 0      | 0    | 0    | 0    | 0       |
| SECOND FLOOR | 0      | 3    | 0    | 0    | 3       |
| THIRD FLOOR  | 1      | 0    | 1    | 0    | 2       |
| FOURTH FLOOR | 0      | 0    | 1    | 0    | 1       |
| FIFTH FLOOR  | 0      | 0    | 0    | 1    | 1       |
| TOTAL        | 1      | 3    | 2    | 1    | 7 UNITS |

|              |                     |              |
|--------------|---------------------|--------------|
| PERCENTAGE % | 57% (STUDIO & 1 BR) | 43% (2 BR +) |
|--------------|---------------------|--------------|

GROSS BUILDING SQUARE FOOTAGE:

| BY FLOOR( ENCLOSED AREA): |           |
|---------------------------|-----------|
| 1ST FLOOR                 | 2,672 SF  |
| 2ND FLOOR                 | 2,800 SF  |
| 3RD FLOOR                 | 1,921 SF  |
| 4TH FLOOR                 | 1,821 SF  |
| 5TH FLOOR                 | 1,136 SF  |
| TOTAL                     | 10,350 SF |
| BY USE( ENCLOSED AREA):   |           |
| RETAIL/ COMMERCIAL:       | 633 SF    |
| PARKING/ GARAGE:          | 1,255 SF  |
| RESIDENTIAL (UNITS):      | 8,462 SF  |
| TOTAL                     | 10,350 SF |

UNIT NET SQUARE FOOTAGE

| UNIT NUMBER           | FLOOR        | AREA                       |
|-----------------------|--------------|----------------------------|
| RESIDENTIAL UNIT- 1   | SECOND FLOOR | 713 sq ft                  |
| RESIDENTIAL UNIT- 2   | SECOND FLOOR | 642 sq ft                  |
| RESIDENTIAL UNIT- 3   | SECOND FLOOR | 689 sq ft                  |
| RESIDENTIAL UNIT- 4   | THIRD FLOOR  | 439 sq ft                  |
| RESIDENTIAL UNIT- 5   | THIRD FLOOR  | 854 sq ft                  |
| RESIDENTIAL UNIT- 6   | FOURTH FLOOR | 884sq ft                   |
| RESIDENTIAL UNIT- 7   | FIFTH FLOOR  | 1,313 sq ft<br>(528 + 785) |
| NET RESIDENTIALSQ.FT: |              | 5,534 sq ft                |

PRIVATE OPEN SPACE PROVIDED:  
(NO COMMON O.S)

| UNIT # | FLOOR    | OPEN SPACE SF |
|--------|----------|---------------|
| 1      | 2ND      | /             |
| 2      | 2ND      | /             |
| 3      | 2ND      | /             |
| 4      | 3RD      | 82 SF         |
| 5      | 3RD      | 686 SF        |
| 6      | 4TH      | /             |
| 7      | 4TH/ 5TH | 740 SF        |

PROJECT NOTES (cont.)

**Article 2: Use Districts (Voluntary Compliance):**

Sec. 207.6 REQUIRED MINIMUM DWELLING UNIT MIX IN NCT DISTRICT  
Valencia NCT:

S. 207.6(c)(2): 40% 2-Bedroom units required (3 units) required. Building complies with (2) 2-Bedroom units and (1) 3-Bedroom units for a total of 43% large units.

Sec. 261.1(d)(1) Alleys: Full height limit is allowed for the first 60' of depth along Sycamore Street (an alley) Beyond 60', building height is limited by 45 degree sun access plane for this Southern side of East-West Sycamore Street per S.F. Planning Code Section 261.1(d)(2). **Building Complies**

**Article 2.5: Height and Bulk Districts**

Sec. 260: HEIGHT LIMITS: MEASUREMENT  
Building height is measured from one point on the street frontage from curb to top of flat roof.

**Article 3: Zoning Procedures**

Project is subject to Section 312 Neighborhood Notification and notification for all variances

**Article 4: Development Impact Fees**

Sec. 414A project is subject to Residential Child Care Impact fee.

Sec. 415.3(a) INCLUSIONARY UNITS  
Developments of less than 10 dwelling units are exempt from inclusionary housing requirements. Project exempt.

Sec. 423.3 EASTERN NEIGHBORHOODS IMPACT FEE  
Project is subject to fees for Tier 1 Projects.

**Article 7: Neighborhood Commercial Districts**  
Sec. 726.1 VALENCIA STREET NCT DISTRICT - Density  
No housing density requirements apply.

**Existing Building History & Legal Use:**

645-647 Valencia Street is a two story 5,250 square foot wood-frame structure about 25'-4" high, dating from 1915 sitting on San Francisco lot 062 of block 3576. The lot is 2,800 square feet, rectangular and measuring 35 feet along Valencia Street and 80 feet along Sycamore Street. The structure was constructed in 1915 and housed a mortuary. It remained in that use until about 1946, when it was converted to a Tavern. From 1946 forward it has housed cocktail lounges, restaurants and entertainment venues. Its current use is the "Elbo Room," a ground floor cocktail lounge and second floor music/dance venue (see HRE by architecture + history, llc, May 15, 2014).

According to the San Francisco Assessor-Recorder, the legal use is "Commercial Stores" (as represented in the Property Information Map), with 3 units. The structure consists of two addresses, 645 Valencia Street and 647 Valencia Street. The "Elbo Room" currently occupies the structure.

PROJECT NOTES

**Project Location:** 647/645 Valencia Street, Block 3576/Lot 062

**LOT SIZE:** 35'X80' = 2,800 SF

**Zoning District:** Valencia NCT

**Building Height Limit: 55-X**  
Height limit: 55 feet maximum: 55'-0" proposed.

**Proposed Building Use:**

Addition and Alteration  
Mixed use ground floor commercial 7 unit residential building, with ground floor parking. Private roof decks are provided for some units. Rear yard and open space variance are required.

**Article 1.2: Dimensions Areas and Open Space**

Sec. 132 FRONT SETBACKS  
None required for zoning district

Sec. 134 REAR YARDS  
s. 134(a)(1)(B): 25% of lot depth (20') at the second story and each succeeding story of the building (and at any residential level).  
s. 134(b): Obstructions such as bays are allowed per section 136. Proposed 15' rear yard at second floor and above. **Project subject to rear yard variance or modification per section 134 (e).**

Sec. 135 USABLE OPEN SPACE, NCT VALENCIA  
Valencia Street NC-3: (Table 135A): A minimum of 80 square feet private area/unit or 107 square feet common open space per unit required. (3) of the (7) proposed dwelling units have complying private open space. **Four dwelling units require open space variance.**

Sec. 136 OBSTRUCTIONS OVER STREETS, ALLEYS AND IN REQUIRED SETBACKS.  
Valencia Street NCT: Obstructions such as bays are allowed per section 136.

Sec. 140: DWELLING UNITS IN ALL USE DISTRICTS TO FACE ON AN OPEN AREA. (Dwelling unit exposure). All units face onto public way. Building complies.

Sec. 138.1(c)(1)and Article 16 STREET TREES  
Street trees are required for projects of new construction and a minimum of (1) tree of 24" box size for each 20 feet of frontage of the property along the streets. Street trees to be compliant with the applicable water use requirements of the Administrative Code Chapter 63 and species and locations are subject to approval by the Department of Public Works. Installation, maintenance and protection of trees are subject to Article 16 of Public Works Code. Complying street trees are provided and comply with this section.

Sec. 145.1 STREET FRONTAGES, NC DISTRICTS  
Valencia NCT:

s. 145.1(c)(2): Parking: Garage entry to be no more than 1/3 of the lot width (or 26 feet) along Sycamore Street. Building complies.

s. 145.1(c)(3): Active Uses: With the exception of driveway, building egress and mechanical access, the first 25' of the building depth at grade to be reserved for active uses. Building proposes parking (a non-active use) set back less than 25' from Sycamore Street. **Street Frontage Variance is required**

s. 145.1(c)(4)(B): Ground Floor Ceiling Height: Ground floor non-residential uses to have a minimum floor to floor height of 14 feet as measured from grade.

For existing structure does not apply.  
s. 145.1(c)(5): Street Facing Ground-Level Spaces: Floors of street fronting interior spaces are to be as close as possible to sidewalk elevations. Building complies as commercial is proposed at grade.

s. 145.1(c)(6): Transparency and Fenestration: Street frontage on ground floor to have minimum 60% transparent windows and doors. For existing structure does not apply.

Sec. 145.4 REQUIRED GROUND FLOOR COMMERCIAL USES  
s. 145.4(b)(13)Valencia NCT: Ground floor along Valencia Street to be active uses and per 145.4(d)(3) no commercial frontage to be more than 75' contiguous linear feet. Building Complies with small commercial unit proposed.

**Article 1.5: Off-Street Parking and Loading**

Sec. 151.1 SCHEDULE OF PERMITTED PARKING  
Valencia NCT:

Residential: No parking is required. However 0.5 parking spaces per dwelling units are permitted on 7 x 0.5 = 3.5 = 4 spaces per section 153(a)(5). 4 spaces proposed. Project complies with us of car stacker.

Commercial Uses: Per Table 151 No parking is required where commercial is less than 5,000 SF occupied floor area: No parking proposed. Project complies.

Sec. 152 REQUIRED LOADING SPACES:  
None required for Commercial areas less than 10,000 square feet. None provided.

Sec. 154 DIMENSIONS FOR OFF-STREET PARKING  
Valencia NCT: s. 154(a)(3) no minimum area or dimension requirements.

Sec. 155.2 BICYCLE PARKING REQUIRED  
Residential Uses: s. 155.5 parking spaces for Residential Uses: one (1) Class 1 space for every dwelling unit. (7) dwelling units = (7) spaces required.  
Total bicycle parking required = 7 spaces.  
Total bicycle parking provided = 7 spaces. Building Complies.

Sec. 166 CAR SHARING  
Per Table 166, no car share spaces are required for 0-49 residential units. Building complies.

Sec. 168 BABY DIAPER CHANGING ACCOMODATIONS  
Every Public-Serving Establishment shall provide baby diaper-changing accommodations. Commercial unit complies.

