



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2016**  
 Time: **Not before 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance (Rear Yard)**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: <b>2218 Lyon Street</b>	Case No.: <b>2015-005762VAR</b>
Cross Street(s): <b>Pacific Ave. &amp; Jackson St.</b>	Building Permit: <b>2015.04.03.2798</b>
Block /Lot No.: <b>0975 / 013B</b>	Applicant (architect): <b>Marissa Brandon</b>
Zoning District(s): <b>RH-3 / 40-X</b>	Telephone: <b>(415) 608-2410</b>
Area Plan: <b>N/A</b>	E-Mail: <b>marissa_brandon@yahoo.com</b>

## PROJECT DESCRIPTION

The proposal is to construct a second story horizontal addition and deck with exterior stairs to grade at the rear and south side of the three-story, single-family house. The proposed rear addition (approximately 9 feet 6 inches wide by 6 feet deep) will be set back approximately 5 feet from the rear (east) property line. The proposed rear deck with exterior stairs (approximately 13 feet wide by 22 feet deep by 7 feet high), located on the southeast corner of the building, will be set back 3 feet from the rear (east) and 3 feet from the side (south) property line. The proposed rear deck will expand an existing rear deck abutting the rear property line.

**SECTION 134 OF THE PLANNING CODE** requires a rear yard of 15 feet. The proposed second story horizontal addition will extend approximately 10 feet into the required rear yard and the proposed second story rear deck will extend approximately 12 feet into the required rear yard.

## ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2015-005762VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**  
 Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail: **sharon.m.young@sfgov.org**

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. The mailing of such notification will be performed separately.

## APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

## ARCHITECTURAL SYMBOLS

	WINDOW CALLOUT
	DOOR CALLOUT
	SKYLIGHT CALLOUT
	REVISION CALLOUT
	ELEVATION CALLOUT
	DRAWING NUMBER
	SHEET NUMBER
	MAIN SECTION CUT
	DETAIL CALLOUT
	STRUCTURAL GRID
	ELEVATION TARGET
	PROPERTY LINE
	NORTH ARROW
	STRUCTURE OUTLINE
	EXISTING WALLS
	NEW WALLS
	DEMO'D WALLS
	1-HOUR CONSTRUCTION
	LINE ABOVE
	LINE ABOVE
	LEFT HINGE - RIGHT HINGE - L TO R SLIDER
	HOSE BIB
	GAS OUTLET
	TREE

## ELECTRICAL SYMBOLS

	CEILING LIGHT FIXTURE - WALL MOUNTED
	RECESSED LIGHT FIXTURE - W/ EYEBALL DEFLECTOR
	FLOURESCENT LIGHT FIXTURE
	TRACK LIGHTING
	SPOTLIGHT
	TRANSFORMER
	DUPLEX OUTLET - FLOOR MOUNTED - CEILING MOUNTED
	QUAD OUTLET
	SWITCH - DIMMER - 3-WAY
	FAN
	SMOKE DETECTOR
	THERMOSTAT
	CABLE TV
	TELEPHONE - COMPUTER DATA
	GARAGE DOOR PUSH-BUTTON SWITCH
	ELECTRICAL MAIN-PANEL - SUB-PANEL

## ABBREVIATIONS

ABV	Above	JT	Joint
A.F.F.	Above Finished Floor	KIT	Kitchen
ADJ	Adjust(able)	L.B.	Lag Bolt
ALUM	Aluminum	LAM	Laminate(d)
A.B.	Anchor Bolt	L/H	Left Hand
APPX	Approximate(y)	LT	Light
AUTO	Automatic	L.W.	Lightweight
A.N.G.	Average Natural Grade	M.B.	Machine Bolt
AWN	Awning	MFR	Manufacturer
BSBD	Baseboard	MTL	Material(s)
BM	Beam	MAX	Maximum
BRG	Bearing	MECH	Mechanical
BEL	Below	MMB	Membrane
BTWN	Between	MET	Metal
BLK	Block	MW	Microwave
BLKG	Blocking	MIN	Minimum
BD	Board	MISC	Miscellaneous
BLDG	Building	MULL	Mullion
CAB	Cabinet	(N)	New
CBL	Cable	N.I.C.	Not In Contract
CPT	Carpet(ed), (ing)	N.T.S.	Not To Scale
CSMT	Casement	O.C.	On Center
CK	Caulk(ing)	OPG	Opening
CLG	Ceiling	OPER	Operable
C.L.	Center Line	OPP	Opposite
CIR	Circle	O.S.B.	Oriented Strand Board
CIRC	Circumference	O.D.	Outside Dimension
CLR	Clear(ance)	PNT	Paint(ed)
C.A.R.	Cold Air Return	PR	Pair
COL	Column	PNL	Panel
CONC	Concrete	PERF	Perforate(d)
C.M.U.	Concrete Masonry Unit	PL	Plate
CONT	Continue(ous)	PLY	Plywood
CJT	Control Joint	PREFAB	Prefabricate(d)
CORR	Corrugated	P.T.	Pressure Treated
CFT	Cubic Foot	P.L.	Property Line
CYD	Cubic Yard	RAD	Radius
CUST	Custom	RDWD	Redwood
DEG	Degree	REFR	Refrigerator
DTL	Detail	REINF	Reinforce(d), (ing)
DIA	Diameter	REM	Remove
DIM	Dimension	REQ	Require(d)
D/W	Dishwasher	REV	Revise(d), (ion)
DISP	Disposal	R/H	Right Hand
DR	Door	R	Riser
D/H	Double Hung	RFG	Roofing
D.F.	Douglas Fir	RM	Room
DN	Down	R.O.	Rough Opening
D.S.	Downspout	SCH	Schedule
DWG	Drawing	SEC	Section
D	Dryer	S.S.D.	See Structural Drawings
EA	Each	SEP	Separate(d), (ion)
ELEC	Electric(al)	SHTH	Sheathing
ELEV	Elevation	SHT	Sheet
ENG	Engineer(ed), (ing)	SIM	Similar
EQ	Equal(ivalent)	SKL	Skylight
EXH	Exhaust	S.O.G.	Slab-On-Grade
(E)	Existing	SLD	Slider
EXP	Exposed	S.C.	Solid Core
EXT	Exterior	SPK	Speaker
F.O.F.	Face of Finish	SPEC	Specification(s)
F.O.S.	Face of Studs	SQ	Square
F.F.	Finished Floor	SQFT	Square Foot
FPL	Fireplace	SST	Stainless Steel
FX	Fixed	STD	Standard
FLG	Flashing	STL	Steel
FL	Floor(ing)	STOR	Storage
FLUR	Fluorescent	STR	Structure(al)
FT	Foot	SUPP	Supply(ied)
FTG	Footing	SYS	System
F.A.U.	Forced Air Unit	TEL	Telephone
FND	Foundation	TV	Television
FRM	Frame(d), (ing)	THK	Thick(ness)
FRDR	French Door	T.B.D.	To Be Determined
F.B.O.	Furnished By Others	TPD	Toilet Paper Dispenser
FUT	Future	T.M.E.	To Match Existing
GA	Gauge	T&G	Tongue & Groove
GALV	Galvanized	T.O.P.	Top of Plate
G.S.M.	Galvanized Sheet Metal	T.O.S.	Top of Slab
GL	Glass(zing)	T.O.W.	Top of Wall
GD	Grade(ing)	TRN	Transom
GVL	Gravel	T	Tread
GT	GROUT	TYP	Typical Condition
GPBD	Gypsum Board	U.N.O.	Unless Noted Otherwise
HDW	Hardware	V.B.	Vapor Barrier
HWD	Hardwood	VENT	Ventilate(ion)
HDR	Header	V.I.F.	Verify In Field
HTG	Heating	VERT	Vertical
HT	Height	V.G.	Vertical Grain
HORIZ	Horizontal	W	Washer
H.B.	Hose Bibb	W/P	Waterproof(ing)
HWH	Hot Water Heater	WIN	Window
INCL	Include(d), (ing)	W/	With
I.D.	Inside Diameter	W/O	Without
INS	Insulate(d), (ion)	WD	Wood
INT	Interior		

## PROJECT DESCRIPTION

PARTIAL KITCHEN RENOVATION INCLUDING NEW ADDITION AND NEW DECK AT THE SECOND LEVEL.

