



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

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**415.558.6409**

Planning  
Information:  
**415.558.6377**



**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, December 07, 2016**  
 Time: **9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance(Rear Yard)**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>847-849 29th Avenue</b>	Case No.: <b>2015-006139VAR</b>
Cross Street(s): <b>Cabrillo &amp; Fulton Streets</b>	Building Permit: <b>2015.03.11.0577</b>
Block / Lot No.: <b>1672/004B</b>	Applicant/Agent: <b>Derek Vinh</b>
Zoning District(s): <b>RH-2 / 40-X</b>	Telephone: <b>650-741-6968</b>
Area Plan: <b>N/A</b>	E-Mail: <b>info@icedesigninc.com</b>

### PROJECT DESCRIPTION

The proposal is to construct a three-story exterior stair at the rear of the two-family residence.

**Per Planning Code Section 134**, the subject property is required to maintain a rear yard of 54 feet. The existing building currently encroaches 2 feet 2 inches into the required rear yard. The proposed building and stair will encroach 9 feet 1 inch into the required rear yard.

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Natalia Kwiatkowska** Telephone: **415-575-9185** Mail: [Natalia.Kwiatkowska@sfgov.org](mailto:Natalia.Kwiatkowska@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2015-006139VAR.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **On October 12, 2016, the Department issued the required Section 311 notification for this project (expires November 11, 2016).**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

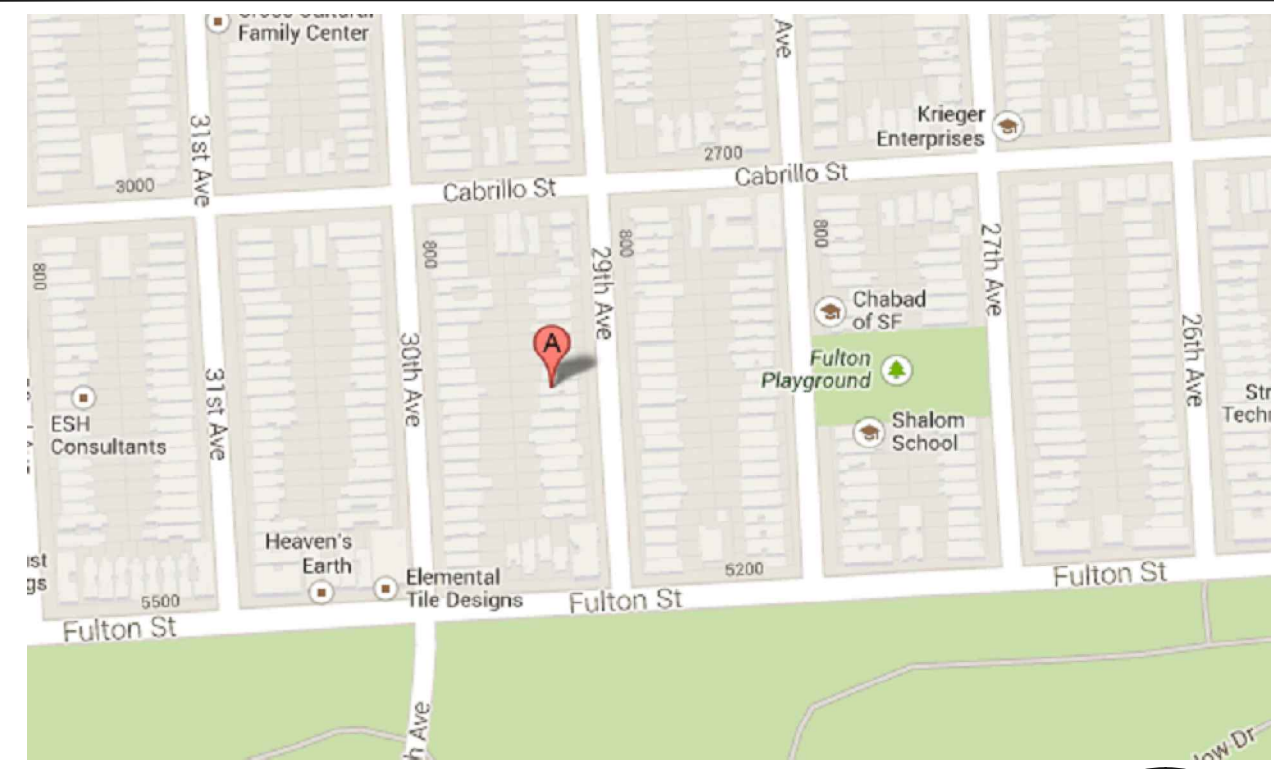
## ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