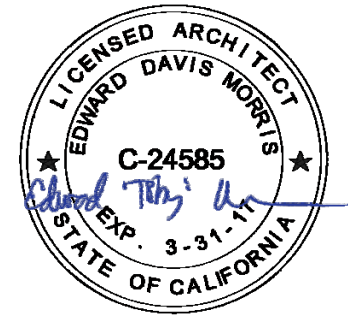
Residential Child Care Impact Fee and Eastern Neighborhood Impact Fees will be required.

Project will be subject to Section 312 Notification and Variance Notification.



Revisions

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645-647 VALENCIA ST.

ADDITIONS & ALTERATIONS  
BPA#2015.0305.0103

3576/ 062

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PROJECT NOTES

DATE 11/10/16

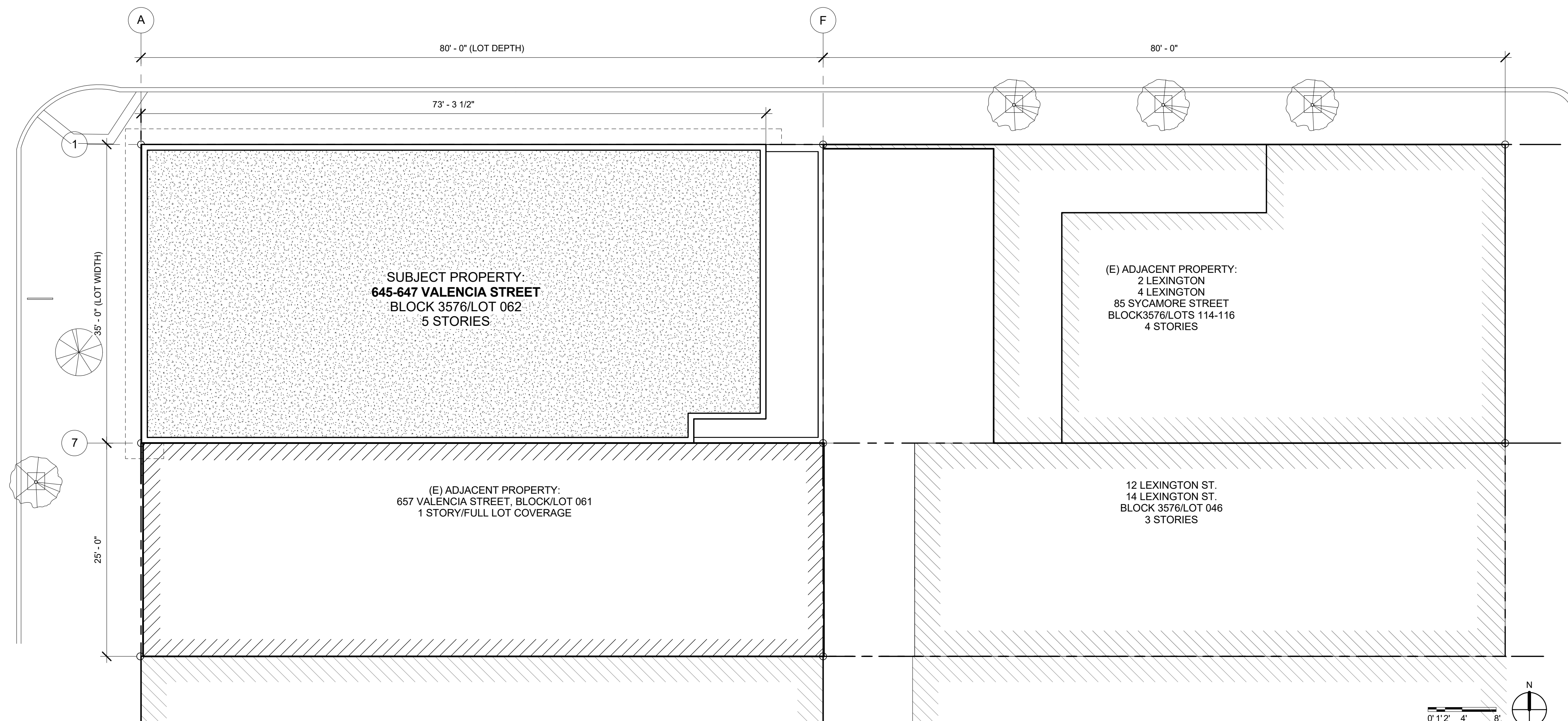
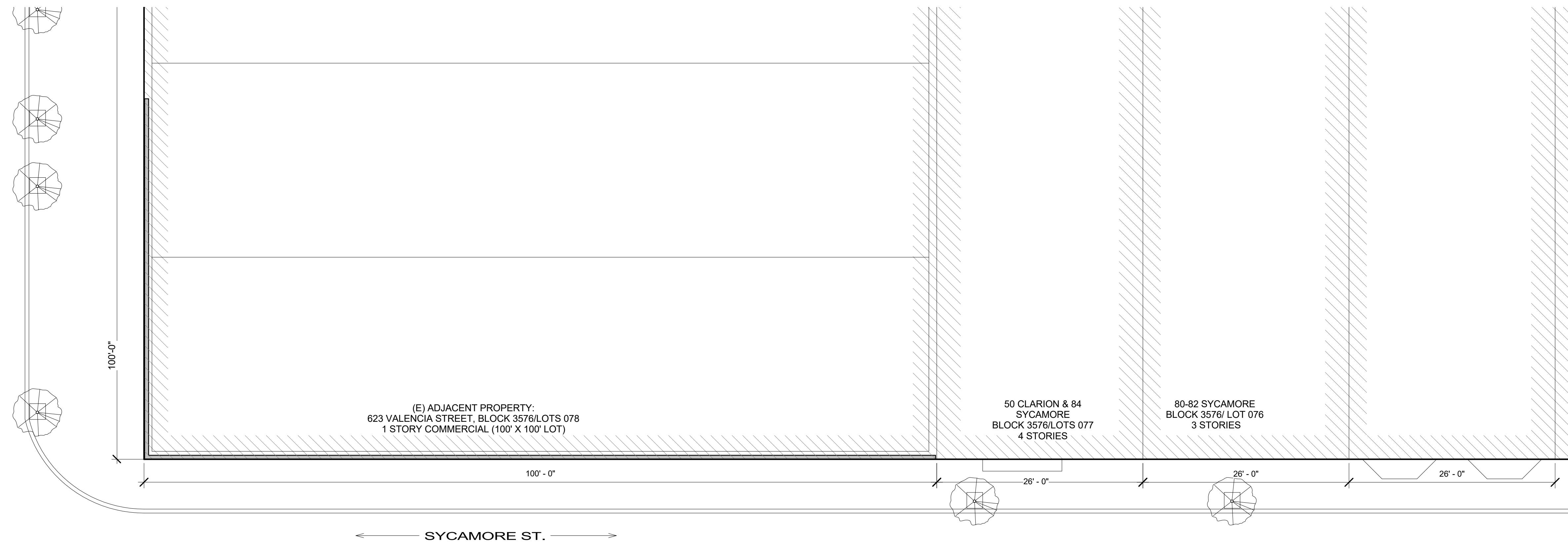
SCALE

DRAWN BY CG, SN

CHECKED BY TM

JOB NO. 1304

G0.02

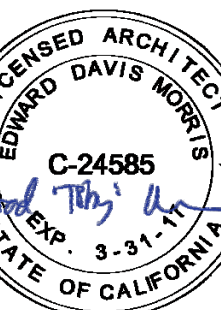


1 EXISTING SITE PLAN  
1/8" = 1'-0"

**km**  
kerman  
morris  
architects llp  
139 Noe Street  
San Francisco, CA  
94114  
415 749 0302

Revisions

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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|     |      |             |
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**645-647  
VALENCIA ST.**

ADDITIONS &  
ALTERATIONS  
BPA#2015.0305.0103

3576/ 062

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EXISTING SITE PLAN

|            |              |
|------------|--------------|
| DATE       | 11/14/16     |
| SCALE      | 1/8" = 1'-0" |
| DRAWN BY   | SN           |
| CHECKED BY | TM           |
| JOB NO.    | 1304         |

**A0.10**

**DEMOLITION CALCULATIONS TABLE**

| Removal of Elements  | Section 1005 Limits  | Proposed Project                               | Proposed Project Total | Meets Planning Code? |
|--|--|--|------------------------|----------------------|
| §1005(f)(1) Street Facing Exterior Walls (ft <sup>2</sup> of surface area including windows, doors, etc.)                                    | 25% or more  | 23 %   | 23 %                   | Y                    |
| §1005(f)(2) All Exterior Walls from function as exterior walls (ft <sup>2</sup> of surface area including windows, doors, etc.)              | 50% or more  | 19 %   | 19 %                   | Y                    |
| §1005(f)(3) All Exterior Walls used for external or internal wall functions (ft <sup>2</sup> of surface area including windows, doors, etc.) | 25% or more  | 19 %<br>(walls, doors, windows)                | 19%                    | Y                    |
| §1005(f)(4) Horizontal Elements <sup>5</sup> (ft <sup>2</sup> of floor plates except at/below grade)   | 75% or more<br>(combined internal structural frame work or floor plates) | 0 %<br>(floor)                                 | 45.6%                  | Y                    |
| §1005(f)(4) Internal Structural Framework (linear feet of interior partitions, load bearing walls, columns, etc.)                            |  | 91 %<br>(partitions, walls, columns and doors) |                        |                      |

**NOTE:** If removal and replacement of additional building elements considered beyond repair is required during construction, contact the Planning Department immediately for review and approval. This includes floor framing, sidewalks and other structural members not visible from the public right-of-way. Removal of elements beyond percentages submitted above is considered a violation. If removal is beyond percentages outlined in Planning Code Section 1005, further environmental review by the Planning Department is required.

