



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, May 25, 2016**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard and Exposure)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 434 Third Avenue	Case No.: 2015-005170VAR
Cross Street(s): Geary Boulevard and Anza Street	Building Permit: 2015.04.13.3482
Block / Lot No.: 1542/038	Applicant/Agent: James Skelton
Zoning District(s): RH-3/40-X	Telephone: 415-867-2181
Area Plan: n/a	E-Mail: james@f-4M.com

PROJECT DESCRIPTION

The subject property contains three dwelling units, two units in a building at the front of the property, and one unit in a building at the rear. The project includes raising the front building and excavating below to accommodate a garage level, a vertical addition to provide a fourth story, a three-story horizontal addition on the southern side of the building, and interior alterations. The project will not alter the rear building and will maintain the existing 15 feet 7 inch separation between the two structures.

Section 134 of the Planning Code requires that the subject property provide a rear yard equal to 54 feet. The property is legally non-complying in regards to the rear yard requirement because (1) there is a two-story dwelling located within the last 28 feet and (2) the front building extends approximately 10 feet into the required rear yard. Raising the building will increase its height within the required rear yard. Additionally, the building is being expanded to the south side property line, a portion of the which encroaches into the required rear yard. These changes are considered intensifications to the legal non-complying structure and, therefore, a variance is required.

Planning Code Section 140 requires that each dwelling unit face a required rear yard or other qualifying open space. The existing dwelling unit at the rear does not face a Code-complying rear yard. The increase in height of the structure intensifies this non-complying condition; therefore, a variance is required.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Brittany Bendix** Telephone: **415-575-9114** Mail: brittany.bendix@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2015-005170VAR.pdf>