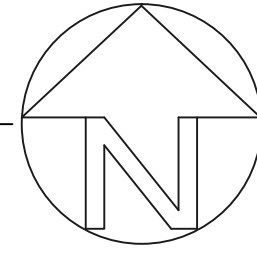
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VICINITY  
MAP

N.T.S.



**PROPERTY INFORMATION**

ADDRESS: 847-849 29TH AVENUE  
SAN FRANCISCO, CA 94121  
1672 / 004B  
BLOCK / LOT:  
ZONING: RH-2  
OCCUPANCY: R-3  
CONSTRUCTION TYPE: V-B  
NUMBER OF UNITS: 2 UNITS  
LOT AREA: 3,000 SQ. FT.  
EXISTING 2ND FLOOR AREA: ±1,498 SQ. FT.  
EXISTING 3RD FLOOR AREA: ±1,498 SQ. FT.  
ADDITIONAL 1ST FLOOR AREA: ±742 SQ. FT.  
(E) PARKING SPACE PROVIDED: 2 SPACES @ GARAGE

**APPLICABLE CODE**

2013 CALIFORNIA BUILDING CODE  
2013 CALIFORNIA ELECTRICAL CODE  
2010 CALIFORNIA ENERGY CODE  
2013 CALIFORNIA MECHANICAL CODE  
2013 CALIFORNIA PLUMBING CODE

**SCOPE OF WORK**

1) ADD NEW PREFAB SPIRAL STAIRCASE AT REAR PER PLAN.  
2) CHANGE FOLDING DOOR TO SLIDING DOOR AT REAR ON 1ST FLOOR.

**LIST OF DRAWINGS**

A1.0 COVER SHEET, SITE PLAN & GENERAL NOTES  
A1.1 PHOTOGRAPHS  
A2.0 FLOOR PLANS  
A2.0 FLOOR PLANS  
A3.0 ELEVATIONS  
A3.1 ELEVATIONS  
A3.2 ELEVATIONS

**WATER CONSERVATION REQUIREMENT**

1. PROVIDE MAXIMUM 2.0 GALLONS PER MINUTE FOR SHOWER HEADS  
2. PROVIDE MAXIMUM 1.5 GALLONS PER MINUTE FOR LAVATORY FAUCETS  
3. PROVIDE MAXIMUM 1.28 GALLONS PER FLUSH FOR NEW TOILETS