**DEMOLITION PERCENTAGES:  
INTERIOR STRUCTURAL FRAMEWORK & FLOOR PLATES**

| FLOOR        | TOTAL (E) SQ. FTG. FLOOR PLATE | DEMOLISHED SQ. FTG. FLOOR PLATE | PERCENTAGE |
|--------------|--------------------------------|---------------------------------|------------|
| 1ST          | NA                             | NA                              | NA         |
| 2ND          | 2645                           | 0                               | 0%         |
| <b>TOTAL</b> | <b>2645</b>                    | <b>0</b>                        | <b>0%</b>  |

| WALL         | TOTAL (E) LINEAR FEET EXISTING WALL | DEMOLISHED LINEAR FEET DEMO WALL | PERCENTAGE |
|--------------|-------------------------------------|----------------------------------|------------|
| 1ST          | 267                                 | 233                              | 87         |
| 2ND          | 120                                 | 120                              | 100%       |
| <b>TOTAL</b> | <b>387</b>                          | <b>353</b>                       | <b>91%</b> |

**COMBINED TOTAL** (0% + 91%) / 2 = 45.6%

**DEMOLITION PERCENTAGES: EXTERNAL WALLS**

| FACADE       | TOTAL SQ. FTG.    | DEMOLISHED SQ. FTG. | PERCENTAGE |
|--------------|-------------------|---------------------|------------|
| <b>NORTH</b> | 2052 sq ft        | 470 sq ft           | 23%        |
| <b>EAST</b>  | 973 sq ft         | 407 sq ft           | 42%        |
| <b>SOUTH</b> | 2186 sq ft        | 149 sq ft           | 7%         |
| <b>WEST</b>  | 832 sq ft         | 0 sq ft             | 0%         |
| <b>TOTAL</b> | <b>6043 sq ft</b> | <b>1026 sq ft</b>   | <b>17%</b> |

**CODE:** SFPC SEC 1005.(f)  
(f) FOR PURPOSES OF THIS ARTICLE 10, DEMOLITION SHALL BE DEFINED AS ANY ONE OF THE FOLLOWING:

- REMOVAL OF MORE THAN 25% OF THE SURFACE OF ALL EXTERNAL WALLS FACING A PUBLIC STREET(S); OR
- REMOVAL OF MORE THAN 50% OF ALL EXTERNAL WALLS FROM THEIR FUNCTION AS ALL EXTERNAL WALLS; OR
- REMOVAL OF MORE THAN 25% OF EXTERNAL WALLS FROM THEIR FUNCTION AS EITHER EXTERNAL OR INTERNAL WALLS; OR
- REMOVAL OF MORE THAN 75% OF THE BUILDINGS EXISTING INTERNAL STRUCTURAL FRAMEWORK OR FLOOR PLANS UNLESS THE CITY DETERMINES THAT SUCH REMOVAL IS THE ONLY FEASIBLE MEANS TO MEET THE STANDARDS FOR SEISMIC LOAD AND FORCES OF THE LATEST ADOPTED VERSION OF THE SAN FRANCISCO BUILDING CODE AND THE STATE HISTORICAL BUILDING CODE.

**FINDINGS:**  
SFPC SEC 1005.(f)(1): PERCENTAGE OF EXTERNAL WALLS TO BE REMOVED (17%) FROM THEIR FUNCTION AS EXTERNAL WALLS IS LESS THAN 50%. PROJECT COMPLIES.

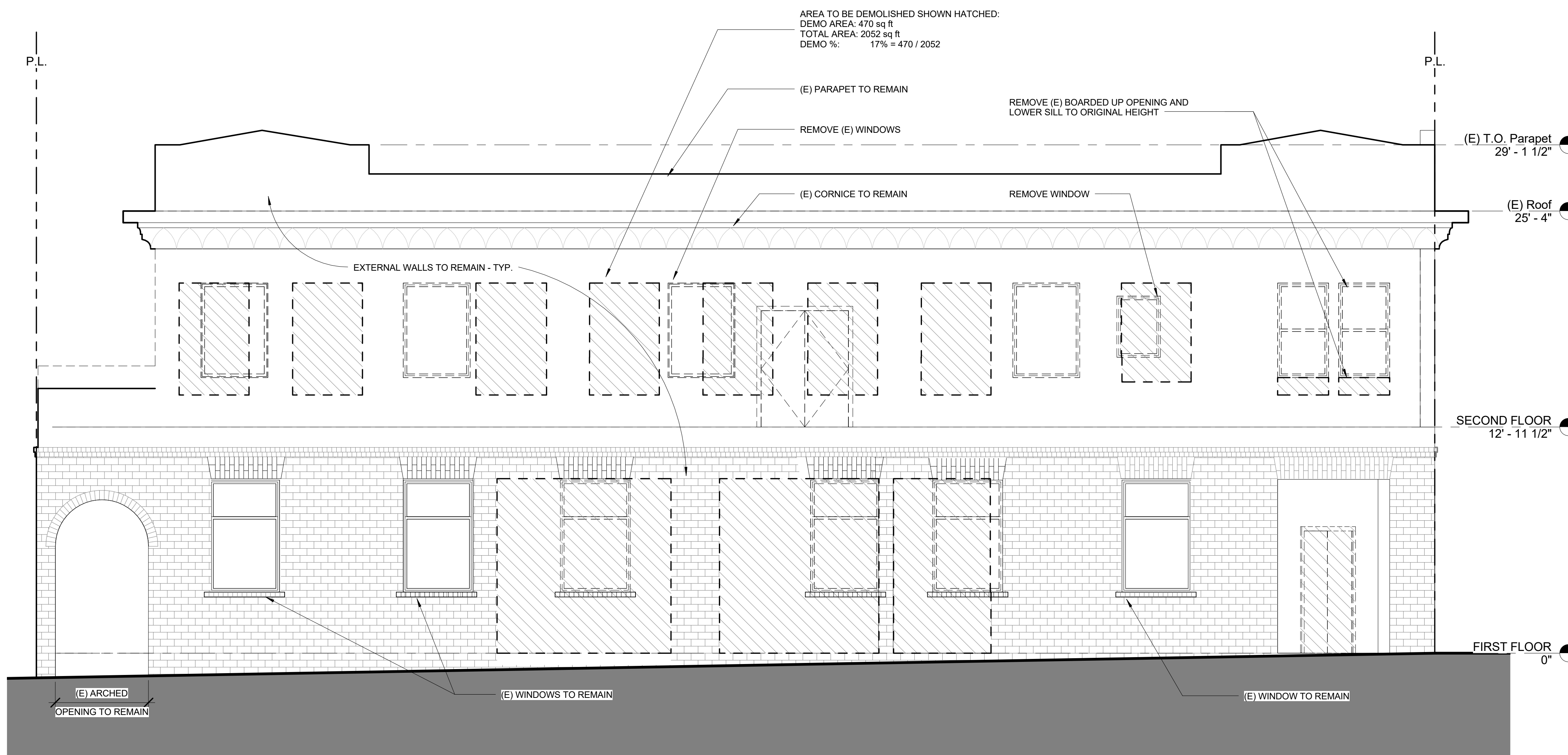
SFPC SEC 1005.(f)(2): PERCENTAGE OF EXTERNAL WALLS TO BE REMOVED (17%) FROM THEIR FUNCTION AS EXTERNAL WALLS IS LESS THAN 50%. PROJECT COMPLIES.

SFPC SEC 1005.(f)(3): PERCENTAGE OF EXTERNAL WALLS TO BE REMOVED (17%) FROM FUNCTION AS EXTERNAL OR INTERNAL WALLS IS LESS THAN 25%. PROJECT COMPLIES.

SFPC SEC 1005.(f)(4): TOTAL "INTERNAL STRUCTURAL FRAMEWORK OR FLOORPLATES" TO BE REMOVED IS LESS THAN 75% OF EXISTING. PROJECT COMPLIES.

**PARTITION / DEMO LEGEND**

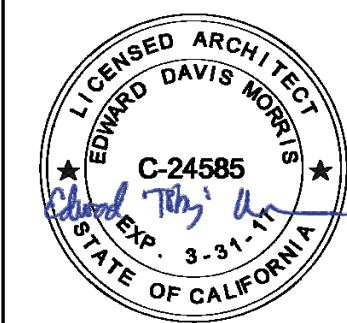
|  |                                      |
|--|--------------------------------------|
|  | WALL TO REMAIN                       |
|  | STRUCT. WALL TO BE REMOVED           |
|  | NON-STRUCT. WALL TO BE REMOVED       |
|  | FLOORPLATE / WALL AREA TO BE REMOVED |



**1 DEMOLITION BUILDING ELEVATION - NORTH**  
1/4" = 1'-0"



**Revisions**



**645-647  
VALENCIA ST.**  
ADDITIONS &  
ALTERATIONS  
BPA#2015.0305.0103

3576/ 062

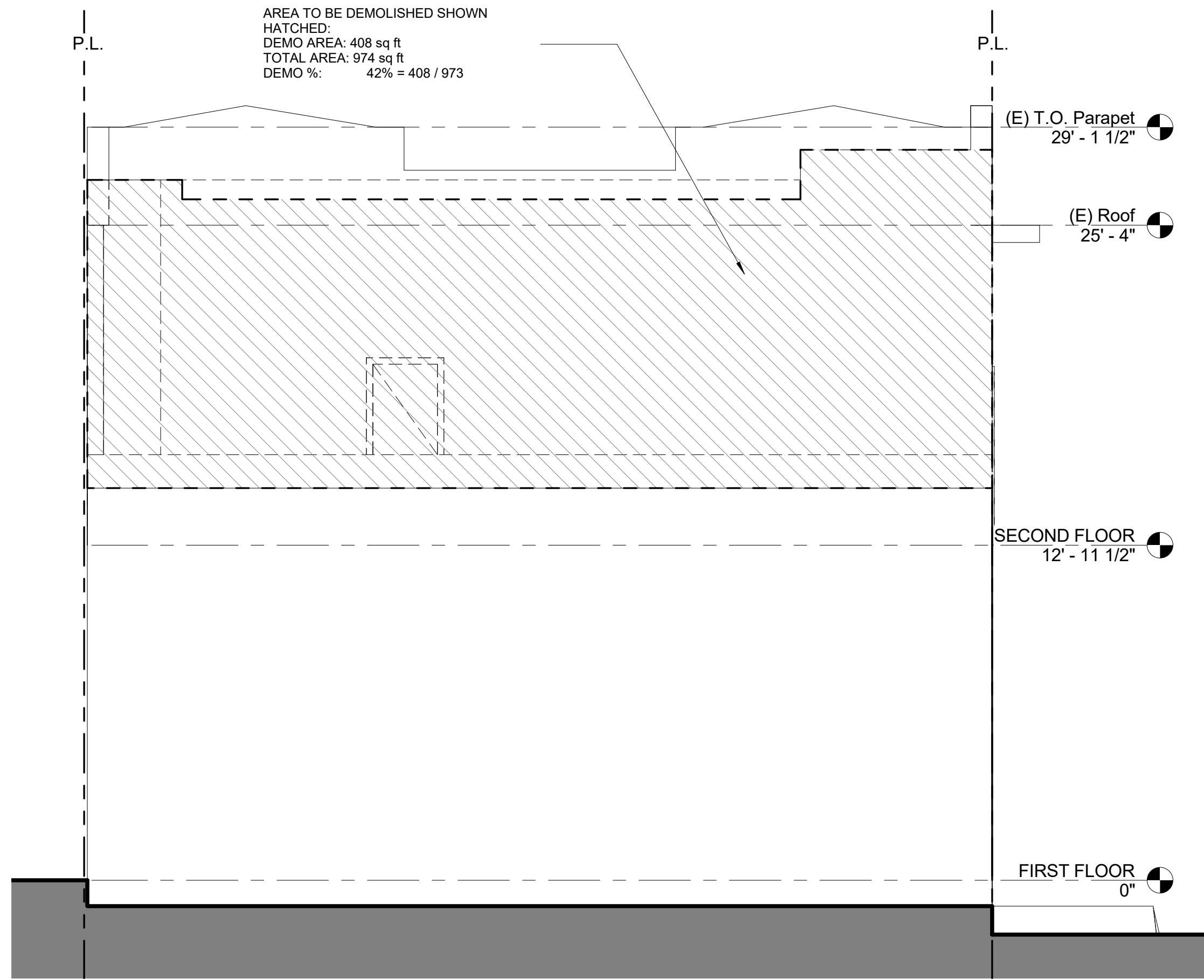
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**DEMOLITION ELEVATION - NORTH**