中文詢問請電: **558.6378**

Para información en Español llamar al: **558.6378**

434-436-438 3RD AVENUE

STREET VIEW
434-436 3RD AVENUE



FRONT VIEW
438 3RD AVENUE



3RD AVENUE ADJACENT BUILDINGS



3RD AVENUE OPPOSITE BUILDINGS



REAR YARD VIEW



ABBREVIATIONS	
&	AND
<	ANGLE
@	AT
A.B.	ANCHOR BOLT
ABV.	ABOVE
ACOUS.	ACOUSTICAL
A.D.	AREA DRAIN
ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISH FLOOR
AGGR.	AGGREGATE
ALUM.	ALUMINUM
ALT.	ALTERNATE
APPROX.	APPROXIMATE
ARCH.	ARCHITECT
ARCH.	ARCHITECTURAL
ASPH.	ASPHALT
B.	BATHROOM
BD.	BOARD
B.H.C.S.	BUTTON HEAD CAP SCREW
BITUM.	BITUMINOUS
BLDG.	BUILDING
BLK.	BLOCKING
BM.	BEAM
B.O.	BOTTOM OF
BR.	BEDROOM
BTM.	BOTTOM
B.U.	BUILT UP
CAB.	CABINET
CARP.	CARPET
C.B.	CATCH BASIN
CHAN.	CHANNEL
C.H.	CEILING HEIGHT
C.I.	CAST IRON
C.J.	CONTROL JOINT
€	CENTER LINE
C.G.	CORNER GUARD
C.L.	CEILING
CLG.	CAULKING
CLO.	CLOSET
C.O.	CLEAN OUT
CLR.	CLEAR
COL.	COLUMN
COMP.	COMPOSITION
CONC.	CONCRETE
CONN.	CONNECTION
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
C.M.U.	CONCRETE MASONRY UNIT
C.T.	CERAMIC TILE
CTR.	CENTER
CTSK.	COUNTERSINK
C.W.	COLD WATER
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
D.F.	DRINKING FOUNTAIN
Ø	DIAMETER
DIM.	DIMENSION
DISP.	DISPENSER
DN.	DOWN
D.O.	DOOR OPENING
DR.	DOOR
DS.	DOWNSPOUT
DWG(S)	DRAWING(S)
DWR.	DRAWER
(E)	EXISTING
EA.	EACH
E.F.	EXHAUST FAN
E.J.	EXPANSION JOINT
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EMER.	EMERGENCY
ENG.	ENGINEER
EQ.	EQUAL
EQPT.	EQUIPMENT
E.S.	EACH SIDE
EXT.	EXTERIOR
F.A.	FIRE ALARM
F.A.U.	FORCED AIR UNIT
F.B.	FLAT BAR
F.D.	FLOOR DRAIN
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.C.O.	FLOOR CLEAN OUT
F.F.	FINISH FLOOR
F.H.C.S.	FLAT HEAD CAP SCREW
F.H.M.S.	FLAT HEAD MACHINE SCREW
F.H.W.S.	FLAT HEAD WOOD SCREW
FIN.	FINISH
FIXT.	FIXTURE
FLR.	FLOOR
FLSH.	FLASHING
FLUOR.	FLUORESCENT
FND.	FOUNDATION
F.O.	FACE OF
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUDS
FFRF.	FIREPROOF
F.S.	FIRE SPRINKLER
F.T.	FIRE TREATED
FT.	FOOT OR FEET
FTG.	FOOTING
FR.	FRAME
GA.	GAUGE
GALV.	GALVANIZED
G.B.	GRAB BAR
G.F.R.C.	GLASS FIBER REINFORCED CONCRETE
GL.	GLASS
GND.	GROUND
GR.	GRADE
G.S.M.	GALVANIZED SHEET METAL
GYP.BD.	GYPSPUM BOARD
H.B.	HOSE BIB
H.C.	HOLLOW CORE
H.D.G.	HOT-DIPPED GALVANIZED
HDR.	HEADER
HDRD.	HARDWOOD
HGT.	HEIGHT
H.H.B.	HEX HEAD BOLT
H.H.C.S.	HEX HEAD CAP SCREW
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
H.R.	HAND RAIL
HR.	HOUR
H.W.	HOT WATER
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
INV.	INVERT
JAN.	JANITOR
JT.	JOINT
KITCHEN	KITCHEN
LAM.	LAMINATE
LAV.	LAVATORY
LBS.	POUNDS
LKR.	LOCKER
LOC.	LOCATION
LTG.	LIGHTING
MACH.	MACHINE
MAG.	MAGNETIC
MATL.	MATERIAL
MAX.	MAXIMUM
M.B.	MACHINE BOLT
M.C.	MEDICINE CABINET
M.D.F.	MEDIUM DENSITY FIBERBD.
M.D.O.	MEDIUM DENSITY OVERLAY (BD)
MECH.	MECHANICAL
MEMB.	MEMBRANE
MFR.	MANUFACTURER
MH.	MANHOLE
MIN.	MINIMUM / MINUTE
MISC.	MISCELLANEOUS
M.P.	MEASURING POINT
MTD.	MOUNTED
MTL.	METAL
MULL.	MULLION
(N)	NEW
N.	NORTH
NAT.	NATURAL
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
OBS.	OBSCURE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER (DIM.)
OFF.	OFFICE
OPFR.	OPERABLE
OPNG.	OPENING
OPP.	OPOSITE
OPP.HD.	OPOSITE HAND
PAV.	PAVING
PERF.	PERFORATED
PERP.	PERPENDICULAR
PL.	PLATE
P.L.	PROPERTY LINE
P.LAM.	PLASTIC LAMINATE
PLAS.	PLASTER
P.W.D.	PLYWOOD
PR.	PAIR
PROP.	PROPERTY
PT.	PAINT
P.T.	PRESSURE TREATED
PTD.	PAINTED
P.V.C.	POLY VINYL CHLORIDE
Q.T.	QUARRY TILE
QTY.	QUANTITY
R.	RISER
RAD.	RADIUS
R.C.	RESILIENT CHANNEL / REINFORCED CONCRETE
R.C.P.	REFLECTED CEILING PLAN
R.D.	ROOF DRAIN
REF.	REFERENCE
REFR.	REFRIGERATOR
RGTR.	REGISTER
REINF.	REINFORCED
REIN.	REQUIRED
REQMT(S)	REQUIREMENT(S)
RESIL.	RESILIENT
REV.	REVISION
R.H.W.S.	ROUND HEAD WOOD SCREW
R.H.M.S.	ROUND HEAD MACHINE SCREW
RM.	ROOM
R.O.	ROUGH OPENING
RWD.	REDWOOD
R.W.L.	RAIN WATER LEADER
S.	SOUTH
S.A.D.	SEE ARCHITECTURAL DWGS.
S.C.	SOLID CORE
SCHED.	SCHEDULE
S.E.D.	SEE ELECTRICAL DWGS
SECT.	SECTION
S.H.C.S.	SOCKET HEAD CAP SCREW
SHT.	SHEET
SHTG.	SHEATHING
SIM.	SIMILAR
S.J.	SEISMIC JOINT
S.L.D.	SEE LANDSCAPE DWGS.
S.M.D.	SEE MECHANICAL DWGS.
SPEC.	SPECIFICATION
SQ.	SQUARE
S.S.D.	SEE STRUCTURAL DWGS.
S.S.	STAINLESS STEEL
STA.	STATION
STL.	STEEL
STD.	STANDARD
STOR.	STORAGE
STRUC.	STRUCTURAL
SUSP.	SUSPENDED
T.	TREAD
TEL.	TELEPHONE
TEMP.	TEMPERED
T & G	TONGUE AND GROOVE
THK.	THICK
THRU.	THROUGH
TN.	TOENAIL
T.O.	TOP OF
T.O.P.	TOP OF PLATE
T.O.S.	TOP OF SLAB / SHEATHING
T.V.	TELEVISION
T.O.W.	TOP OF WALL
TYP.	TYPICAL
UNF.	UNFINISHED
U.O.N.	UNLESS OTHERWISE NOTED
UR.	URINAL
VAR.	VARIES
V.C.T.	VINYL COMPOSITION TILE
VER.	VERIFY
VERT.	VERTICAL
V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
V.I.F.	VERIFY IN FIELD
W.	WEST
WI.	WITH
W.C.	WATER CLOSET
WD.	WOOD
WD.	WASHER / DRYER
WDW.	WINDOW
W.G.	WIRE GLASS
W.H.	WATER HEATER
W.M.	WALL MOUNT
W.O.	WHERE OCCURS
W/O	WITHOUT
WP.	WATERPROOFING
W.R.	WATER RESISTANT
W.SCT.	WAINSCOT
WT.	WEIGHT
W.W.F.	WIRE WELDED FABRIC
W.W.M.	WOVEN WIRE MESH