NOTE: UNDER THIS SCOPE OF WORK SOIL DISTURBANCE SHALL BE KEPT TO LESS THAN 50 CUBIC YARDS.

### DATA

A.P.N.:	0975-013B
ADDRESS:	2218 LYON STREET SAN FRANCISCO, CA 94115
OWNER(S):	CARTER & MAGGIE MACK
BUILDING CODE:	2013 CA BUILDING CODE w/ SAN FRANCISCO AMENDMENTS 2013 CA MECHANICAL CODE 2013 CA PLUMBING CODE 2013 CA ELECTRICAL CODE 2013 CA ENERGY CODE
ZONING:	RH-2
OCCUPANCY TYPE:	R-3
CONSTRUCTION TYPE:	V-B
LOT SIZE:	2,604 SF
(E) GROSS SF:	4,201 SF
GROUND FLOOR	1,369 SF
SECOND FLOOR	1,423 SF
THIRD FLOOR	1,409 SF
(P) GROSS SF:	4,248 SF
GROUND FLOOR	1,369 SF
SECOND FLOOR	1,470 SF
THIRD FLOOR	1,409 SF
TOTAL ADDITION BUILDING AREA:	47 SF

## CONSULTANTS

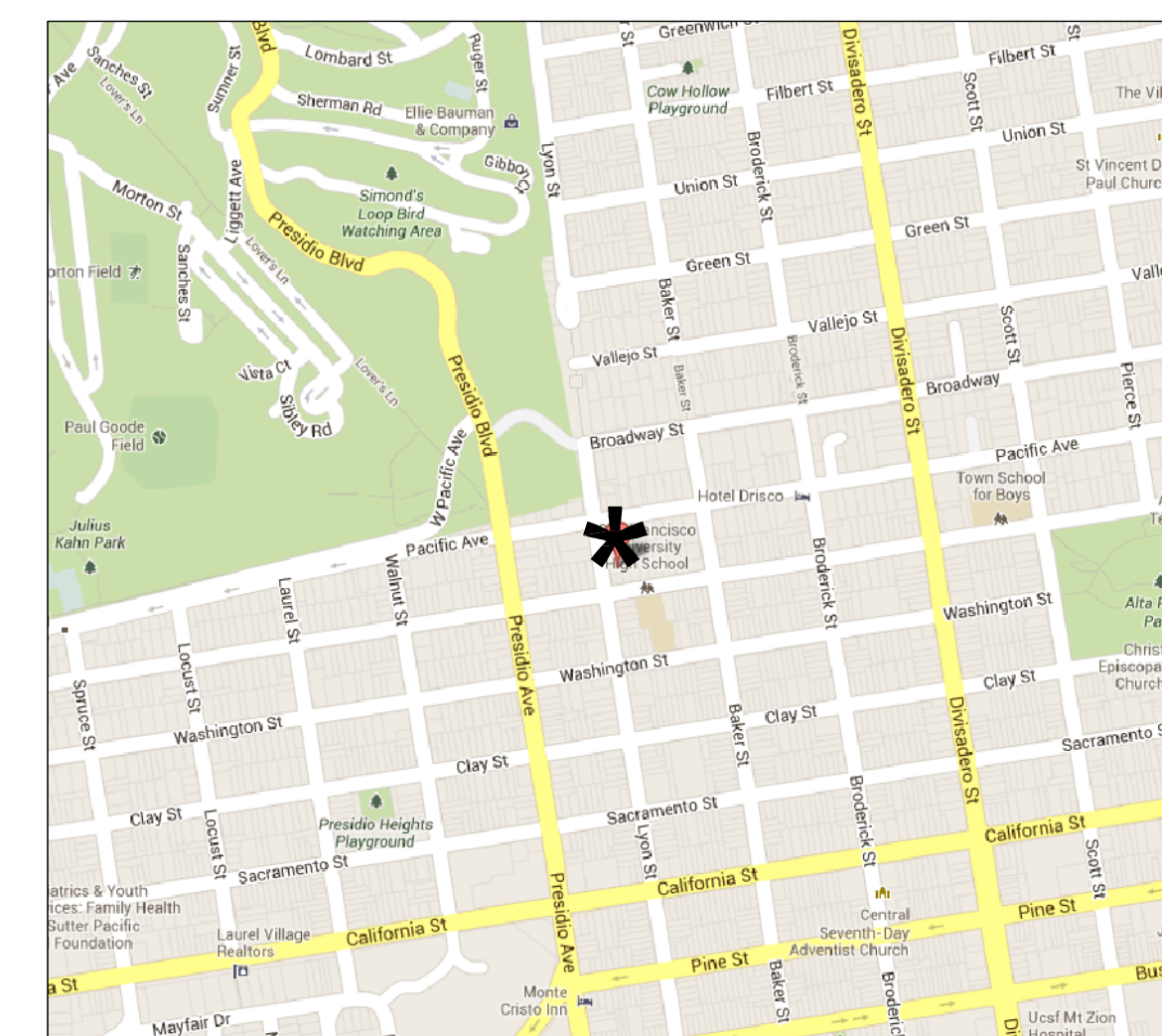
## NOTES

- EXISTING BUILDING IS NOT SPRINKLERED.
- VARIANCE SUBMITTAL REQUIRED FOR ENCROACHMENT INTO REQUIRED REAR YARD SETBACK.

## INDEX OF DRAWINGS

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## VICINITY MAP



MARISSA TWEEDIE  
BRANDON  
ARCHITECT, LICENSE C25916  
3232 Pacific Avenue  
San Francisco, CA 94118  
(415) 608-2410



## Mack Residence

2218 Lyon Street  
San Francisco, CA 94115  
APN: 0975/013B

## VARIANCE APPLICATION

SHEET CONTENTS  
COVER SHEET

DATE JUN 13 2016

SCALE NTS

BY MTB

REVISIONS

# A0.0

MARISSA TWEEDIE  
 BRANDON  
 ARCHITECT, LICENSE C25916  
 3232 Pacific Avenue  
 San Francisco, CA 94118  
 (415) 608-2410