|            |              |
|------------|--------------|
| DATE       | 11/10/16     |
| SCALE      | 1/4" = 1'-0" |
| DRAWN BY   | CG           |
| CHECKED BY | TM           |
| JOB NO.    | 1304         |

**A0.13**



**DEMOLITION CALCULATIONS TABLE**

| Removal of Elements  | Section 1005 Limits  | Proposed Project                               | Proposed Project Total | Meets Planning Code? |
|--|--|--|------------------------|----------------------|
| §1005(f)(1) Street Facing Exterior Walls (ft <sup>2</sup> of surface area including windows, doors, etc.)                                    | 25% or more  | 23 %   | 23 %                   | Y                    |
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| §1005(f)(4) Horizontal Elements <sup>5</sup> (ft <sup>2</sup> of floor plates except at/below grade)   | 75% or more<br>(combined internal structural frame work or floor plates) | 0 %<br>(floor)                                 | 45.6%                  | Y                    |
| §1005(f)(4) Internal Structural Framework (linear feet of interior partitions, load bearing walls, columns, etc.)                            |  | 91 %<br>(partitions, walls, columns and doors) |                        |                      |

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**DEMOLITION PERCENTAGES: INTERIOR STRUCTURAL FRAMEWORK & FLOOR PLATES**

| FLOOR        | TOTAL (E) SQ. FTG. FLOOR PLATE | DEMOLISHED SQ. FTG. FLOOR PLATE | PERCENTAGE |
|--------------|--------------------------------|---------------------------------|------------|
| 1ST          | NA                             | NA                              | NA         |
| 2ND          | 2645                           | 0                               | 0%         |
| <b>TOTAL</b> | <b>2645</b>                    | <b>0</b>                        | <b>0%</b>  |

| WALL         | TOTAL (E) LINEAR FEET EXISTING WALL | DEMOLISHED LINEAR FEET DEMO WALL | PERCENTAGE |
|--------------|-------------------------------------|----------------------------------|------------|
| 1ST          | 267                                 | 233                              | 87         |
| 2ND          | 120                                 | 120                              | 100%       |
| <b>TOTAL</b> | <b>387</b>                          | <b>353</b>                       | <b>91%</b> |

**COMBINED TOTAL** (0% + 91%) / 2 = **45.6%**

**DEMOLITION PERCENTAGES: EXTERNAL WALLS**

| FACADE       | TOTAL SQ. FTG.    | DEMOLISHED SQ. FTG. | PERCENTAGE |
|--------------|-------------------|---------------------|------------|
| <b>NORTH</b> | 2052 sq ft        | 470 sq ft           | 23%        |
| <b>EAST</b>  | 973 sq ft         | 407 sq ft           | 42%        |
| <b>SOUTH</b> | 2186 sq ft        | 149 sq ft           | 7%         |
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| <b>TOTAL</b> | <b>6043 sq ft</b> | <b>1026 sq ft</b>   | <b>17%</b> |

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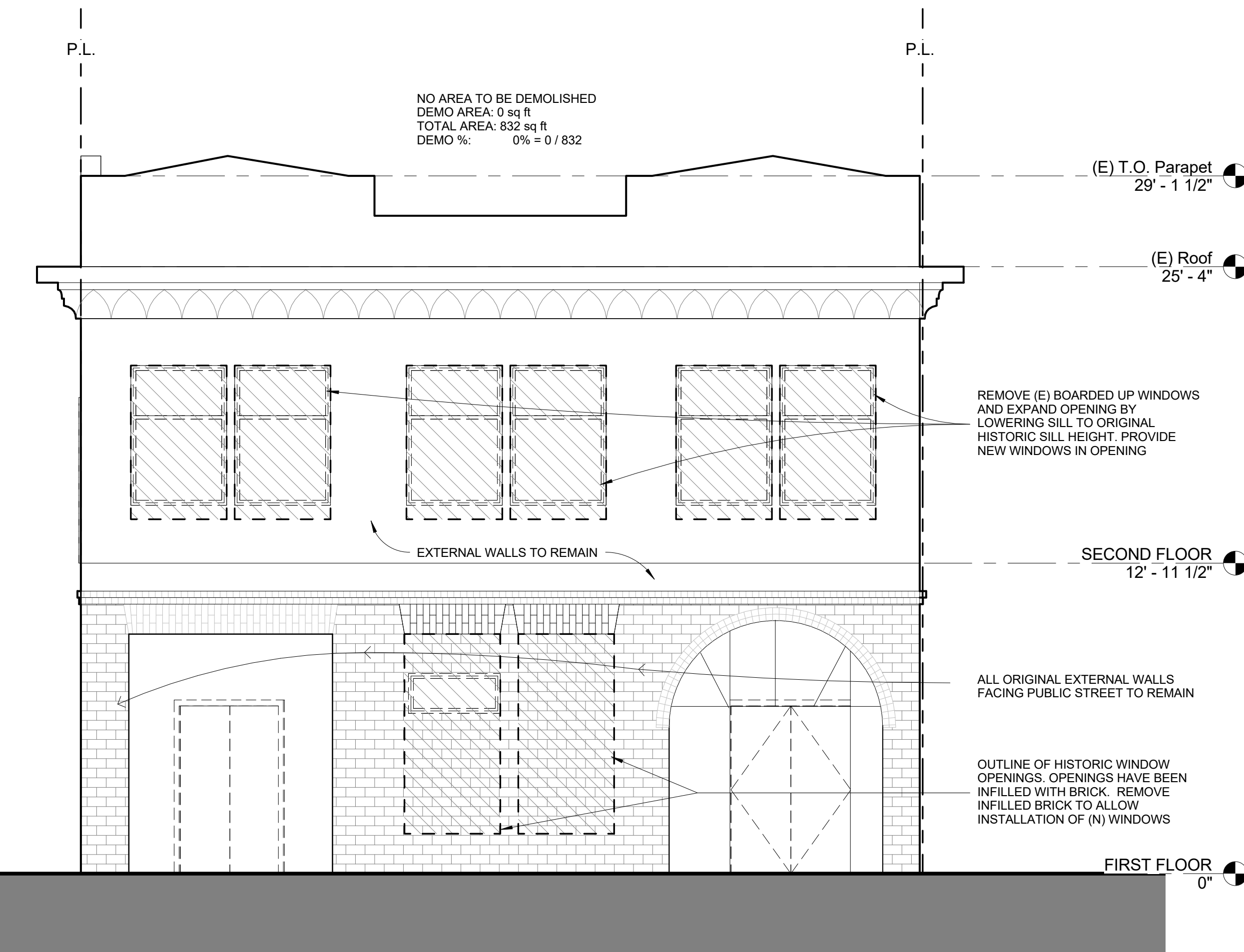
SFPC SEC 1005.(f)(4): TOTAL "INTERNAL STRUCTURAL FRAMEWORK OR FLOORPLATES" TO BE REMOVED IS LESS THAN 75% OF EXISTING. PROJECT COMPLIES.

**PARTITION / DEMO LEGEND**

|  |                                      |
|--|--------------------------------------|
|  | WALL TO REMAIN                       |
|  | STRUCT. WALL TO BE REMOVED           |
|  | NON-STRUCT. WALL TO BE REMOVED       |
|  | FLOORPLATE / WALL AREA TO BE REMOVED |

**1 DEMOLITION BUILDING ELEVATION - EAST**

1/4" = 1'-0"

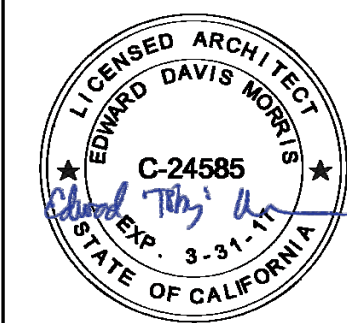


**2 DEMOLITION BUILDING ELEVATION - WEST**

1/4" = 1'-0"



**Revisions**



**645-647 VALENCIA ST.**

ADDITIONS & ALTERATIONS  
BPA#2015.0305.0103

3576/ 062

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**DEMOLITION ELEVATION - EAST AND WEST**

DATE 11/10/16

SCALE 1/4" = 1'-0"