# LAU RESIDENCE

847 29TH AVENUE  
SAN FRANCISCO, CALIFORNIA 94121  
BLOCK 1672 LOT 004B

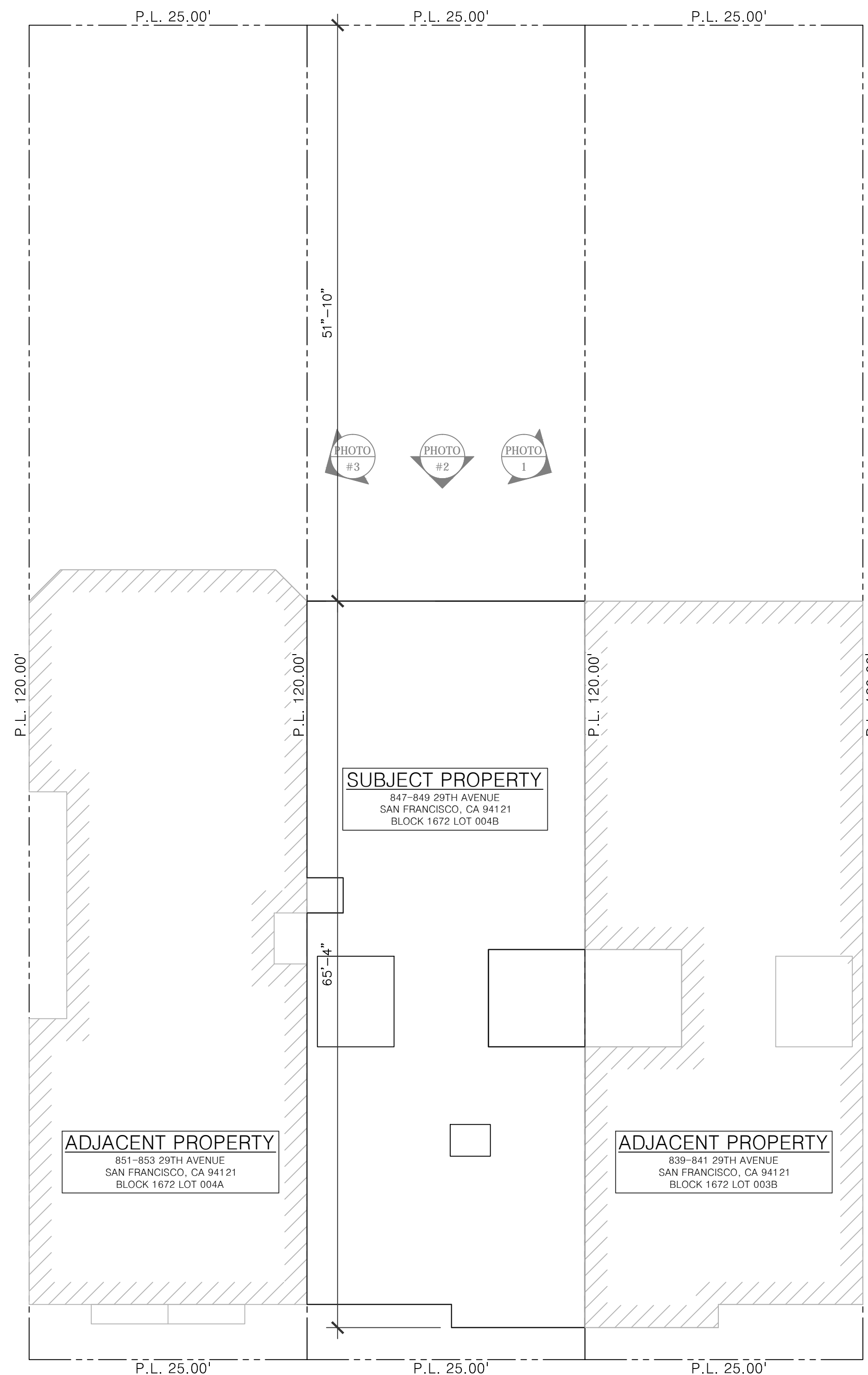
APPLICANT:  
DEREK LAU & WESLEY LAU  
847 29TH AVENUE  
SAN FRANCISCO, CA 94121  
(415) 990-8840

SHEET TITLE:

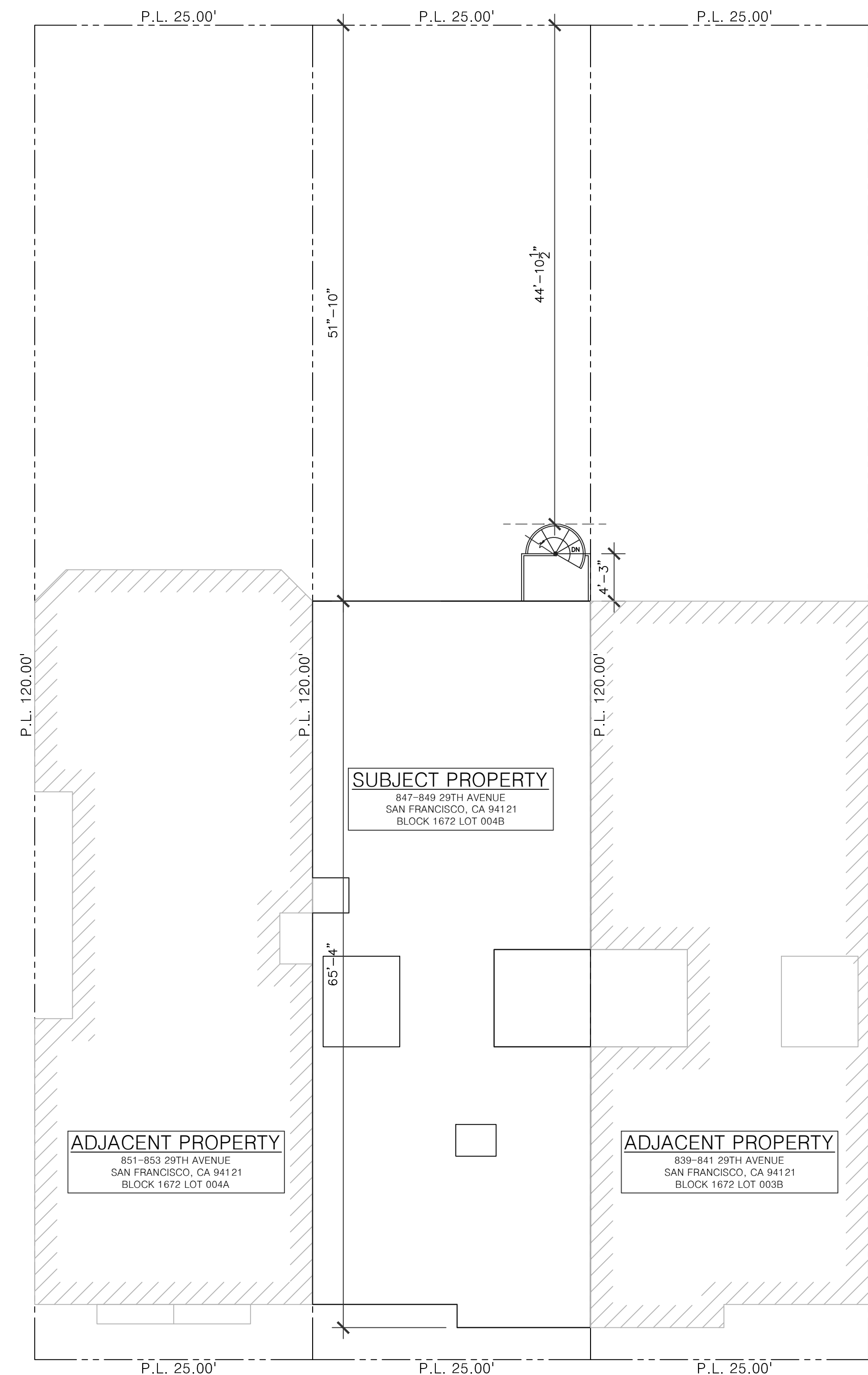
**COVER SHEET  
SITE PLAN AND  
GENERAL NOTES**

PROJECT ADDRESS:

847-849 29TH AVENUE  
SAN FRANCISCO, CA 94121  
BLOCK 1672 LOT 004B



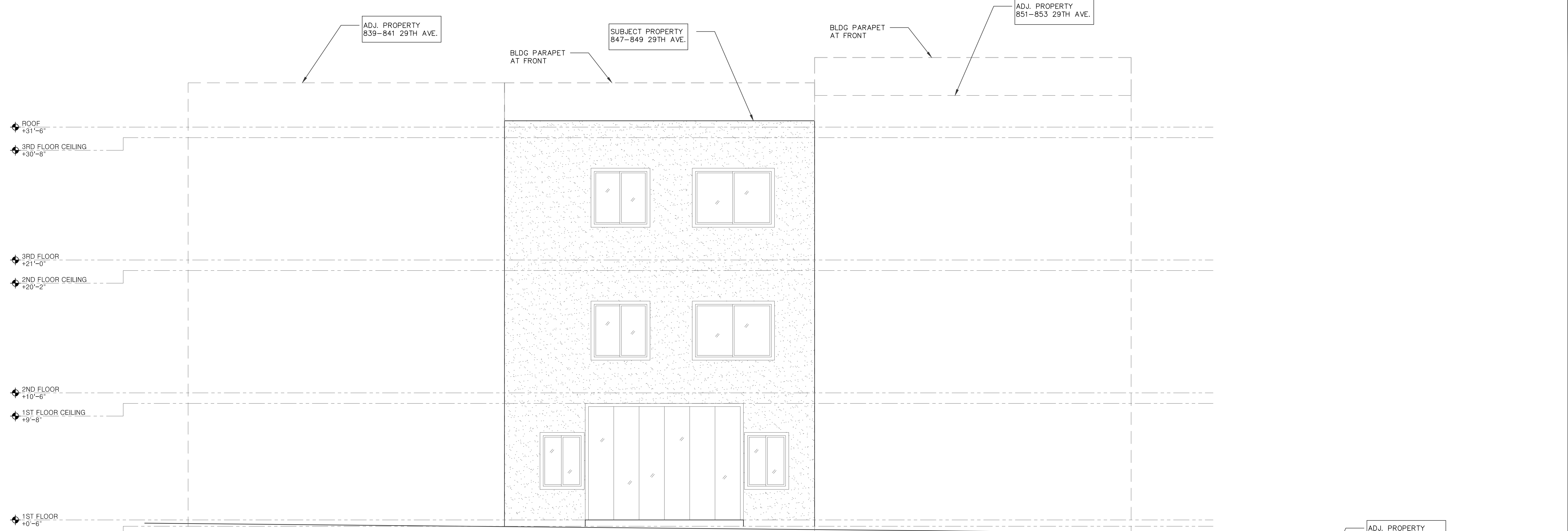
(E) SITE PLAN  
1/8" = 1'-0"



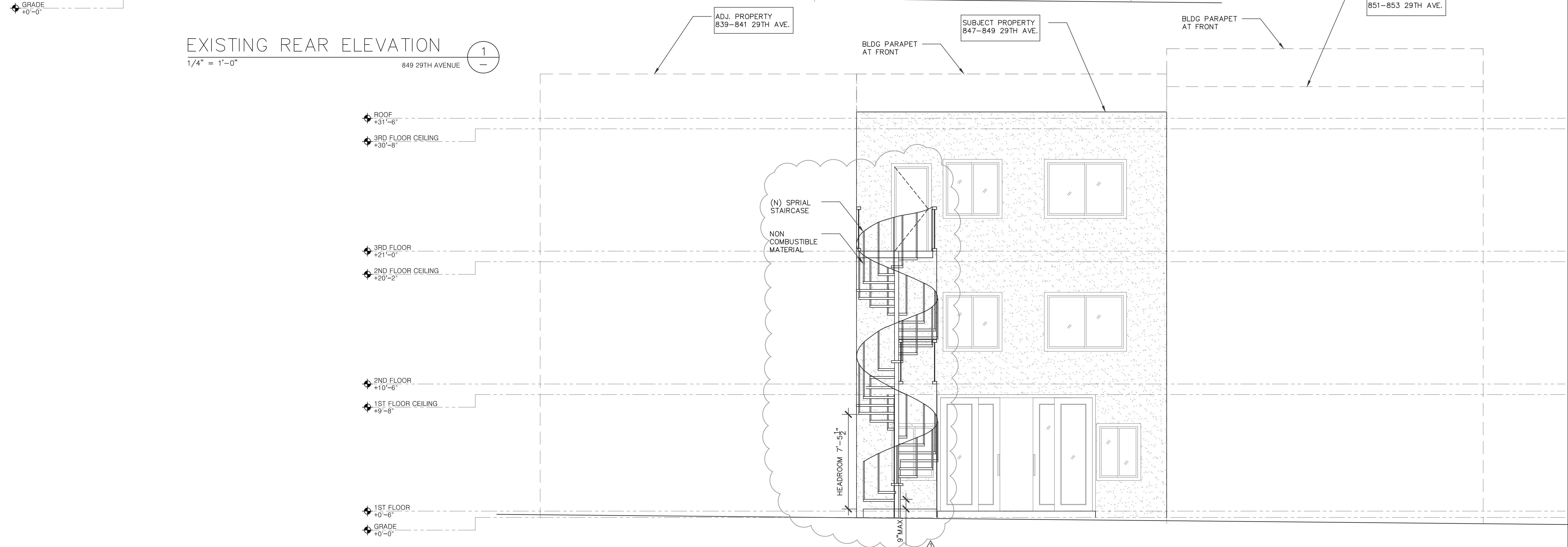
(N) SITE PLAN  
1/8" = 1'-0"