SYMBOLS	
	COMPACTED EARTH
	GRANULAR FILL
	BRICK, CMU
	CONCRETE
	GYPSPUM
	GYPSPUM WALLBOARD, GROUT, STONE
	ROOF INSULATION
	BATT INSULATION
	GRATE
	STEEL
	METAL (LARGE SCALE)
	ROOM NAME
	ROOM NUMBER
	RM. NAME
	ROOM DESIGNATION
	FLOOR LEVEL OR AREA OF BUILDING
	DOOR NUMBER
	DOORNO1
	ELEVATION TARGET, START POINT
	EXISTING DOOR(S) TO REMAIN (REFER A901)
	NEW DOOR(S)
	AREA OF WORK
	FLOOR/CEILING GRID
	WELDED WIRE MESH FENCE
	WINDOW TYPE
	LOUVER TYPES - LVRTYPE
	CEILING TYPES - CLGTYPE
	REVISION NUMBER AND CLOUD
	PARTITION TYPES, REFER A301
	KEYED NOTE
	KEYED DEMOLITION NOTE
	KEYED FINISH NOTE, SEE A901
	SPRINKLER HEAD, REF FP101
	FIRE ALARM CONTROL PANEL, REF FIRE ALARM DWG
	EVACUATION ALARM
	MANUAL FIRE ALARM PULL STATION, REF FIRE ALARM DWG
	OVHD SMOKE DETECTOR DEVICE, REFER FIRE ALARM DWG
	EXIT LIGHTS, REFER ELEC DWGS
	PROJECT NORTH ARROW
	EYEWASH - EW
	STRUCTURAL FRAMING MEMBER
	COLUMN
	WALL/PARTITION RATING
	ONE HOUR FIRE-RATED WALL/PARTITION CONSTRUCTION AS INDICATED IN PLAN
	EXISTING TO BE REMOVED, HIDDEN OBJECTS OR CONSTRUCTION ABOVE VIEW OF DRAWING
	NEW WALLS, VIEW OF DRAWING
	SECTION/ELEVATIONS SYMBOLS
	DRAWING NO. SECTION
	DRAWING NO./DETAIL DETAIL
	SECTION INDICATION
	DETAIL/SECTION INDICATION
	INTERIOR ELEVATION
	EXTERIOR ELEVATION
	VICINITY MAP

PROJECT DESCRIPTION	
EXTERIOR AND INTERIOR REMODEL OF AN EXISTING 2-STORY, 2-UNIT BUILDING INTO A 4-STORY, 2-UNIT BUILDING. BUILDING WILL BE RAISED TO ACCOMMODATE A LOWER LEVEL WITH GARAGE. AN ADDITIONAL 4TH FLOOR IS ADDED. THE BUILDING IS ALSO EXTENDED TO THE SOUTH PROPERTY LINE ON THE TOP 3 FLOORS. A PATHWAY IS MAINTAINED TO THE EXISTING REAR UNIT - NO WORK TO PERFORMED ON THAT UNIT.	
PROJECT DATA	
PROJECT DATA:	R3 (RESIDENCE)
OCCUPANCY TYPE:	TYPE V, NON-RATED, NONSPRINKLERED
CONSTRUCTION TYPE:	RH3
ZONING:	1542
BLOCK:	038
LOT:	3,768 S.F.
LOT AREA:	3,768 S.F.
# OF UNITS:	EXISTING 3 PROPOSED 3
# OF STORIES:	EXISTING 2 PROPOSED 4
EXISTING S.F. 438 3RD AVENUE	NOT HABITABLE
1ST FLOOR	780 S.F.
2ND FLOOR	
EXISTING S.F. 434&436 3RD AVENUE	
1ST FLOOR	1,597 S.F.
2ND FLOOR	1,640 S.F.
TOTAL EXISTING S.F.	3,237 S.F.
PROPOSED S.F. 434&436 3RD AVENUE	
1ST FLOOR	542 S.F.
2ND FLOOR	1,927 S.F.
3RD FLOOR	1,968 S.F.
4TH FLOOR (GARAGE)	1,294 S.F.
TOTAL PROPOSED S.F.	5,731 S.F.
SHEET INDEX	
ARCHITECTURAL	A010 COVER SHEET
A030 HORIZONTAL DEMOLITION	A031 HORIZONTAL DEMOLITION
A040 VERTICAL DEMOLITION	A041 VERTICAL DEMOLITION
A100 SITE PLAN - EN	A101 FLOOR PLANS - E
A102 FLOOR PLANS - N	A103 FLOOR PLANS - N
A201 EAST ELEVATION - E	A202 WEST ELEVATION - E
A203 NORTH ELEVATION - E	A204 SOUTH ELEVATION - E
A205 EAST ELEVATION - N	A206 WEST ELEVATION - N
A207 NORTH ELEVATION - N	A208 SOUTH ELEVATION - N
A301 SECTION - E	A302 SECTION - N
PROJECT DIRECTORY	
OWNER:	QUOC LUU 438 3RD AVENUE SAN FRANCISCO, CA 94118 415 722 3388
ARCHITECT:	f(4m) 120 MANOR DRIVE SAN FRANCISCO, CA 94127 TL 415 867 2181 JAMES@F-4M.COM, ROMAN@F-4M.COM WWW.F-4M.COM
BUILDING DEPARTMENT:	CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION 1660 MISSION STREET SAN FRANCISCO, CA 94103 TL 415.558.6949 FX.415.558.6041
PLANNING DEPARTMENT:	CITY AND COUNTY OF SAN FRANCISCO PLANNING DEPARTMENT 1650 MISSION STREET SAN FRANCISCO, CA 94103
BUILDING CODES	
2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA RESIDENTIAL CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA FIRE CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA ENERGY CODE SAN FRANCISCO AMMENDMENTS	
PROJECT DATA	
Project number	150103222
Date	08 January, 2015
Drawn by	JS
A010	
Scale	SEE DRAWING