DRAWN BY CG

CHECKED BY TM

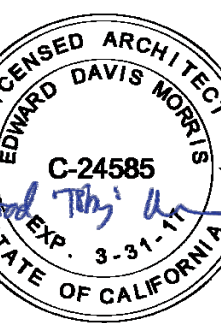
JOB NO. 1304

**A0.14**



Revisions

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**645-647 VALENCIA ST.**

ADDITIONS &  
 ALTERATIONS  
 BPA#2015.0305.0103

3576/ 062

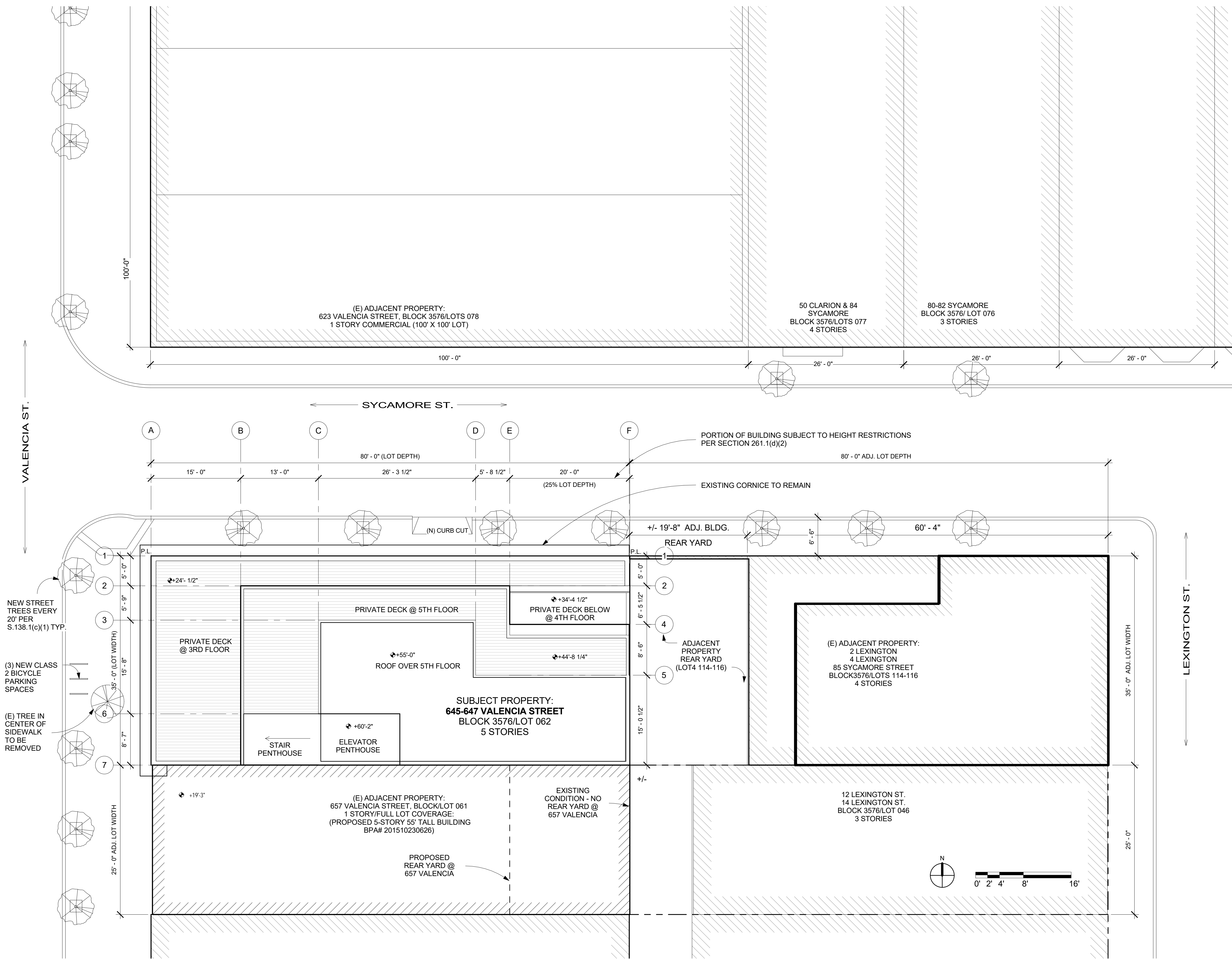
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PROPOSED SITE PLAN

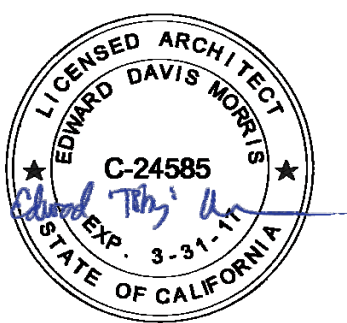
|            |              |
|------------|--------------|
| DATE       | 11/14/16     |
| SCALE      | 1/8" = 1'-0" |
| DRAWN BY   | Author       |
| CHECKED BY | Checker      |
| JOB NO.    | 1304         |

**A1.00**



**1** PROPOSED PLAN - Full lot widths  
 1/8" = 1'-0"

Revisions



**645-647**  
**VALENCIA ST.**  
 ADDITIONS &  
 ALTERATIONS  
 BPA#2015.0305.0103

3576/ 062

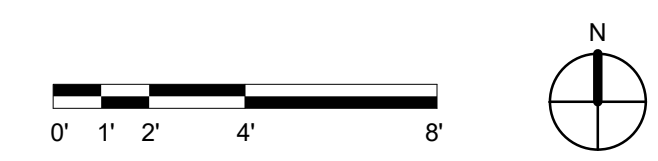
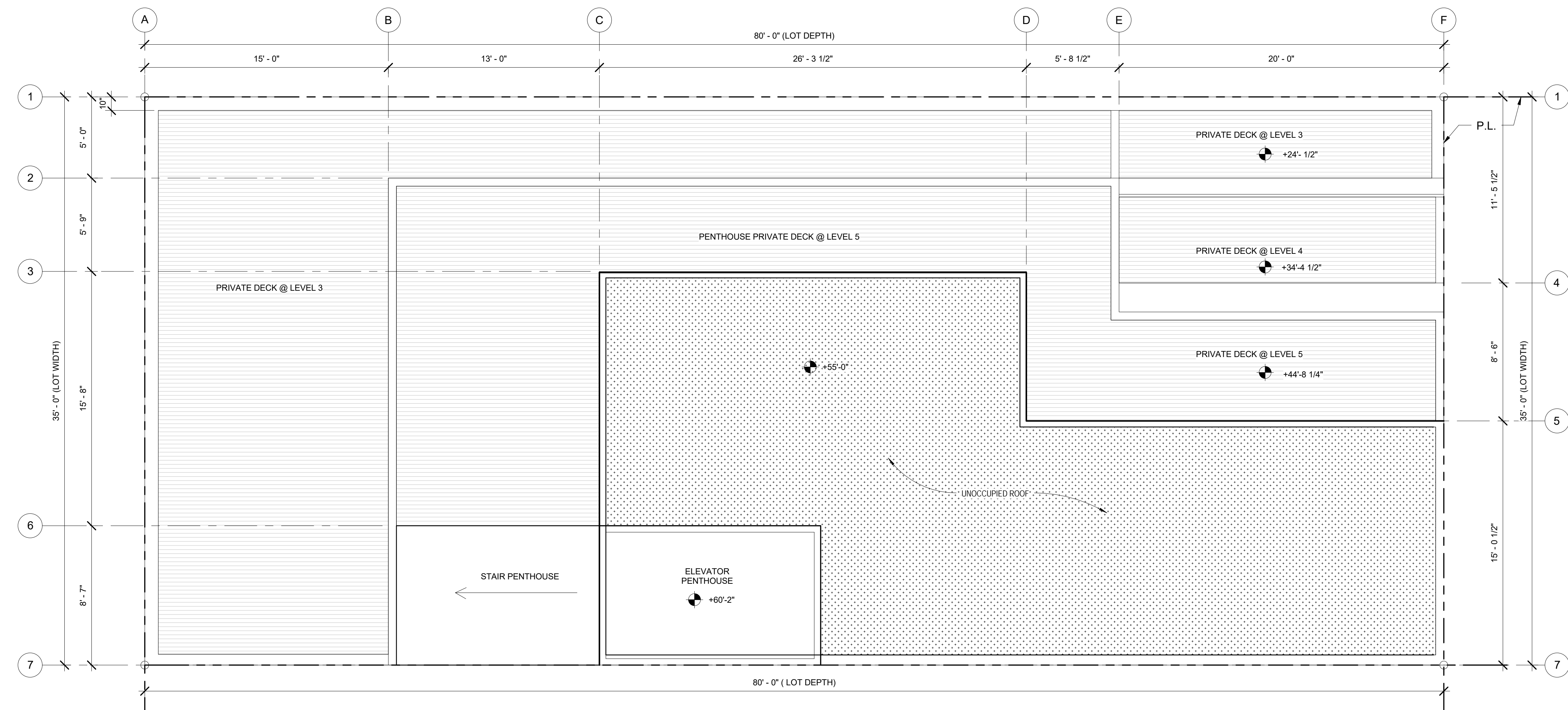
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PROPOSED PLAN - ROOF

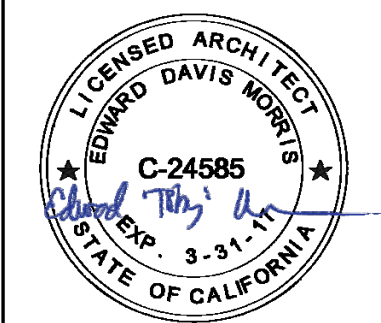
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|------------|--------------|
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| SCALE      | 1/4" = 1'-0" |
| DRAWN BY   | CG, SN       |
| CHECKED BY | TM           |
| JOB NO.    | 1304         |

A1.04



Revisions

| No. | Description |
|-----|-------------|
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**645-647  
 VALENCIA ST.**  
 ADDITIONS &  
 ALTERATIONS  
 BPA#2015.0305.0103

3576/062

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**BUILDING  
 ELEVATION -  
 NORTH**

DATE 11/10/16

SCALE 1/4" = 1'-0"

DRAWN BY CG, SN

CHECKED BY TM

JOB NO. 1304

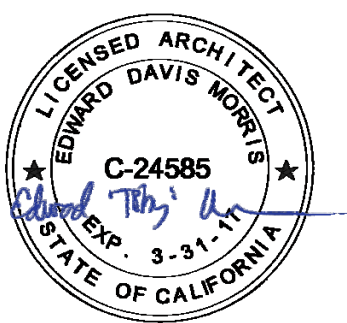
**A2.01**



**1 PROPOSED BUILDING ELEVATION - NORTH**

1/4" = 1'-0"