NOTES	BY
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DATE 05/06/2014  
SCALE AS NOTED  
DRAWN J.C.  
JOB 131208  
SHEET



EXISTING REAR ELEVATION 1  
 1/4" = 1'-0" 849 29TH AVENUE



PROPOSED REAR ELEVATION 1  
 1/4" = 1'-0" 849 29TH AVENUE

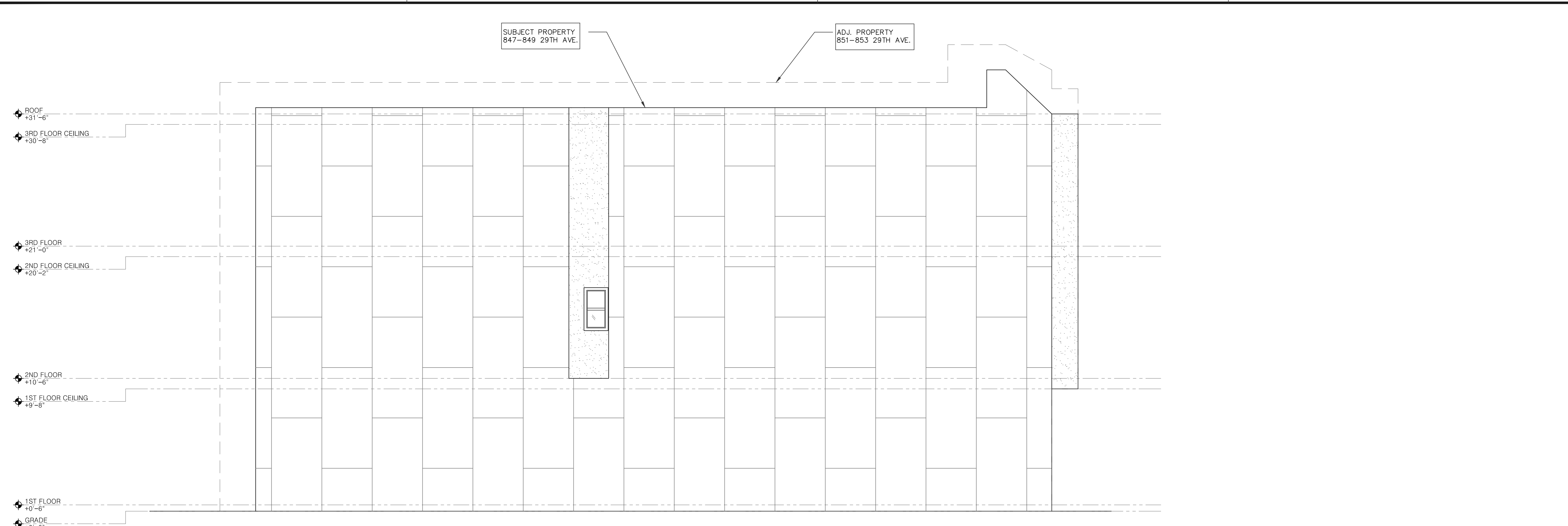
APPLICANT:  
 DEREK LAU & WESLEY LAU  
 847 29TH AVENUE  
 SAN FRANCISCO, CA 94121  
 (415) 990-8840

SHEET TITLE:  
**ELEVATIONS**

PROJECT ADDRESS:  
 847-849 29TH AVENUE  
 SAN FRANCISCO, CA 94121  
 BLOCK 1672 LOT 004B

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DATE	05/06/2014
SCALE	AS NOTED
DRAWN	J.C.
JOB	131208
SHEET	

**A3.0**  
 OF SHEETS



EXISTING SIDE ELEVATION  
 1/4" = 1'-0"  
 849 29TH AVENUE

2  
—



PROPOSED SIDE ELEVATION  
 1/4" = 1'-0"  
 849 29TH AVENUE

2  
—

APPLICANT:  
 DEREK LAU & WESLEY LAU  
 847 29TH AVENUE  
 SAN FRANCISCO, CA 94121  
 (415) 990-8840

SHEET TITLE:

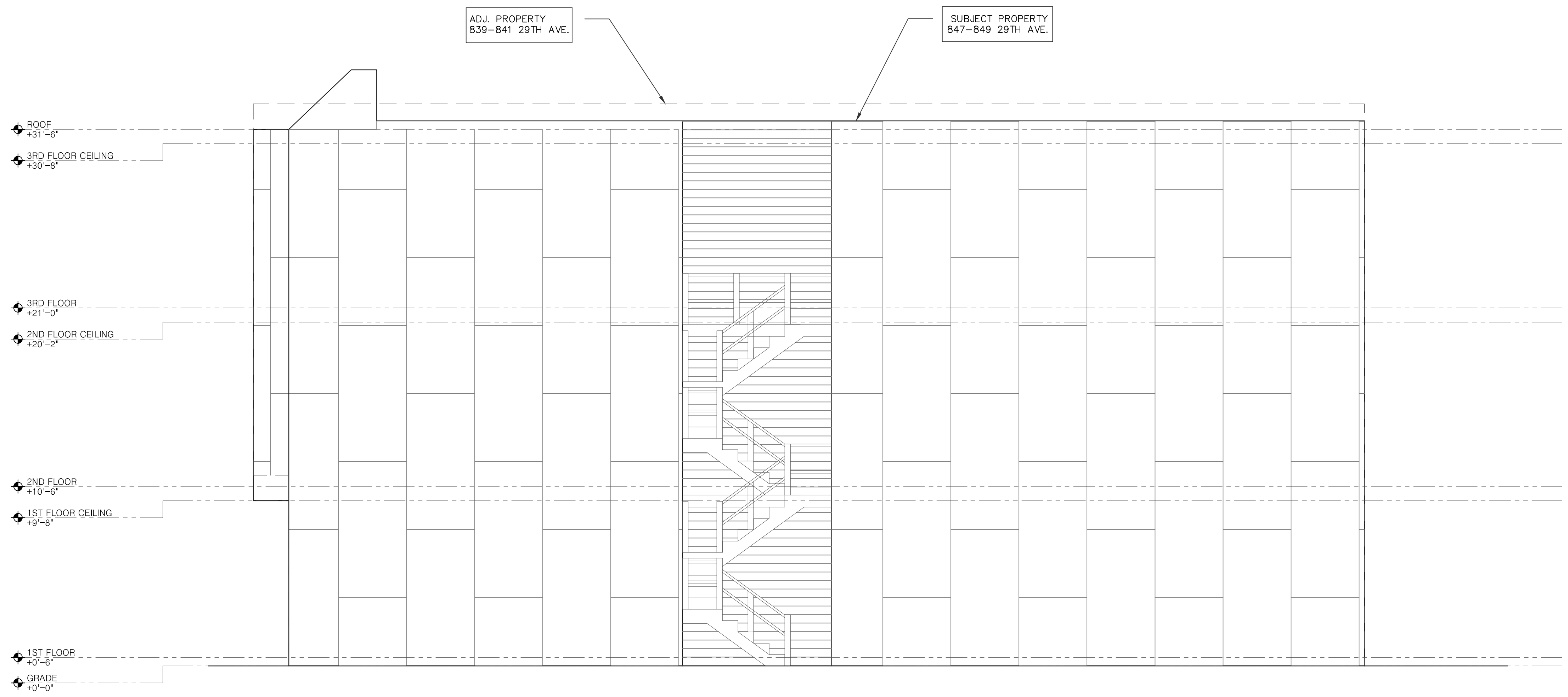
ELEVATIONS

PROJECT ADDRESS:  
 847-849 29TH AVENUE  
 SAN FRANCISCO, CA 94121  
 BLOCK 1672 LOT 004B

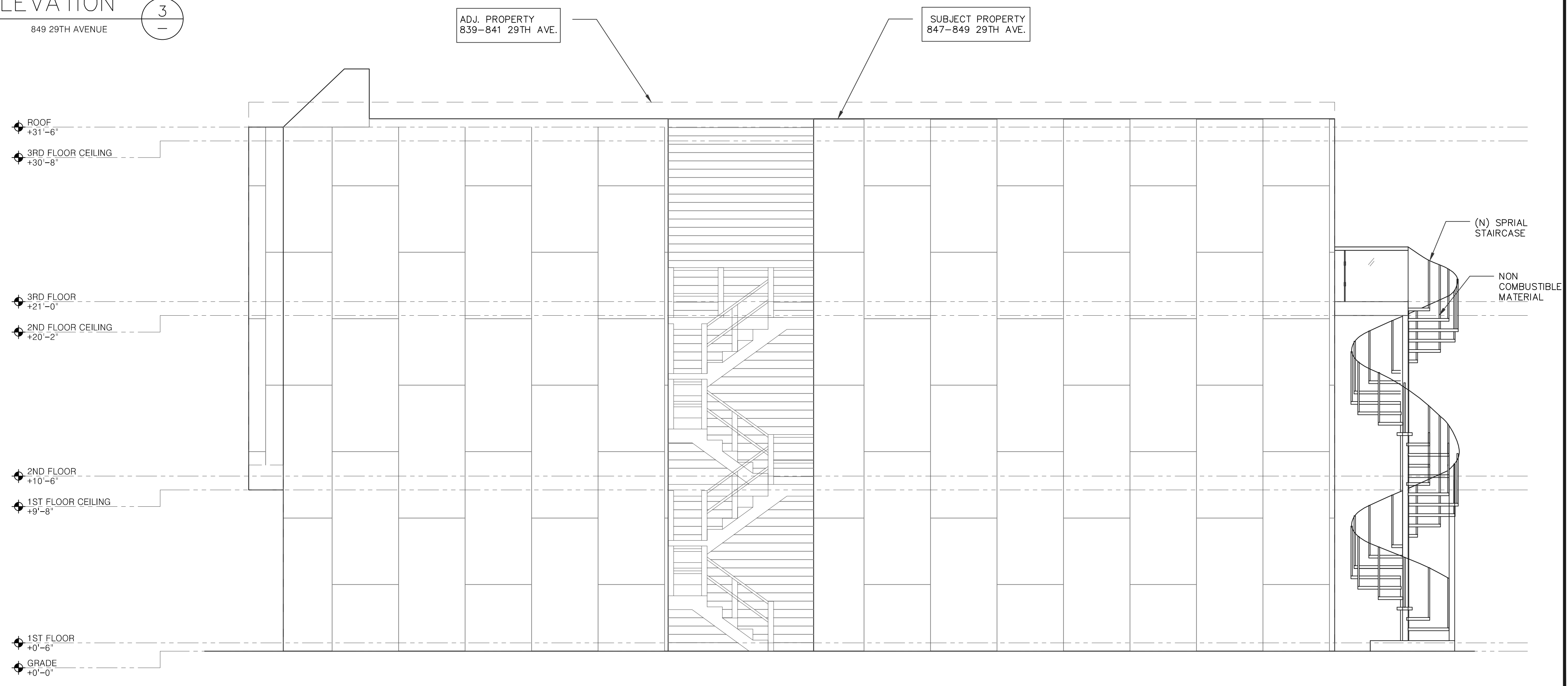
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DATE 05/06/2014  
 SCALE AS NOTED  
 DRAWN J.C.  
 JOB 131208  
 SHEET

**A3.1**  
 OF SHEETS



EXISTING SIDE ELEVATION 3  
 1/4" = 1'-0" 849 29TH AVENUE



PROPOSED SIDE ELEVATION 3  
 1/4" = 1'-0" 849 29TH AVENUE

APPLICANT:  
 DEREK LAU & WESLEY LAU  
 847 29TH AVENUE  
 SAN FRANCISCO, CA 94121  
 (415) 990-8840

SHEET TITLE:  
**ELEVATIONS**

PROJECT ADDRESS:  
 847-849 29TH AVENUE  
 SAN FRANCISCO, CA 94121  
 BLOCK 1672 LOT 004B

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DATE 05/06/2014  
 SCALE AS NOTED  
 DRAWN J.C.  
 JOB 131208  
 SHEET

**A3.2**  
 OF SHEETS