**Mack  
 Residence**

2218 Lyon Street  
 San Francisco, CA 94115  
 APN: 0975/013B

VARIANCE  
 APPLICATION

SHEET CONTENTS  
 PHOTOS

DATE JUN 13 2016  
 SCALE AS NOTED  
 BY MTB  
 REVISIONS



PHOTO #3

3



PHOTO #2

2



PHOTO #1

1

LYON STREET

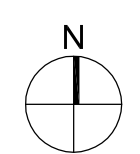
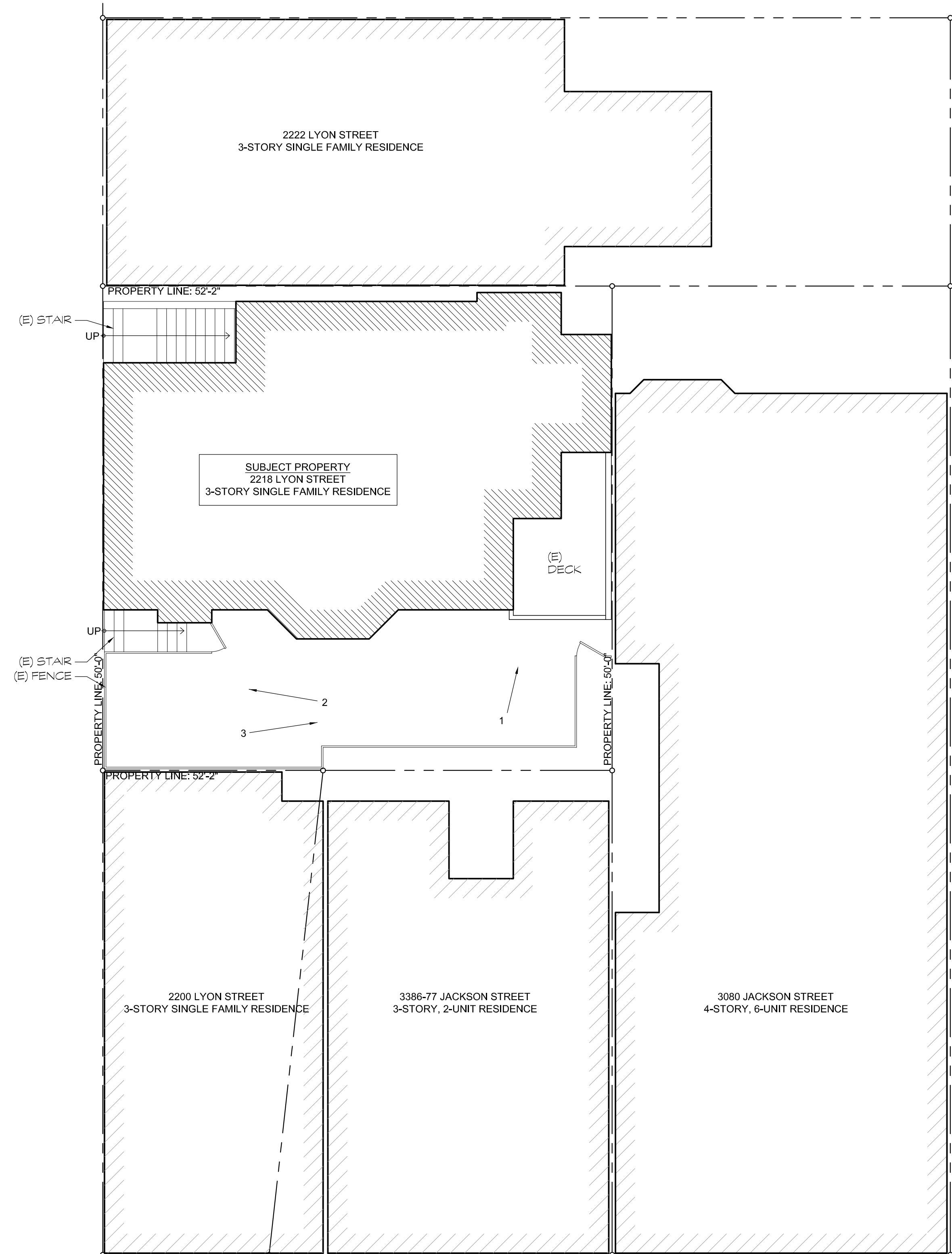


PHOTO MAP

1/8" = 1'-0"

**A0.1**

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**VARIANCE  
 APPLICATION**

SHEET CONTENTS  
 EXISTING AND  
 PROPOSED SITE  
 PLAN

DATE JUN 13 2016

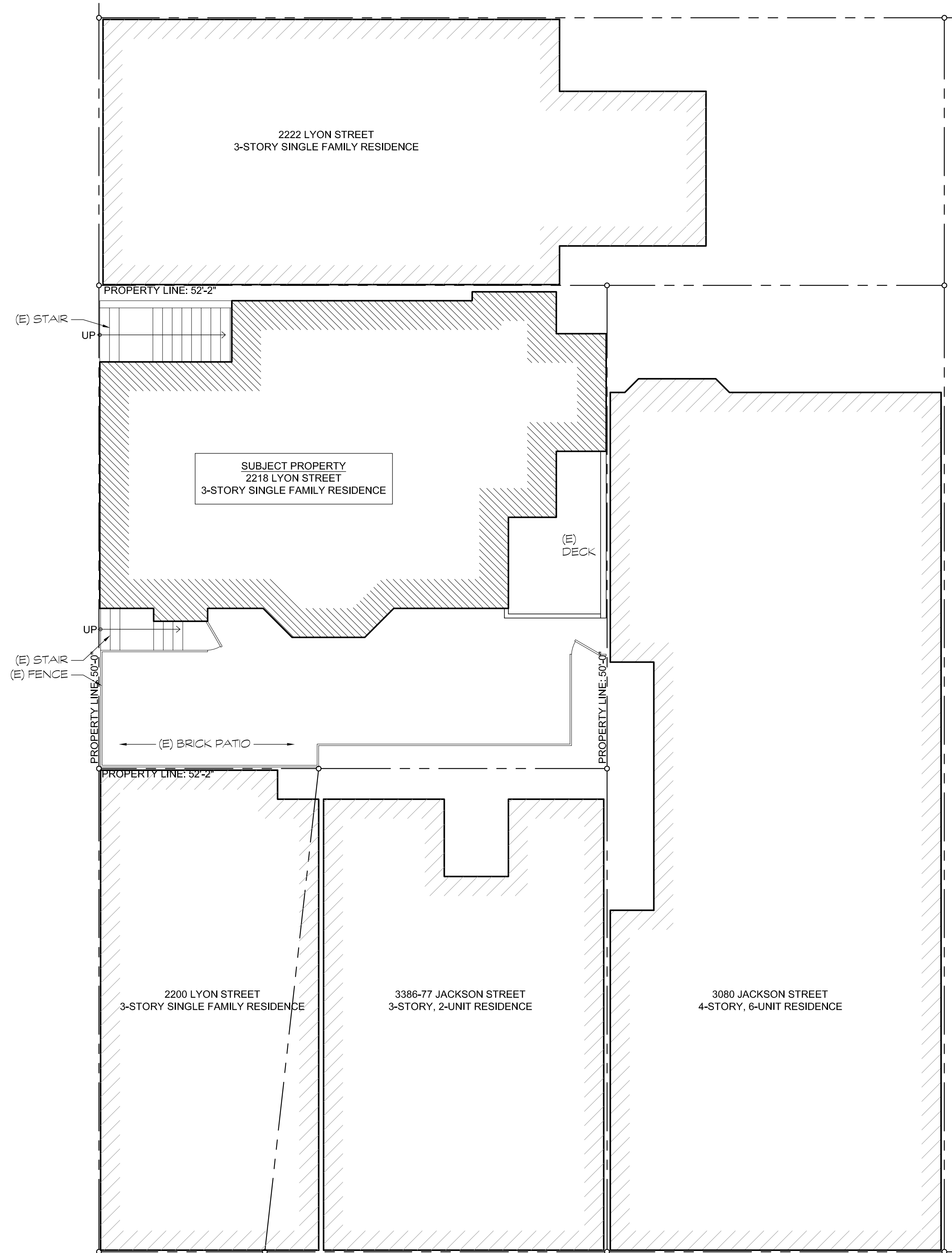
SCALE 1/8" = 1'-0"