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

PROJECT DATA

Project number 150103222
Date 08 January, 2015
Drawn by JS

A010

Scale SEE DRAWING

LICENSED ARCHITECT
JAMES W. SKELTON
C-33327
RENEW
11/30/2017

Seal

GENERAL NOTES:

THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL REMAIN THE PROPERTY OF f(4M) WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY ARE NOT TO BE USED BY ANY PERSONS ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE f(4M).
 f(4M) EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF THE f(4M). IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD HARMLESS f(4M).
 THESE DRAWINGS ARE INTENDED FOR USE IN CLIENT/CONTRACTOR SPECULATIVE CONSTRUCTION AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIALS AND/OR MANUFACTURERS. THE CONTRACTOR SHALL DETERMINE ALL SAMPLES AND/OR CUTS AS REQUIRED TO MAKING MATERIAL SELECTIONS. OR IN ABSENCE OF IT, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATES.
 NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THESE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY AND ALL CONSTRUCTION DEFICIENCIES.
 CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE BUILDINGS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL PARTS BY THE VARIOUS CONSTRUCTION INDUSTRY TRADES. THESE DOCUMENTS CANNOT PORTRAY ALL COMPONENTS OR ASSEMBLIES EXACTLY. IT IS THE INTENT OF THESE CONSTRUCTION DOCUMENTS THAT THEY REPRESENT A REASONABLE STANDARD OF CARE IN THEIR CONTENT. IT IS ALSO PRESUMED BY THESE DOCUMENTS THAT THE OWNER WILL PROVIDE CONSTRUCTION REVIEW SERVICES.

ALL INFORMATION PERTAINING TO THE SITE SHALL BE AND SHALL REMAIN THE OWNER'S RESPONSIBILITY. THIS INFORMATION SHALL INCLUDE, BUT IS NOT LIMITED TO, LEGAL DESCRIPTION, DEED RESTRICTIONS, EASEMENTS, SITE SURVEY, TOPOGRAPHIC SURVEY, POSITION OF EXISTING IMPROVEMENTS, SOILS REPORT AND ALL RELATED DATA. THESE DOCUMENTS HAVE BEEN PREPARED ON THE INFORMATION AVAILABLE BY THE OWNER.
 THE WORK DEFINED HEREIN SHALL BE GOVERNED BY AMERICAN INSTITUTE OF ARCHITECTS (A.I.A.) GENERAL CONDITIONS A201. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GENERAL CONDITION SCOPE OF SERVICES PROVIDED AND TO BE PROVIDED, AND OTHER CONDITIONS INDICATED IN THE DOCUMENTS.
 THESE CONSTRUCTION DRAWINGS DESCRIBE THE REQUIREMENTS OF THE PROJECT FOR THE OWNER TO SUBMIT FOR A BUILDING PERMIT AND THE CONTRACTOR TO PREPARE ESTIMATES OF QUANTITY AND COSTS OF MATERIALS REQUIRED TO CONSTRUCT THE PROJECT. THIS CONTRACT IS BASED ON PROVIDING DOCUMENTS FOR A "CONTRACTORS" OR "BUILDERS" SET OF CONSTRUCTION DOCUMENTS. BASIC SPECIFICATIONS DESCRIBING CONDITIONS AND QUALITIES SHALL BE LIMITED TO REQUIRED, OR SPECIFIC, EQUIPMENT OR MATERIALS AND SHALL BE PART OF THE DRAWINGS. THESE DRAWINGS PROVIDE FOR ONLY SCHEMATIC PLUMBING/MECHANICAL EQUIPMENT LAYOUT AND SCHEMATIC ELECTRICAL POWER AND LIGHTING LAYOUT WITHOUT ENGINEERING DESIGNS, DETAILS, CALCULATIONS OR SPECIFICATIONS.
 WHERE THERE IS NO FAULT BY THE EDIT LLC, THE EDIT LLC SHALL BE GIVEN THE OPPORTUNITY TO PROVIDE ALTERNATE DESIGN SOLUTIONS FOR SPECIFIC CAUSE.
 IT IS STRONGLY RECOMMENDED THE OWNER OBTAIN A SITE SPECIFIC SOILS REPORT AND SURVEY BY THE APPROPRIATE HIGH QUALITY CONSULTANTS AND SHALL RETAIN RESPONSIBILITY FOR THE CONTENT OF THE REPORT. THESE REPORTS SHALL BE USED BY THE STRUCTURAL ENGINEER FOR DESIGN PARAMETERS.
 THE CONTRACTOR, HIS CONSTRUCTION MANAGER, AND/OR SUBCONTRACTORS SHALL SUBMIT IN WRITING ANY REQUESTS FOR MODIFICATIONS TO THE PLANS AND/OR SPECIFICATIONS BY MEANS OF SHOP DRAWINGS. SHOP DRAWINGS THAT ARE SUBMITTED TO THE OWNER FOR HIS REVIEW DO NOT CONSTITUTE "IN WRITING" UNLESS IT IS BROUGHT TO THE ATTENTION OF THE EDIT LLC IN WRITING THAT SPECIFIC CHANGES ARE BEING SUGGESTED. IN ANY EVENT CHANGES TO THE PLANS AND SPECIFICATIONS BY MEANS OF SHOP DRAWINGS BECOME THE RESPONSIBILITY OF THE PERSON INITIATING SUCH CHANGES.
 ALL GENERAL NOTES, SHEET NOTES AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY, TYPICALLY, THROUGHOUT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE OWNER IMMEDIATELY IN WRITING REQUESTING CLARIFICATION.
 THE OWNER SHALL PAY FOR THE COST OF THE BUILDING PERMITS AND OTHER AGENCY FEES. THE CONTRACTOR SHALL PICK UP THE BUILDING PERMIT FROM THE CITY AND BE RESPONSIBLE FOR ALL INSPECTIONS AND SIGN OFF.