Revisions



**645-647  
 VALENCIA ST.**  
 ADDITIONS &  
 ALTERATIONS  
 BPA#2015.0305.0103

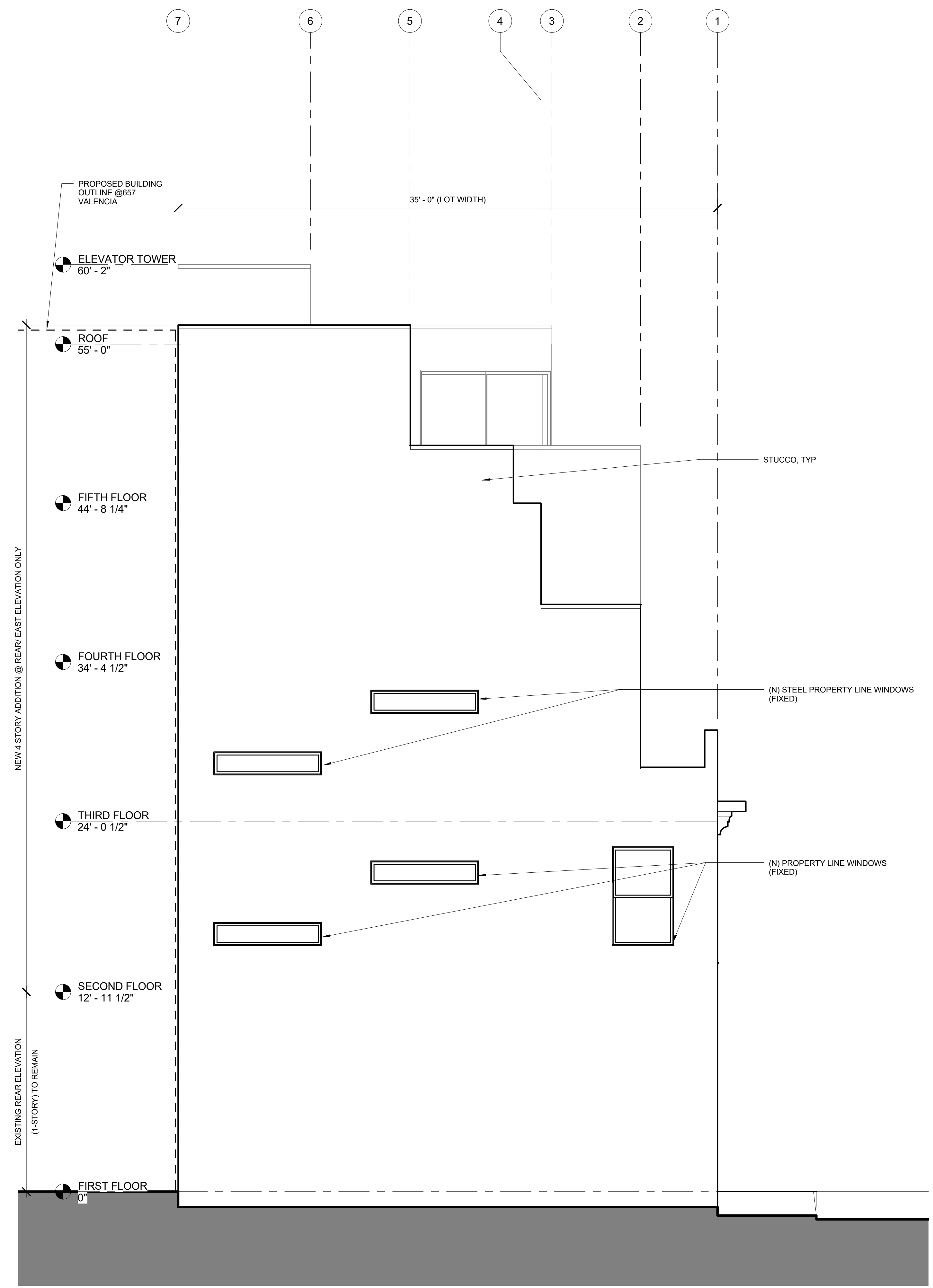
3576/ 062

NOTICE

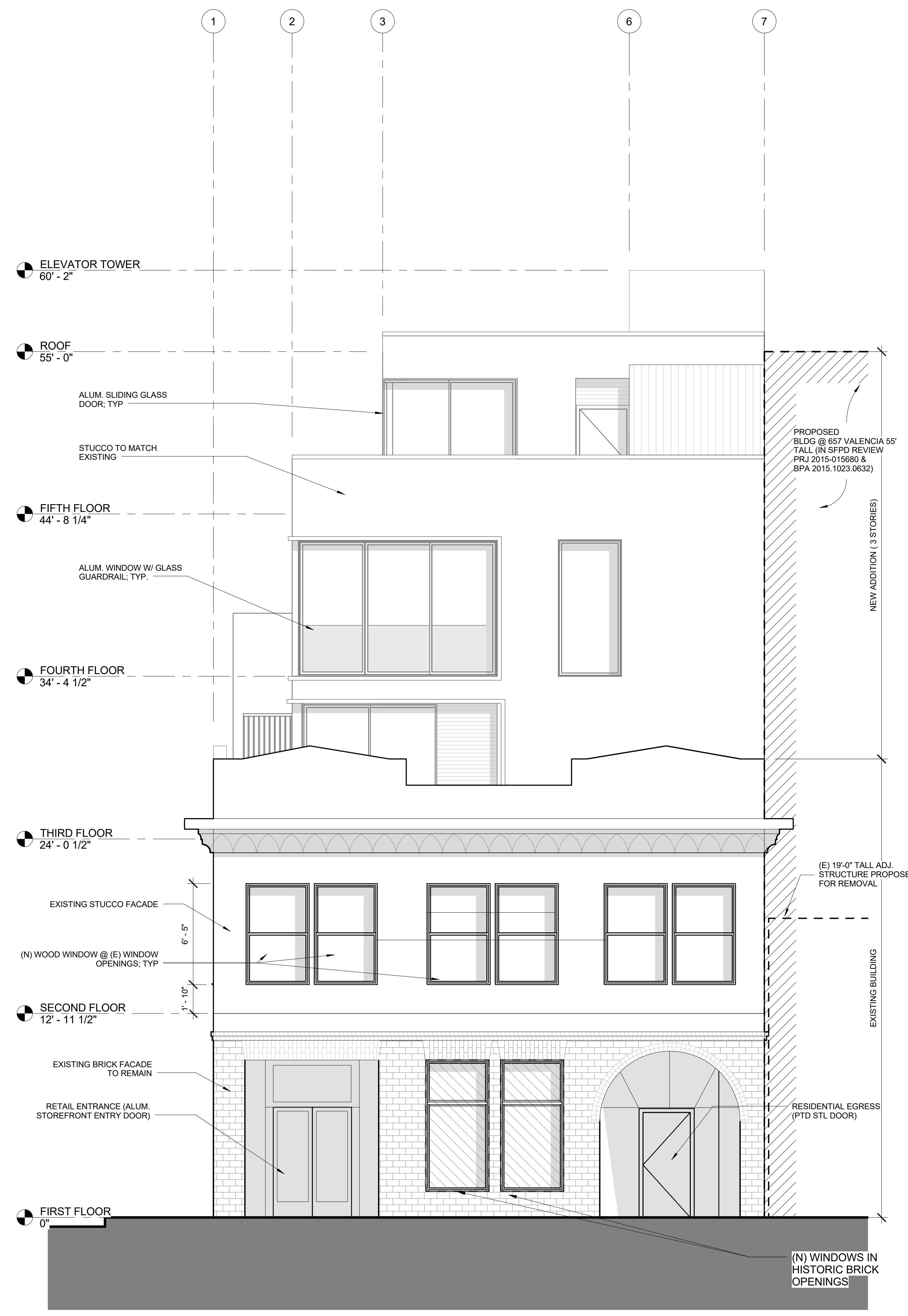
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**BUILDING  
 ELEVATION -  
 EAST & WEST**

|            |              |
|------------|--------------|
| DATE       | 11/10/16     |
| SCALE      | 1/4" = 1'-0" |
| DRAWN BY   | CG, SN       |
| CHECKED BY | TM           |
| JOB NO.    | 1304         |



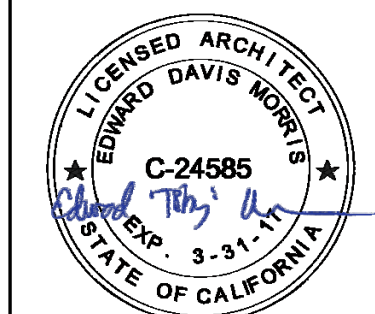
**1** PROPOSED BUILDING ELEVATION - EAST  
 1/4" = 1'-0"



**2** PROPOSED BUILDING ELEVATION - WEST  
 1/4" = 1'-0"

Revisions

| NO. | DATE | DESCRIPTION |
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|     |      |             |
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**645-647  
VALENCIA ST.**

ADDITIONS &  
ALTERATIONS  
BPA#2015.0305.0103

3576/062

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**BUILDING  
ELEVATIONS -  
SOUTH**