BY MTB

REVISIONS

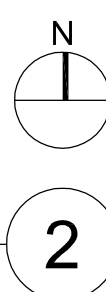

**A1.1**

LYON STREET

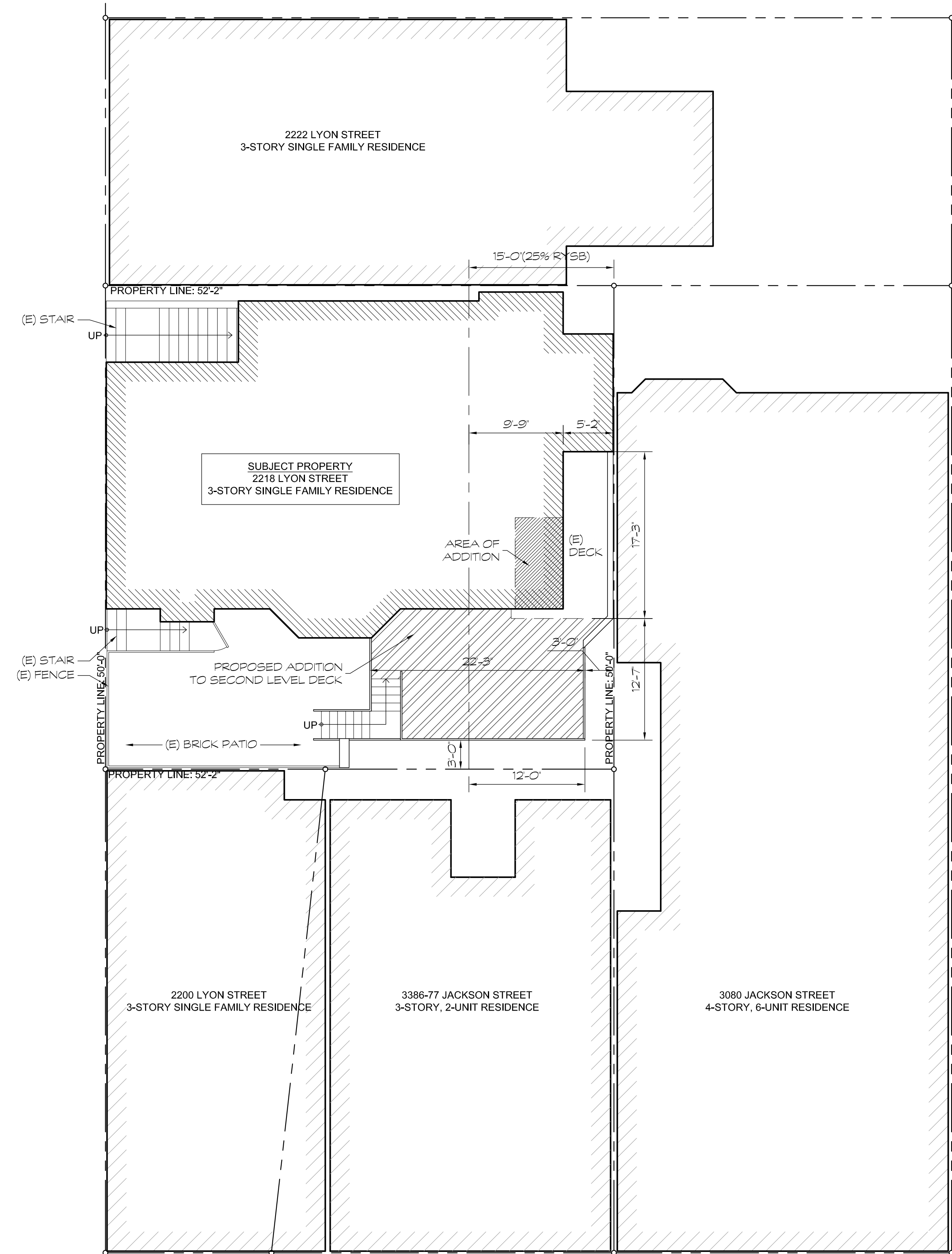


EXISTING SITE PLAN

1/8" = 1'-0"



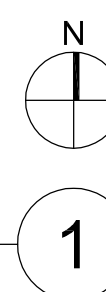
LYON STREET



JACKSON STREET

PROPOSED SITE PLAN

1/8" = 1'-0"