CODE COMPLIANCE:

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK; INCLUDING, BUT NOT LIMITED TO: CALIFORNIA BUILDING CODE; CALIFORNIA MECHANICAL CODE; CALIFORNIA ELECTRICAL CODE; UNIFORM FIRE CODE; AMERICAN CONCRETE INSTITUTE (ACI); CALIFORNIA PLUMBING CODE, AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.

SITE EXAMINATION:

THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY, AT THE SITE, ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTIONS OF IT. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR EXPENSES DUE TO HIS NEGLECT TO EXAMINE, OR FAILURE TO DISCOVER, CONDITIONS WHICH AFFECT HIS WORK.

DIMENSION CONTROL:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED. PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY NOTIFY THE ARCHITECT FOR CORRECTION OR ADJUSTMENT. IN THE EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERROR.
 ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE BEGINS HIS WORK. ANY ERRORS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE EDIT LLC BEFORE CONSTRUCTION BEGINS.
 COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE A KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.

MOISTURE PROTECTION:

IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE DETAILS FOR CONSTRUCTION WHICH WILL RESULT IN A MOISTURE PROOF BUILDING ENVELOPE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY EXCEPTION HE MAY TAKE TO ANY OF THE DETAILS OR METHODS DESCRIBED HEREIN. THE CONTRACTOR MAY SUBSTITUTE ALTERNATE METHODS OF WATERPROOFING PROVIDED THE WATERPROOFING IS OF RECOGNIZED USE, WELL REGARDED, WILL BETTER SATISFY THIS INTENT AND COMMON FOR THIS REGION. HE SHALL SO NOTIFY THE OWNER WITH COPY TO THE ARCHITECT, IN WRITING, ALLOWING THE EDIT LLC TO MODIFY HIS DOCUMENTS ACCORDINGLY.

SHOULD ANY SPECIAL SITUATIONS OCCUR DURING CONSTRUCTION, INCLUDING VARIOUS CLIMATIC CONDITIONS, SUGGEST APPLICATIONS OR METHODS TO INSURE THE PROTECTION OF MATERIALS AND ASSEMBLIES, THE OWNER, CONTRACTOR OR SUBCONTRACTOR SHALL SO NOTICE AND IMPLEMENT ANY OR ALL PROTECTIVE MEASURES.

ALL DOWNSPOUTS, SCUPPERS AND LEADERHEADS SHALL BE SIZED TO ACCOMMODATE TRIBUTARY ROOF AREAS SERVED. IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO PROVIDE ANY AND ALL DESIGN, CALCULATIONS AND DATA THAT MAY BE REQUIRED IN SUPPORT OF THIS SYSTEM. ALL RESPONSIBILITY FOR THE SYSTEM AND ITS FUNCTION SHALL BE BORNE BY THE SYSTEM DESIGNER AND/OR INSTALLER. ROOFS OF LESS THAN 3:12 SLOPE SHALL HAVE PROPER ROOF DRAINAGE SYSTEM PROVIDED BY THE CONTRACTOR. EXACT LOCATIONS OF ROOF DRAINS SHALL BE DETERMINED BY CONTRACTOR TO ALLOW FOR BEST PLACEMENT FOR THE SPECIFIC SITE. ROOF DRAINAGE OF ALL TYPES SHALL PROVIDE RUNOFF TO BE CARRIED AWAY FROM THE HOUSE SWIFTLY. DOWNSPOUTS SHALL BE CONNECTED TO SUBSURFACE DRAINAGE, IN TURN CONNECTED TO CITY SEWER SYSTEM. DOWNSPOUTS AND RAIN WATER LEADERS SHALL NOT TERMINATE AT SPLASH BLOCKS AS THESE MAY CONTRIBUTE TO EROSION.

EXCAVATION:

THE CONTRACTOR SHALL CAREFULLY INSPECT ALL EXCAVATION WORK FOR COMPLIANCE TO REQUIREMENTS OF THE PREVAILING BUILDING CODE. SHOULD ANY CONDITIONS APPEAR QUESTIONABLE DUE TO EXCESSIVE DAMPNES, GRANULAR COMPOSITION, BLUFFING, SOFTNESS OR OTHER DEFECT, THE CONTRACTOR SHALL CONTACT THE OWNER. THE OWNER SHALL THEN DETERMINE THE NEED FOR FURTHER INVESTIGATION AND TESTING BY A QUALIFIED SOILS ENGINEER. SUCH SERVICES AND WORK REQUIRED BY THE ABOVE SHALL BE ADDITIONAL SERVICES OVER AND ABOVE ALL PREVAILING CONTRACTS. CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE AND FEDERAL REGULATIONS REGARDING EXCAVATIONS. SHORING WILL NEED TO BE DESIGNED FOR THE RETAINING WALL CUTS.

THE CONTRACTOR SHALL REDUCE DUST BY APPROVED MEANS AND MINIMIZE NOISE AS MUCH AS PRACTICAL. IN NO CASE SHALL THE WORK INTERFERE WITH EXISTING STREETS, DRIVES, WALKS, PASSAGEWAYS, PEDESTRIAN TRAFFIC, ADJACENT PROPERTIES AND THE LIKE WITHOUT PRIOR NOTIFICATION TO THE APPROPRIATE AGENCIES.