DATE 11/10/16

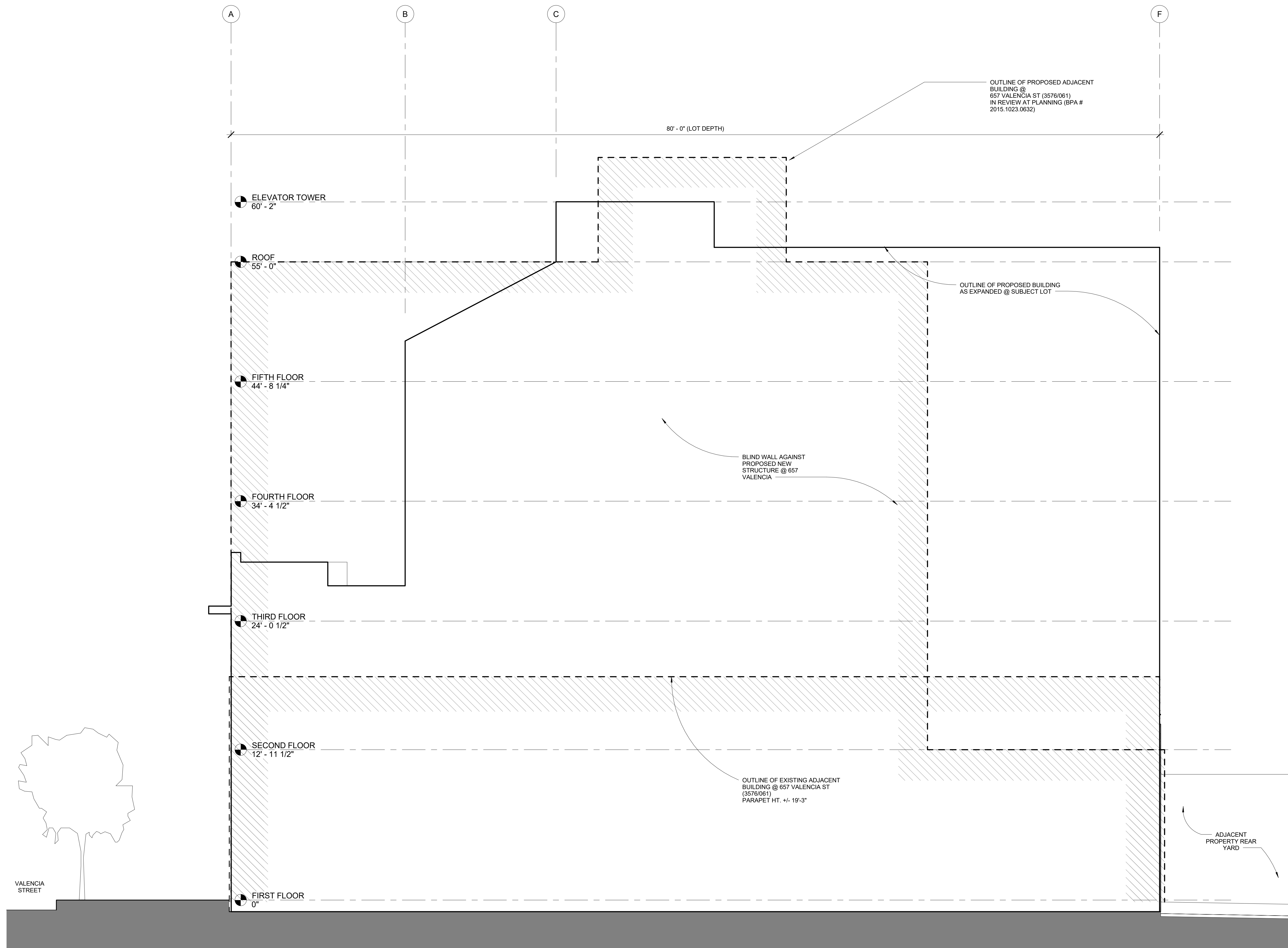
SCALE 1/4" = 1'-0"

DRAWN BY CG, SN

CHECKED BY TM

JOB NO. 1304

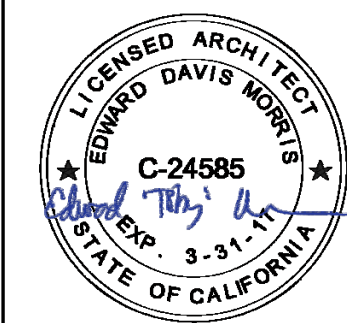
**A2.03**



**1** PROPOSED BUILDING ELEVATION - SOUTH  
1/4" = 1'-0"

Revisions

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |
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**645-647  
 VALENCIA ST.**  
 ADDITIONS &  
 ALTERATIONS  
 BPA#2015.0305.0103

3576/ 062

**NOTICE**  
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The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman/Morris Architects prior to the commencement of any work.

These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details.

All attachments, connections, fastenings, etc. are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