LEGEND

EXISTING WALL

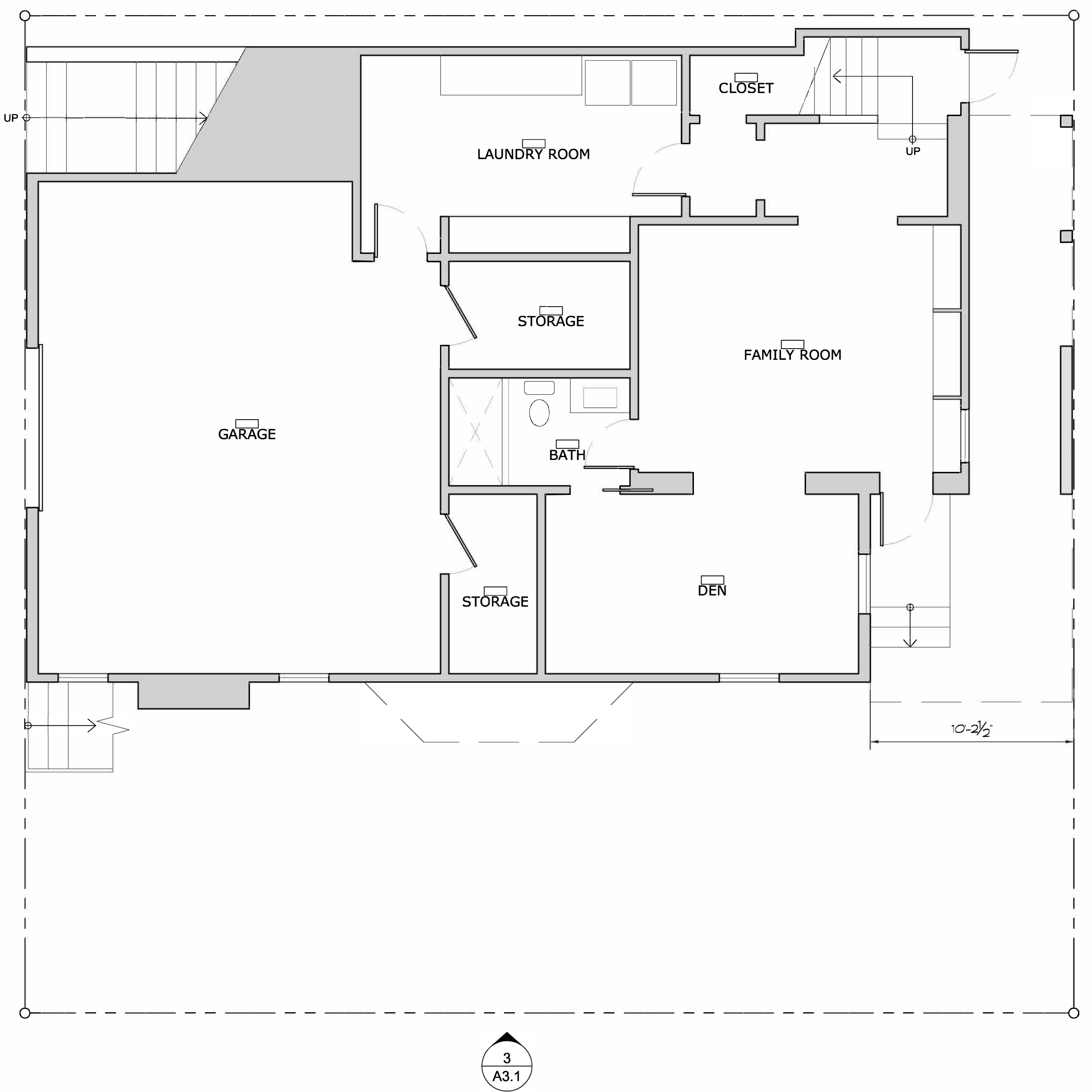
NEW 1-HR RATED WALL

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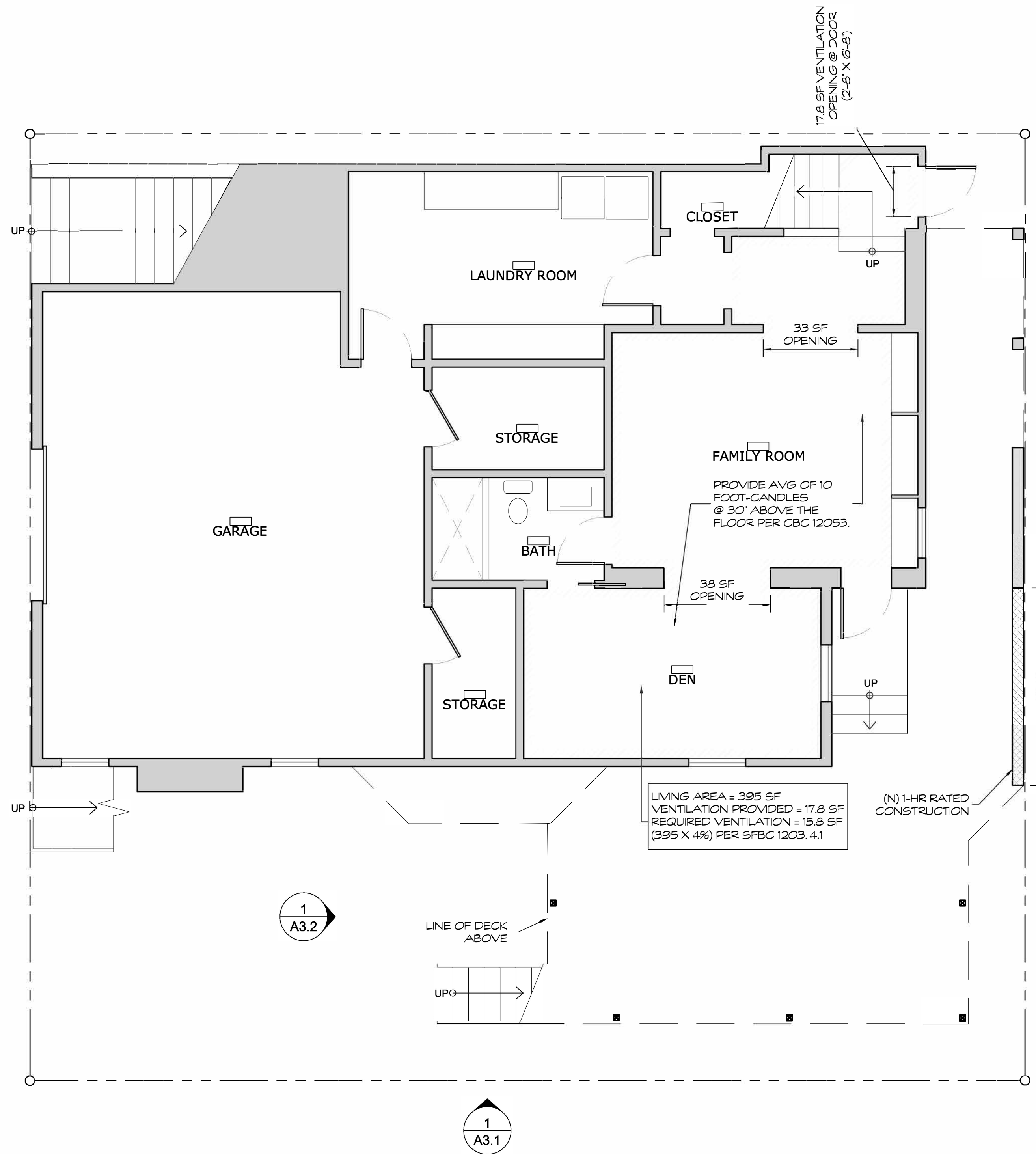


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 San Francisco, CA 94115  
 APN: 0975/013B



EXISTING FIRST LEVEL FLOOR PLAN  
 1/4" = 1'-0" 2



PROPOSED FIRST LEVEL FLOOR PLAN  
 1/4" = 1'-0" 1

VARIANCE APPLICATION

SHEET CONTENTS  
 PROPOSED AND EXISTING FIRST LEVEL FLOOR PLANS

DATE JUN 13 2016  
 SCALE 1/4" = 1'-0"  
 BY MTB

REVISIONS


**A2.1**

**LEGEND**

- EXISTING WALL
- PROPOSED WALL
- NEW 1-HR RATED WALL

**MARISSA TWEEDIE BRANDON**  
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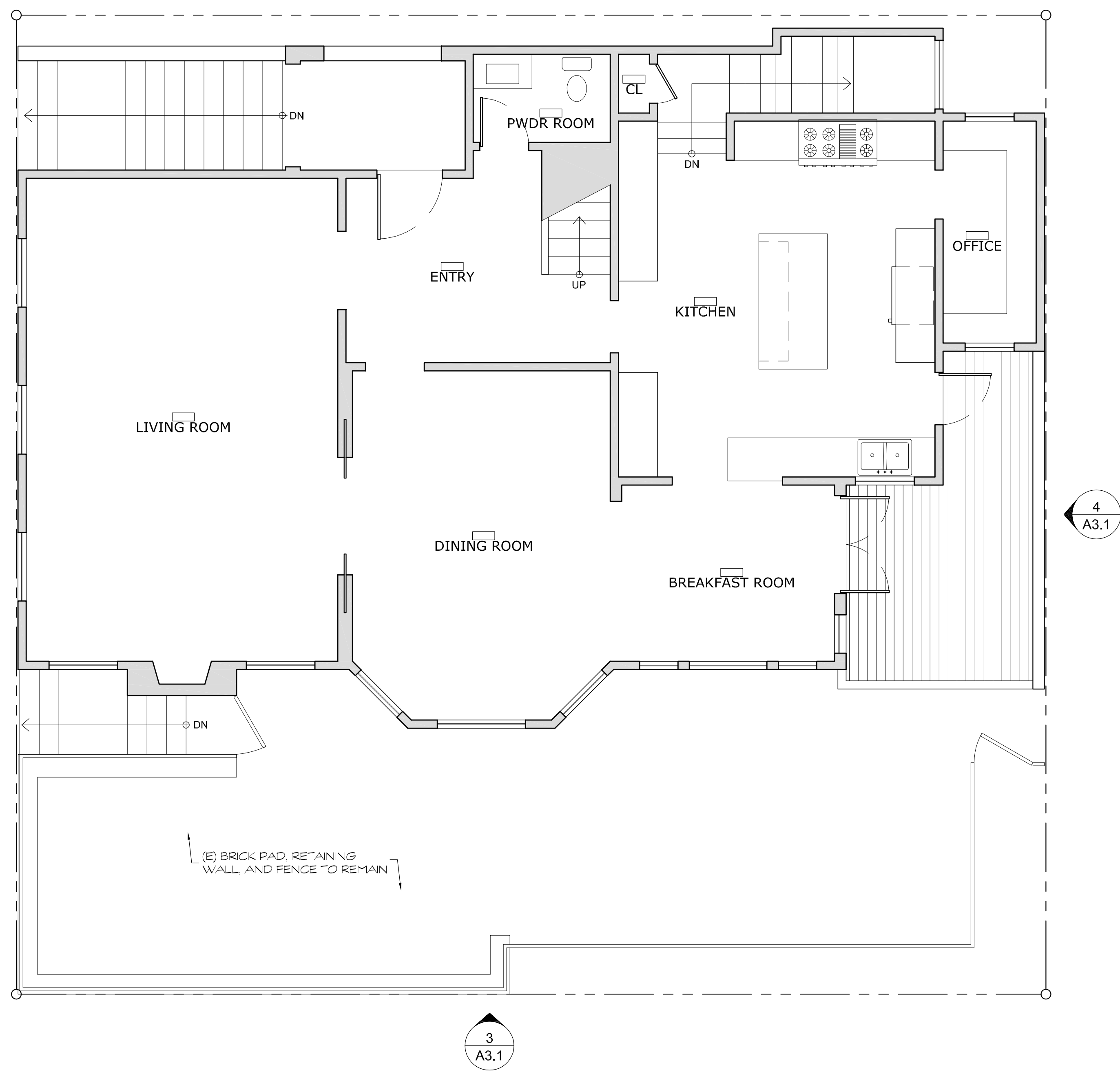
**Mack Residence**