DEMOLITION NOTES:

ENTIRELY DEMOLISH, ON THE SITE, ANY STRUCTURE OR PORTION THEREOF INDICATED TO BE REMOVED. DO NOT REMOVE, EITHER AS A WHOLE OR SUBSTANTIALLY AS A WHOLE, UNLESS OTHERWISE DIRECTED BY THE ARCHITECT.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND COORDINATE THEIR REMOVAL TO AVOID ANY INTERRUPTION OF SERVICE TO ADJACENT PROPERTIES.
 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL SHORING REQUIRED IN CONNECTION WITH THE DEMOLITION OPERATIONS, AND THE SUPPORTS SHALL HOLD THE EXISTING WORK THAT IS TO REMAIN IN PROPER POSITION UNTIL NEW SUPPORTING MEMBERS AND ADJACENT WORK IS INSTALLED.
 THE GENERAL CONTRACTOR SHALL INFORM HIMSELF OF MUNICIPAL REGULATIONS AND CARRY OUT HIS WORK WITH ALL FEDERAL AND STATE REQUIREMENTS TO REDUCE FIRE HAZARDS AND INJURIES TO THE PUBLIC.
 AFTER WORK HAS STARTED IT SHALL BE CARRIED TO COMPLETION, PROMPTLY, EXPEDITIOUSLY, AND IN AN ORDERLY MANNER, USING METHODS COMMONLY EMPLOYED, AND AS PROVIDED UNDER THE CITY OR COUNTY CODE FOR DEMOLITION WORK AS APPLICABLE.
 GENERALLY, DO ANY CUTTING FOR AND REMOVE ANY OR ALL ITEMS, WHETHER SPECIFICALLY MENTIONED OR INDICATED, WHICH OBVIOUSLY WOULD INTERFERE WITH OR BECOME INCONGRUOUS TO PROPOSED CONSTRUCTION FINISHES. WHEN ITEM (S) IS QUESTIONABLE NOTIFY OWNER OR THE ARCHITECT.

SITE PROTECTION:

ANY DAMAGE OR LOSS RESULTING FROM EXCAVATION, GRADING OR CONSTRUCTION WORK SHALL BE CORRECTED OR REPLACED BY THE CONTRACTOR WITH NO RESPONSIBILITY TO THE ARCHITECT.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING SITE UTILITIES AND SHALL COORDINATE THEIR REMOVAL OR MODIFICATIONS (IF ANY) TO AVOID ANY INTERRUPTION OF SERVICE TO ADJACENT PROPERTIES.
 AS NECESSARY OR REQUIRED, THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL A TEMPORARY CONSTRUCTION FENCE, MEETING CITY STANDARDS, DURING CONSTRUCTION AND TAKE ALL MEASURES TO PROTECT THE PUBLIC FROM INJURY CAUSED ON SITE.
 THE GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL AND RUNOFF PROTECTION THROUGHOUT CONSTRUCTION PER REQUIREMENTS OF THE LOCAL AGENCIES. THIS INCLUDES PROVIDING THAT THERE BE NO MUD, SILT, SOIL, SAND OR OTHER EARTH OR DEBRIS LADEN RUNOFF INTO PUBLIC RIGHTS OF WAY OR NEIGHBORING PROPERTIES. ONLY CLEAR WATER SHALL DRAIN OFF THE SITE. SILT FENCES, SAND BAGS, HAY BALES, ETC. MAY BE USED FOR THIS PURPOSE.

SITE NOTES:

ROOF DRAINAGE OF ALL TYPES SHALL PROVIDE RUNOFF TO BE CARRIED AWAY FROM THE HOUSE SWIFTLY. DOWNSPOUTS SHALL BE CONNECTED TO SUBSURFACE DRAINAGE, IN TURN CONNECTED TO CITY OR COUNTY STORM DRAINAGE. DOWNSPOUTS AND RAIN WATER LEADERS SHALL NOT TERMINATE AT SPLASH BLOCKS AS THESE MAY CONTRIBUTE TO EROSION. ALL DOWNSPOUTS SHALL CONNECT WITH A SUBDRAIN IN TURN CONNECTING TO EXISTING SEWER IN CITY RIGHT OF WAY.
 PROVIDE ADEQUATE MEANS FOR COLLECTING AND DIRECTING SURFACE AND SUBSURFACE WATERS TO THE STREET GUTTER, STORM DRAIN, OR OTHER APPROVED DRAIN SYSTEM PER LOCAL ORDINANCE.
 SERVICE COMPANIES PROVIDING GAS, ELECTRIC AND TELEPHONE SERVICE SHALL BE CONSULTED FOR THE LOCATION AND SCHEDULING OF THIS WORK. LOCATION FOR SERVICE ENTRANCE AND METER LOCATION SHALL BE APPROVED BY THE OWNER PRIOR TO THEIR INSTALLATION.
 PRODUCE POSITIVE DRAINAGE AWAY FROM EXTERIOR WALLS.

SECURITY REQUIREMENTS:

CONTRACTOR TO OBTAIN AND CONFORM TO THE APPROPRIATE CITY, TOWN OR COUNTY, BUILDING SECURITY RULES AND REGULATIONS AND/OR REQUIREMENTS. REFER TO THE APPROPRIATE LOCAL AGENCIES REGARDING INTERPRETATIONS OF SECURITY REQUIREMENTS AS APPLICABLE TO THIS PROJECT.