**BUILDING SECTION - EAST (REAR)**

DATE 11/10/16

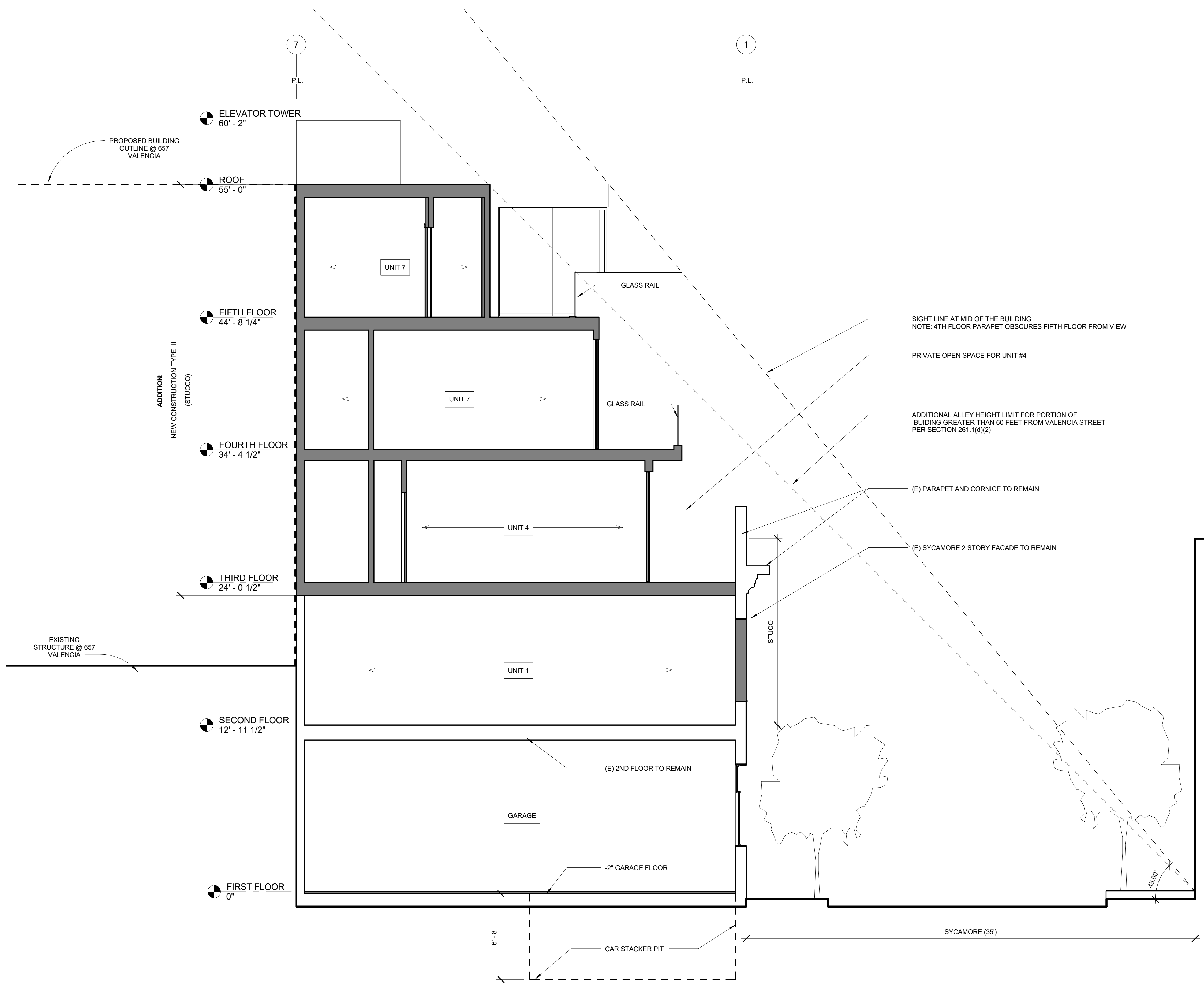
SCALE As indicated

DRAWN BY CG, SN

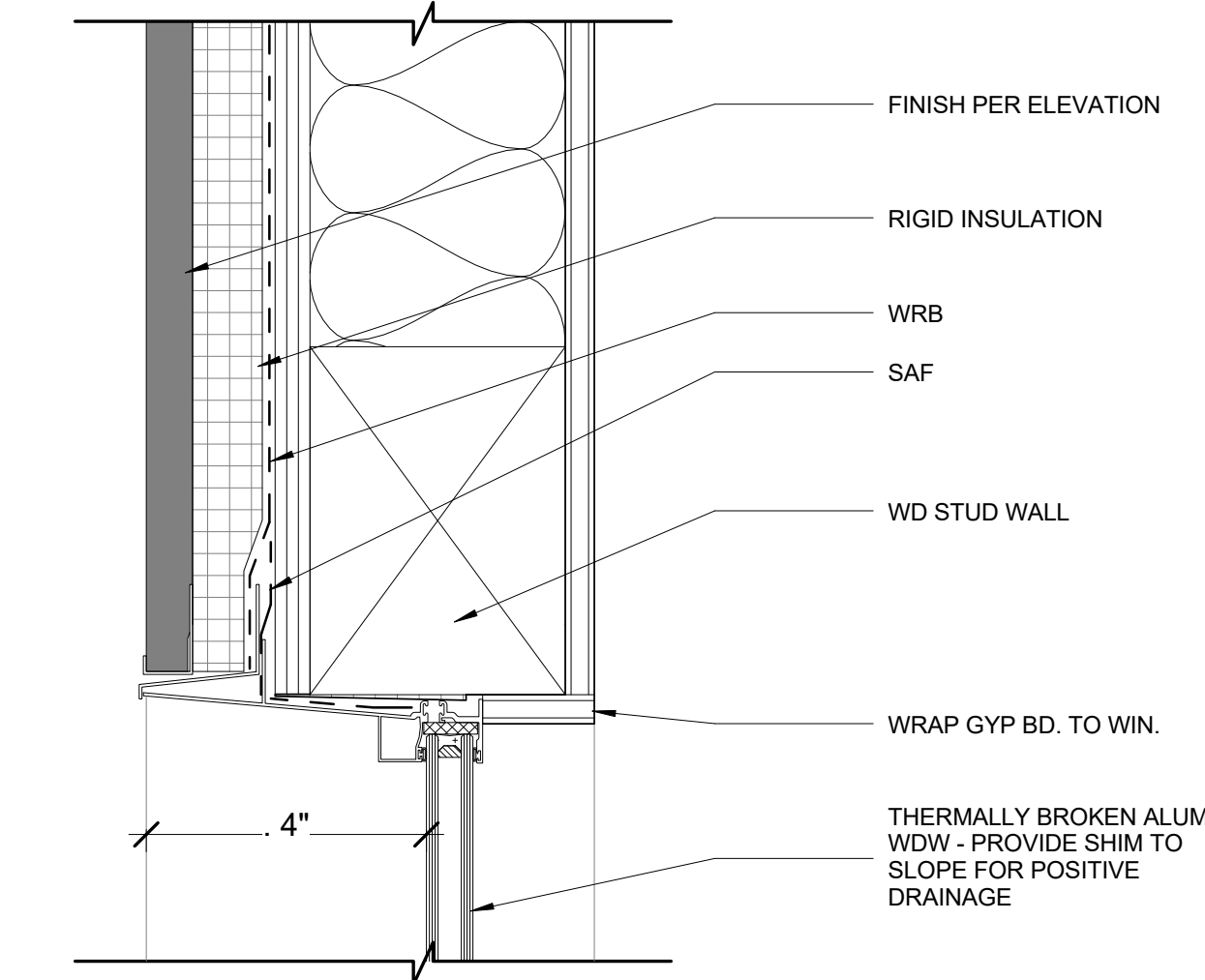
CHECKED BY TM

JOB NO. 1304

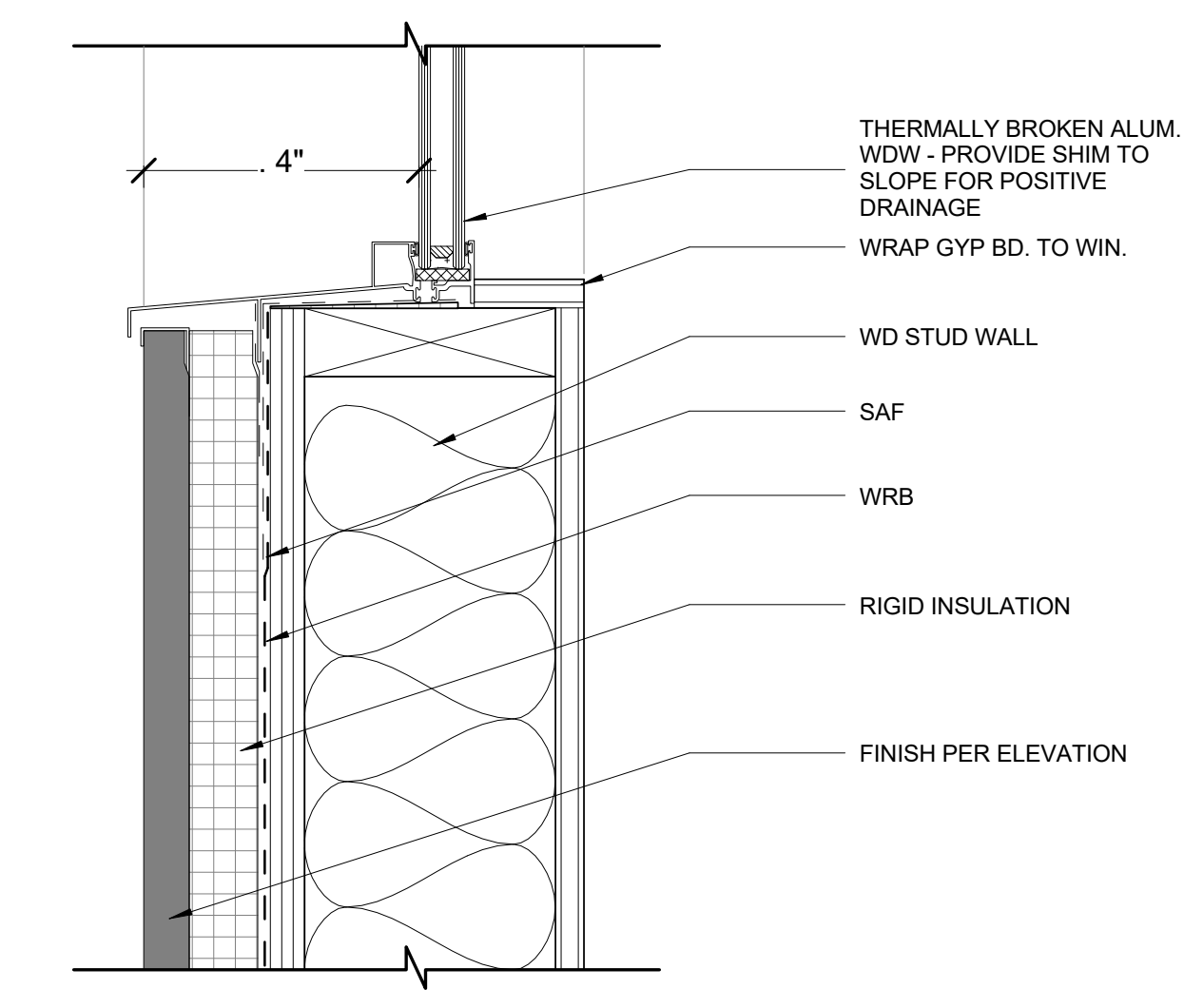
**A3.01**



**1 PROPOSED BUILDING SECTION - N/S REAR**  
 1/4" = 1'-0"

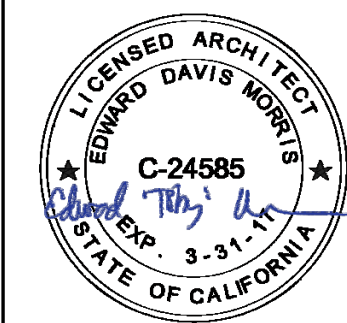


**3 EXTERIOR DETAIL - WINDOW HEAD**  
 3" = 1'-0"



**2 EXTERIOR DETAIL - WINDOW SILL**  
 3" = 1'-0"

Revisions



**645-647  
 VALENCIA ST.**  
 ADDITIONS &  
 ALTERATIONS  
 BPA#2015.0305.0103

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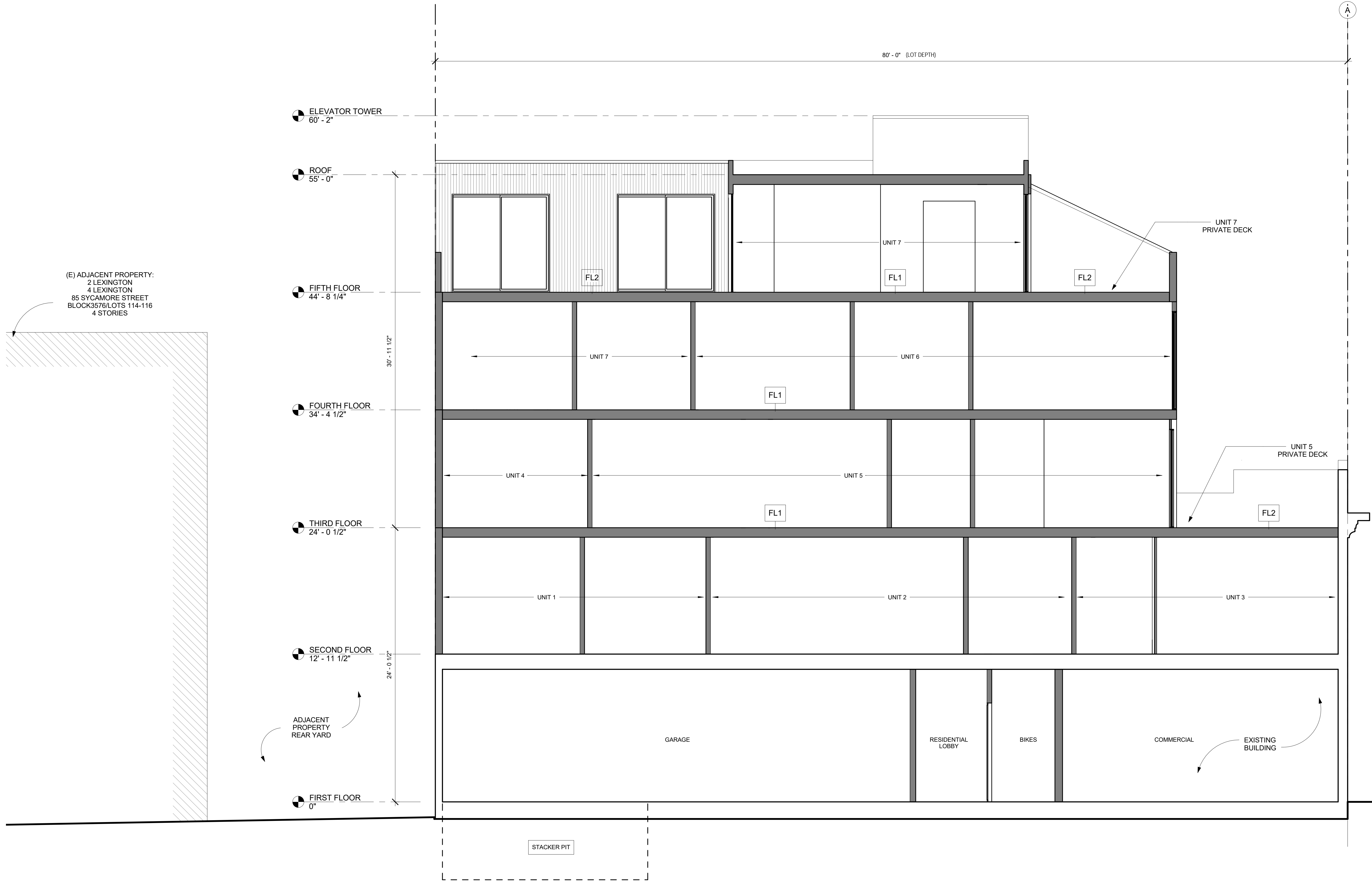
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BUILDING SECTION

|            |              |
|------------|--------------|
| DATE       | 11/10/16     |
| SCALE      | 1/4" = 1'-0" |
| DRAWN BY   | CG, SN       |
| CHECKED BY | TM           |
| JOB NO.    | 1304         |

**A3.02**



**1** PROPOSED BUILDING SECTION - LONGITUDINAL  
 1/4" = 1'-0"