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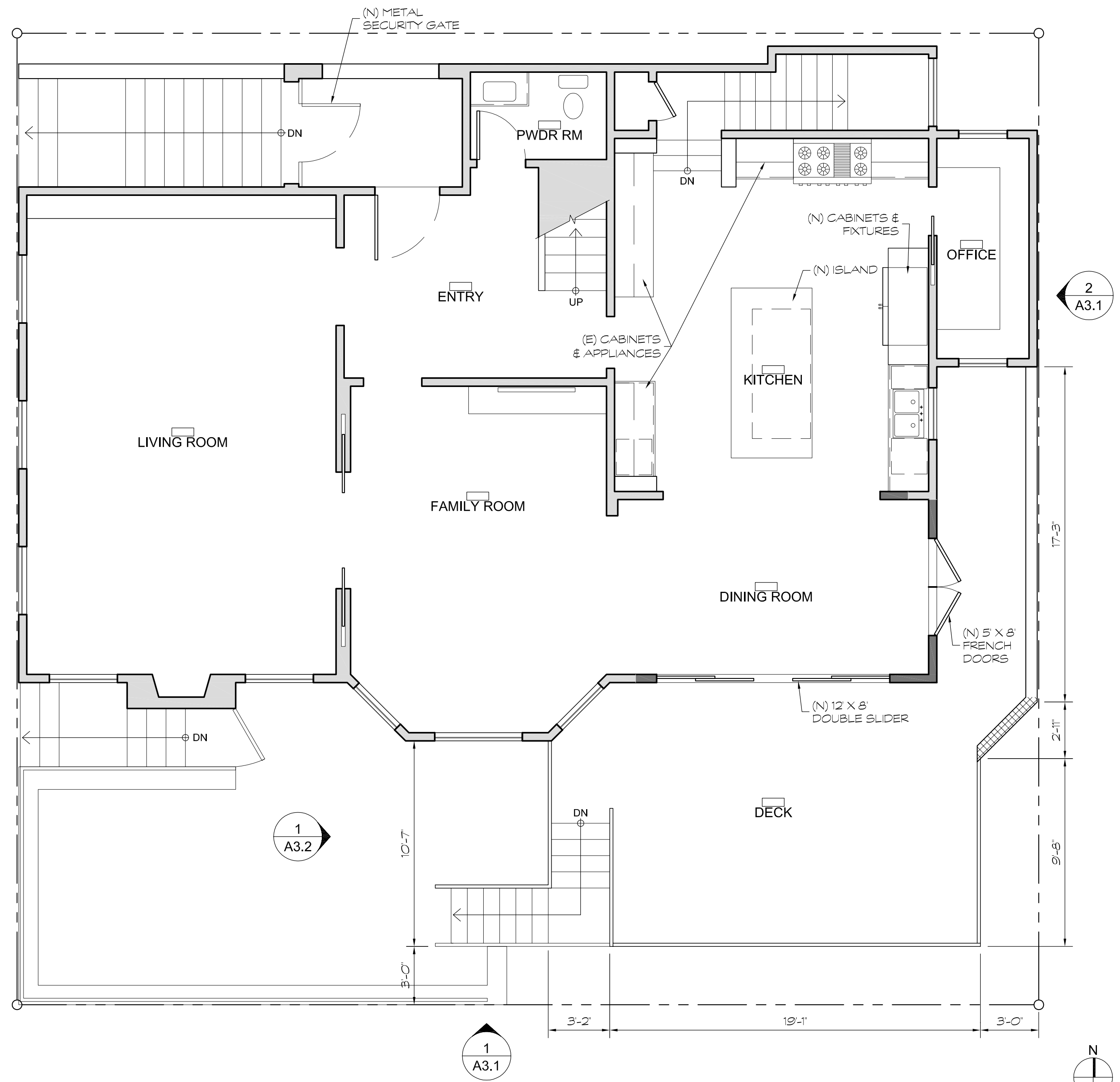
**VARIANCE APPLICATION**