INSULATION REQUIREMENTS:

PER STATE OF CALIFORNIA "ENERGY INSULATION STANDARDS" (HEATING ONLY): THESE STANDARDS DESCRIBE MINIMUM INSULATION ONLY, AND ADDITIONAL REQUIREMENTS MAY BE IMPOSED IN THE DRAWINGS AND/OR IN THE CALCULATIONS AND/OR BY LOCAL LEGISLATION.

GLAZING REQUIREMENTS: SEE WINDOW AND SLIDING GLASS DOOR DESIGNATIONS ON PLANS AND ELEVATIONS FOR GLASS TYPES. SEE CALCULATIONS FOR REQUIRED UVALUES.

AIR INFILTRATION OF WINDOWS/SLIDING GLASS DOORS: ALL WINDOWS AND SLIDING GLASS DOORS MUST MEET THE AIR AND INFILTRATION STANDARDS OF THE CURRENT A.N.S.I. AND SHALL BE CERTIFIED AND LABELED.

WEATHER STRIPPING:

ALL EXTERIOR DOORS TO CONDITIONED AREAS SHALL BE WEATHER-STRIPPED. SEE DOOR SCHEDULE. DOORS TO MECHANICAL CLOSETS WITH COMBUSTION AIR VENTS SHALL BE WEATHER-STRIPPED.

COMPLIANCE:

UPON COMPLETION OF THE INSTALLATION OF INSULATION, A CARD CERTIFYING THAT THE INSULATION HAS BEEN INSTALLED AND SHALL BE COMPLETED AND EXECUTED BY THE INSULATION APPLICATOR AND BY THE BUILDER. THIS INSULATION COMPLIANCE SHALL BE POSTED AT A CONSPICUOUS LOCATION WITHIN THE DWELLING.

FLOOR PLAN NOTES:

ALL DIMENSIONS GIVEN TAKE PRECEDENCE OVER SCALE, (THIS APPLIES TO ALL DRAWINGS). DIMENSIONS GIVEN ARE TO FACE OF STUD (F.O.S.), UNLESS OTHERWISE NOTED (U.O.N.). DIMENSIONAL ADJUSTMENTS MAY INCLUDE: CENTERLINE L AND FACE OF CONCRETE (F.O.C.). STAIRS (U.O.N.) SHALL BE JOB CONSTRUCTED WITH 2 X 12 STRINGERS, MINIMUM 3 STRINGERS. ALL TILE INSTALLATIONS SHALL CONFORM TO THE APPLICABLE INSTALLATION REQUIREMENTS LISTED IN BY THE TILE COUNCIL OF AMERICA, CURRENT ADDITION.
 ALL SHOWERS AND TUB AREAS SHALL HAVE WATER RESISTANT GYPSUM BOARD OVER STUDS.
 WINDOWS AND SLIDING GLASS DOORS WITH JAMBS SHOWN FLUSH WITH ADJACENT WALL SURFACES SHALL BE FRAMED WITH FLUSH TRIMMER STUD.

EXTERIOR MATERIAL NOTES:

ALL EXPOSED WOOD SHALL BE REDWOOD OR CEDAR OR PRESSURE TREATED. ALL CUT ENDS SHALL BE TREATED WITH "COPPER GREEN" OR SIMILAR PRESERVATIVE.
 A CEMENT PLASTER WEEP OR DRIP SCREED SHALL BE PROVIDED ALONG THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS COVERED WITH CEMENT PLASTER. THE SCREED SHALL BE OF A KIND THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.
 PROVIDE CEMENT PLASTER CONTROL JOINTS IN PATTERN, INDICATED ON THE EXTERIOR ELEVATIONS, AND WHERE NOT SHOWN, AS REQUIRED BY PLASTER INSTITUTE STANDARDS.
 REVIEW LAYOUT OF CONTROL JOINTS WITH OWNER PRIOR TO INSTALLATION.
 ALL WOOD GROUNDS TO BE COMPLETELY COVERED WITH PRIMER. ALL OTHER EXPOSED WOOD TRIM SHALL BE FULLY BACK SEALED PRIOR TO ASSEMBLY.
 ALL BLEMISHES, PITCH AND OTHER UNSIGHTLY MARKINGS SHALL BE PROPERLY REMOVED PRIOR TO STAINING WOODS.
 ALUMINUM REVEALS SHALL HAVE TIGHT FITTING MITERED CORNERS. WHERE CORNERS CANNOT BE TIGHT FITTING, THEY SHALL BE CAULKED.
 ALL PENETRATIONS THROUGH CEMENT PLASTER FINISH SHALL BE CAULKED TO PREVENT WATER INFILTRATION INTO ASSEMBLY.
 PAINT ENTIRE EXISTING, AND NEW, CONSTRUCTION, UNLESS OTHERWISE INSTRUCTED BY THE OWNER.
 EXISTING EXTERIOR CEMENT PLASTER SHALL BE PROPERLY PATCHED AND REPAIRED AT ALL EXISTING CONDITIONS DAMAGED DURING THE ALTERATIONS. OR AS INDICATED IN FIELD BY THE OWNER.
 IT IS RECOMMENDED THAT ALL PLASTER SURFACES SHALL BE REDUCED TO APPROXIMATELY 10' X 10' AREAS BY USE OF EXPANSION JOINTS. THE INTENT OF EXPANSION JOINTS IS TO REDUCE THE AREAS OF PLASTER TO ALLOW FOR MINIMAL CRACKING DURING CURING. PER SECTION 4708 OF THE CALIFORNIA BUILDING CODE, AND CHAPTER 2, LATHING AND PLASTERING, REFERENCE SPECIFICATION OF PLASTER AND LATHING SYSTEMS MANUAL, LATEST EDITION. THE CONTRACTOR SHALL REVIEW LOCATIONS OF THESE APPLICATION WITH THE OWNER IN THE FIELD. SHOULD THE CONTRACTOR DETERMINE THAT ADDITIONAL OR ALTERNATIVE LOCATIONS MIGHT BE REQUIRED TO FACILITATE THIS INTENT, HE SHALL SO ACKNOWLEDGE AND REVIEW WITH THE OWNER PRIOR TO INSTALLATION.