SHEET CONTENTS  
**PROPOSED AND EXISTING SECOND LEVEL FLOOR PLANS**

DATE JUN 13 2016  
 SCALE 1/4" = 1'-0"  
 BY MTB  
 REVISIONS



**EXISTING SECOND LEVEL FLOOR PLAN**  
 1/4" = 1'-0" 2



**PROPOSED SECOND LEVEL FLOOR PLAN**  
 1/4" = 1'-0" 1



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**VARIANCE  
 APPLICATION**

SHEET CONTENTS

**PROPOSED AND  
 EXISTING ROOF  
 PLANS**

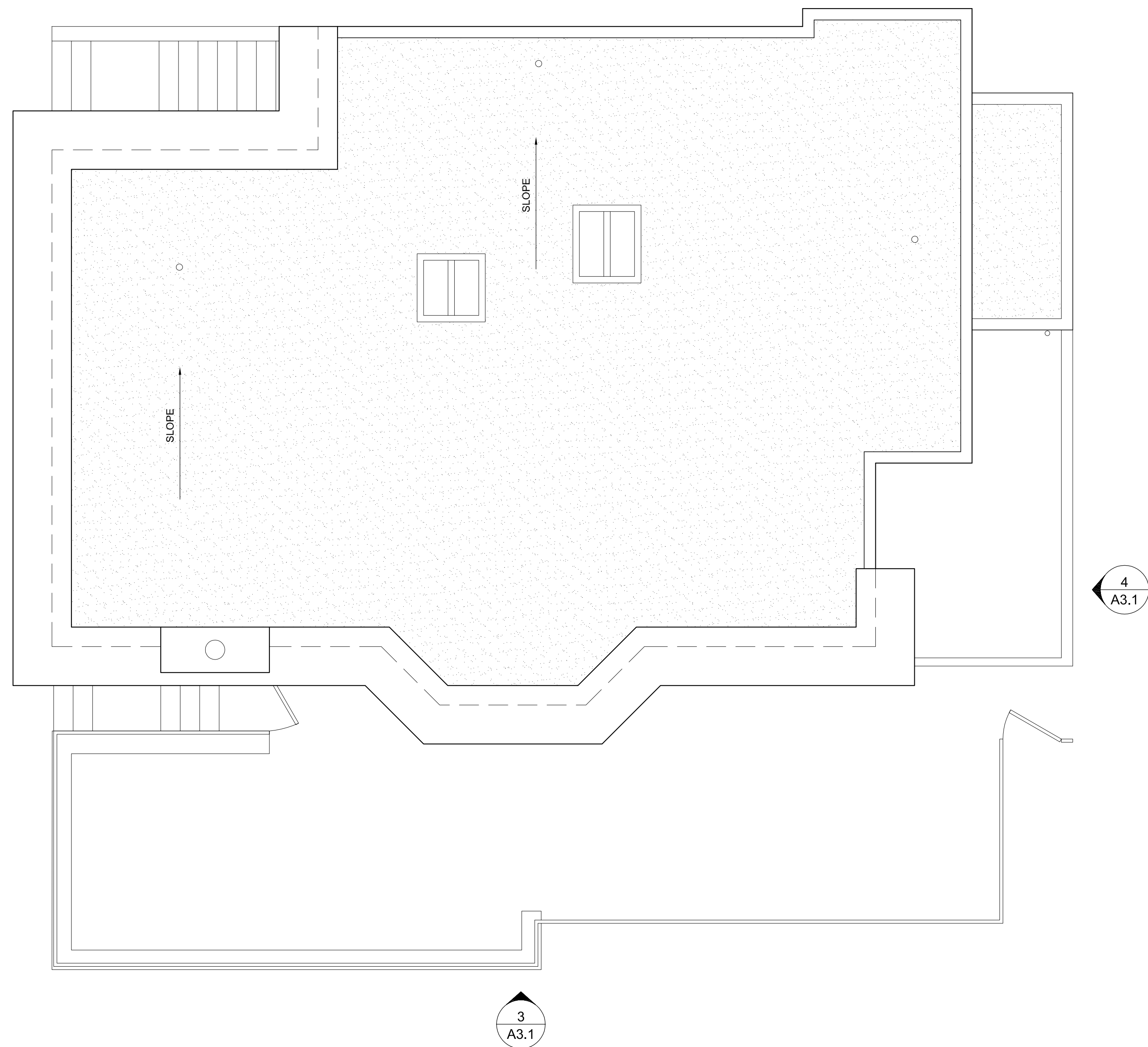
DATE JUN 13 2016

SCALE 1/4" = 1'-0"

BY MTB

REVISIONS

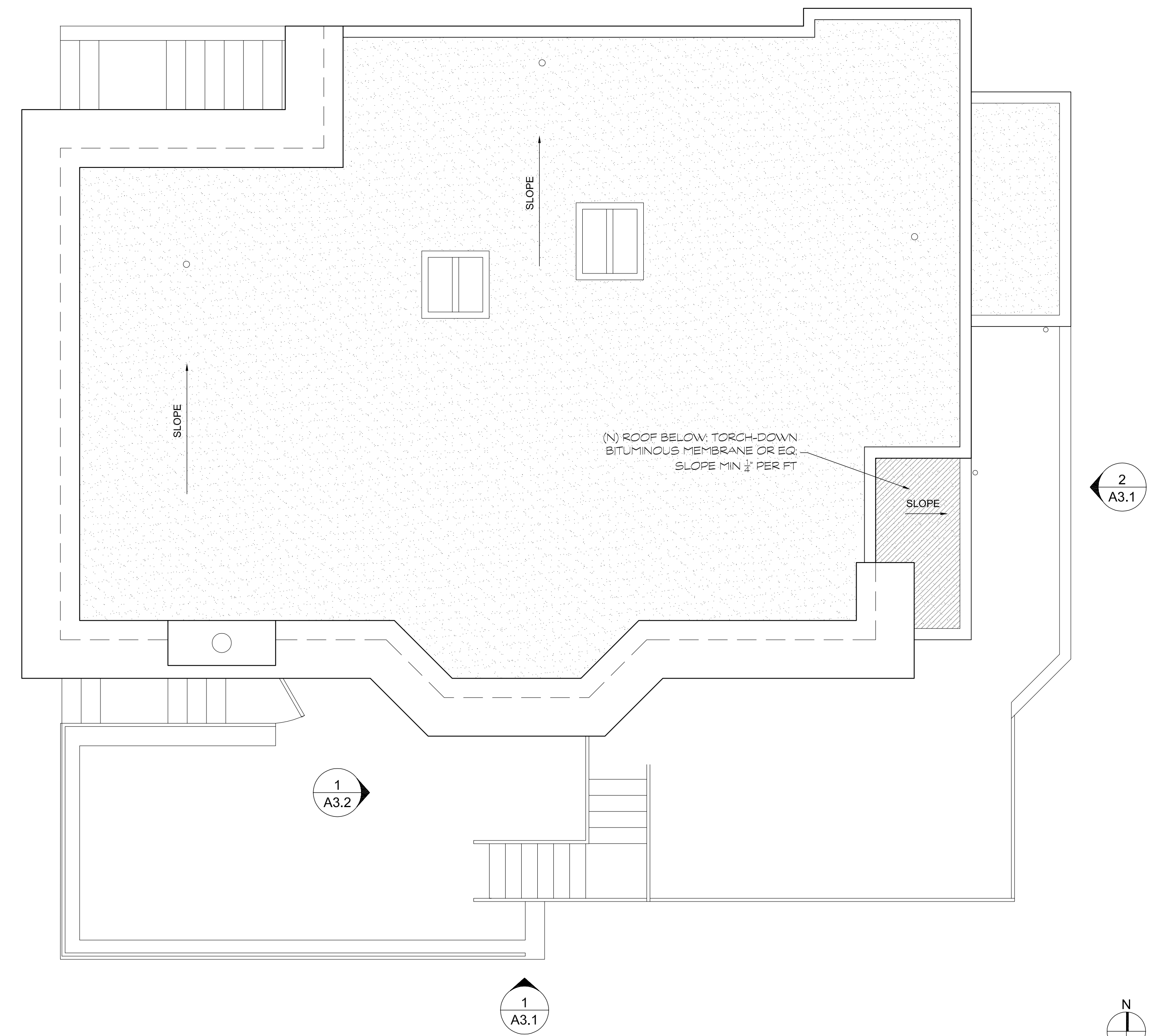
**A2.3**



EXISTING ROOF PLAN

1/4" = 1'-0"

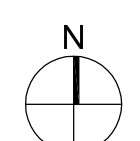
2



PROPOSED ROOF PLAN

1/4" = 1'-0"

1



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**VARIANCE  
 APPLICATION**

SHEET CONTENTS

EXISTING AND  
 PROPOSED  
 EXTERIOR  
 ELEVATIONS  
 SOUTH & EAST

DATE JUN 13 2016

SCALE 1/4" = 1'-0"

BY MTB

REVISIONS

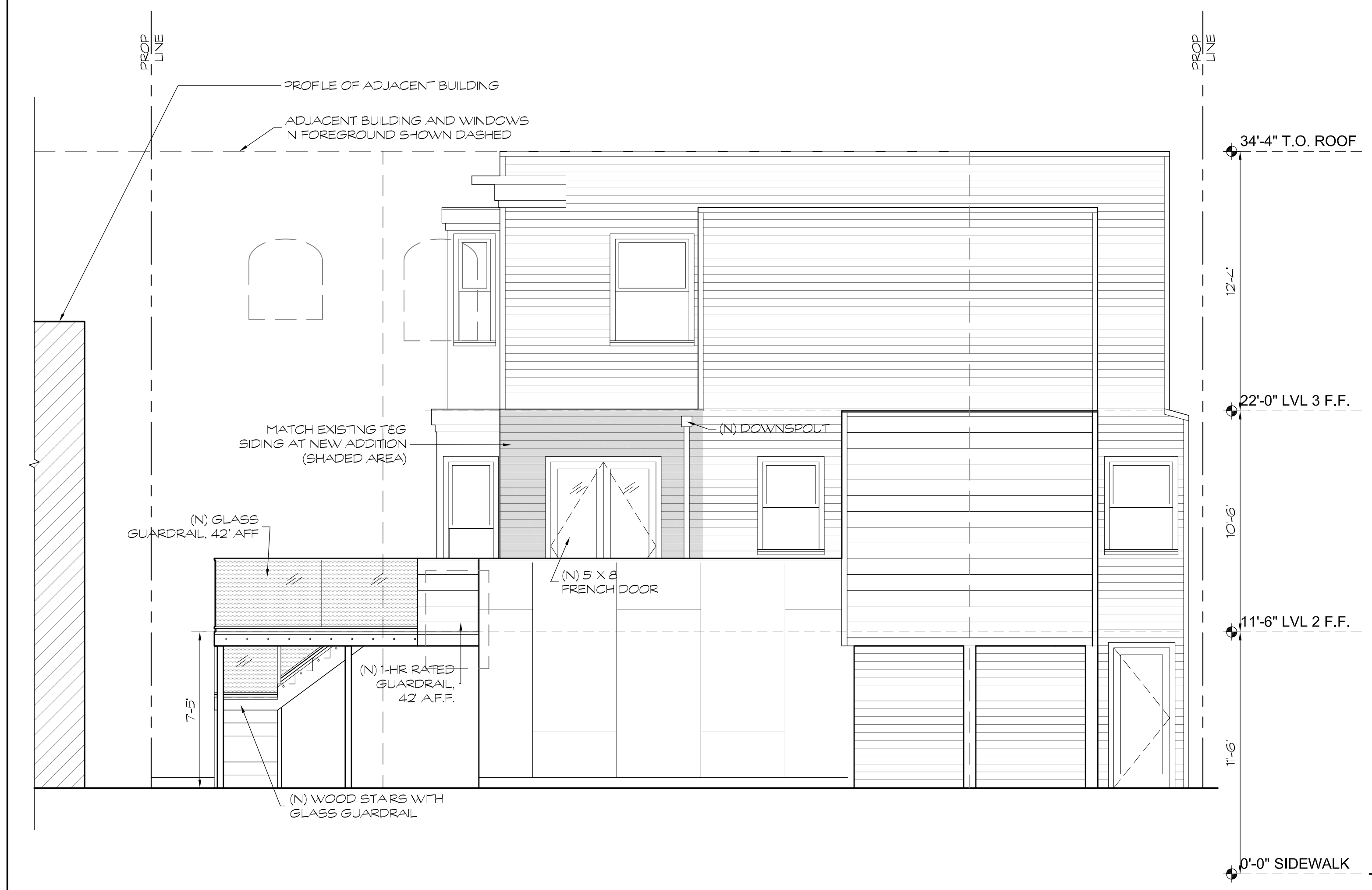
**A3.1**



EXISTING EXTERIOR ELEVATION - EAST  
 1/4" = 1'-0" 4



EXISTING EXTERIOR ELEVATION - SOUTH  
 1/4" = 1'-0" 3



PROPOSED EXTERIOR ELEVATION - EAST  
 1/4" = 1'-0" 2



PROPOSED EXTERIOR ELEVATION - SOUTH  
 1/4" = 1'-0" 1

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APPLICATION

SHEET CONTENTS

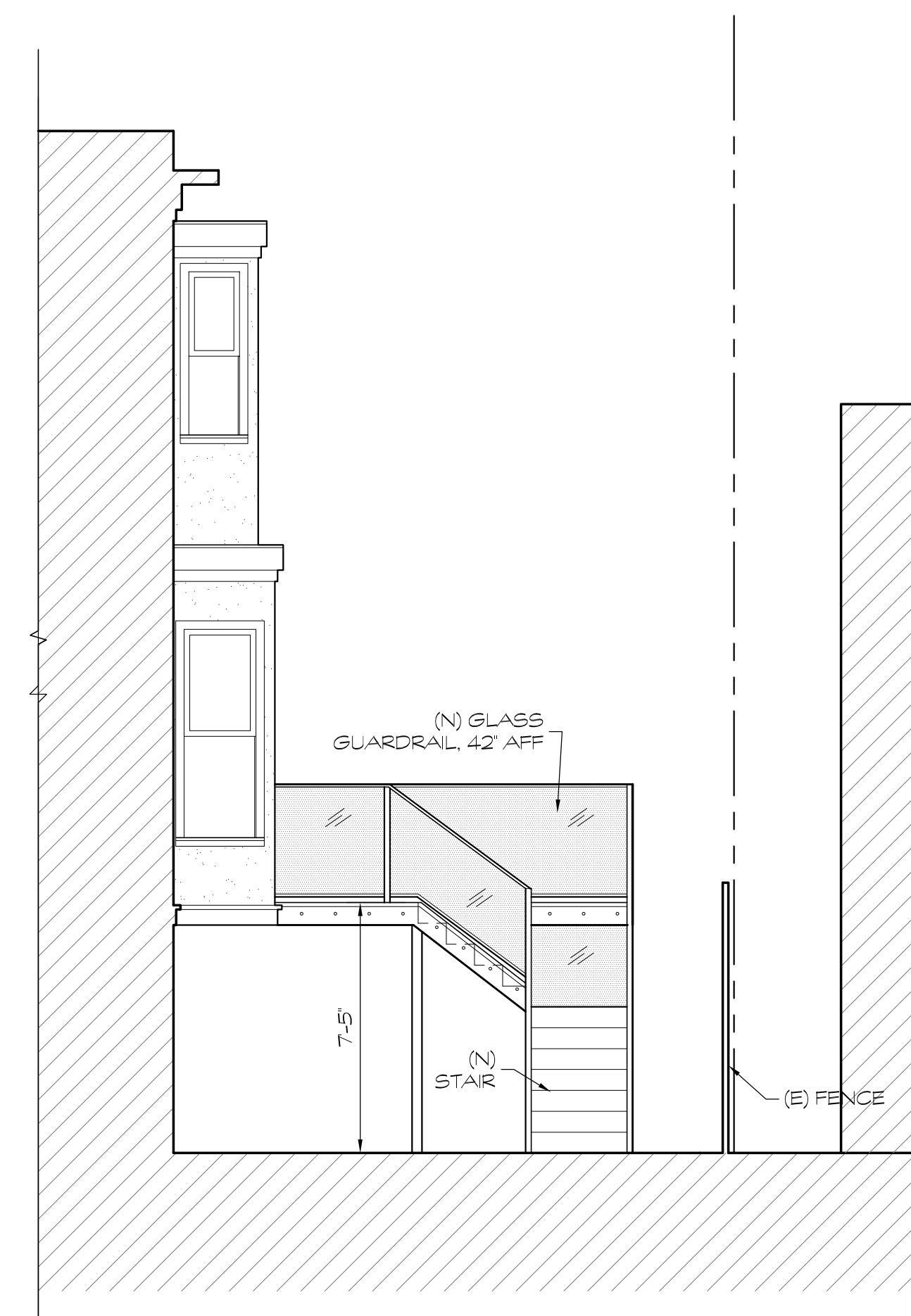
PROPOSED  
EXTERIOR  
RELEVATION,  
NORTH @ DECK

DATE JUN 13 2016

SCALE 1/4" = 1'-0"

BY MTB

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PROPOSED EXTERIOR ELEVATION - NORTH @ DECK

1/4" = 1'-0"

1

**A3.2**