ELECTRICAL NOTES:

ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA ELECTRICAL CODE (C.E.C.). THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, THE ITEMS LISTED BELOW:
 A MINIMUM OF TWO 20 AMPERE SMALL APPLIANCE CIRCUITS SHALL BE PROVIDED FOR THE KITCHEN, DINING AND FAMILY ROOMS/AREAS. CONTRACTOR SHALL PROVIDE FOR FUTURE EXPANSION OF (3) 30 AMP CIRCUITS.
 THE LAUNDRY FACILITIES, WASHER AND DRYER, SHALL HAVE A SEPARATE 20 AMPERE CIRCUIT.
 PROVIDE GROUND FAULT CIRCUIT INTERRUPT R (G.F.I.) PROJECTION ON ALL OUTDOOR AND BATHROOM RECEPTACLES, AT ALL RECEPTACLES LOCATED IN KITCHEN, AND AS OTHERWISE REQUIRED.
 RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET HORIZONTALLY FROM ANY OUTLET. ANY WALL OVER 2 FEET IN LENGTH SHALL HAVE AN ELECTRICAL OUTLET. IN KITCHEN AND DINING AREAS A RECEPTACLE SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12 INCHES.
 SWITCHES, VENTILATION CONTROLS, APPLIANCE CONTROLS SHALL BE INSTALLED NOT LESS THAN 30", NOR MORE THAN 4 FEET ABOVE FINISH FLOOR.
 PROVIDE GASKETS AT ALL EXTERIOR WALL ELECTRICAL OUTLETS, PER SUBMITTED ENERGY COMPLIANCE DOCUMENTS. THERMOSTATS SHOULD BE INSTALLED AT 5-0" ABOVE FLOOR.
 THE BUILDER SHALL PROVIDE THE BUILDING OWNER INSTRUCTIONS ON THE EFFICIENT USE OF ALL SPACE HEATING, COOLING, WATER HEATING AND LIGHTS SYSTEMS AND DEVICES.
 ALL LIGHT FIXTURES TO BE SELECTED BY CONTRACTOR, UNLESS SPECIFIED.
 DUPLEX OUTLETS SHALL BE INSTALLED MINIMUM 12 INCHES ABOVE FINISH FLOOR.
 CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION FOLLOWING THE INTENT OF THE DRAWINGS AND THE ADEQUACY OF IT. SUBCONTRACTOR SHALL SUBMIT CUT SHEETS AND/OR SHOP DRAWINGS FOR REVIEW BY THE OWNER.

MECHANICAL NOTES:

ALL LAUNDRY, BATHROOM, OR OTHER HABITABLE ROOMS NOT PROVIDED WITH A VENTIBLE WINDOW, PER CODE, SHALL HAVE ADEQUATE MECHANICAL VENTILATION PER ALL APPLICABLE CODES AND ORDINANCES. ONLY LOW SONE EXHAUST FANS ARE TO BE USED.
 ALL INSTALLATIONS AND MAINTENANCE OF HEATING, VENTILATING, COOLING AND REFRIGERATION SYSTEMS AND/OR EQUIPMENT SHALL CONFORM TO THE CURRENT CALIFORNIA MECHANICAL CODE.
 HEATING SYSTEM AS SHOWN IS SCHEMATIC ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR SYSTEM DESIGN AND ADEQUACY OF IT. FURNACE DUCTS SHALL BE A MINIMUM 26 GAUGE GALVANIZED IRON WHERE THEY PIERCE THE ONE-HOUR WALLS BETWEEN THE GARAGE AND HOUSE. SUBCONTRACTOR SHALL SUBMIT DESIGN, LAYOUT AND/OR SHOP DRAWINGS TO OWNER AS REQUIRED.
 THE MECHANICAL CONTRACTOR SHALL COORDINATE HIS WORK, INCLUDING SIZE, SHAPE AND LOCATION OF DUCTS WITH THE LIMITS OF THE SPACE PROVIDED AND THE LOCATION OF THE STRUCTURAL SYSTEM MEMBERS. THIS MAY REQUIRE SPECIAL DUCT SIZE, SHAPES, TRANSITIONS AND/OR OTHER METHODS OF PERFORMANCE TO MEET THE LOCAL INTERPRETATION OF THE APPLICABLE CODES.

PLUMBING NOTES:

ALL INSTALLATION OF PLUMBING SYSTEMS AND EQUIPMENT SHALL CONFORM TO ALL LOCAL AUTHORITIES AND/OR CODES HAVING JURISDICTION OR CONTROL OVER IT'S INSTALLATION. PLUMBING FIXTURE LAYOUT SHOWN IS SCHEMATIC ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION FOLLOWING THE INTENT OF THE DRAWINGS AND THE ADEQUACY OF IT. SUBCONTRACTOR SHALL SUBMIT CUTS AND/OR SHOP DRAWINGS FOR REVIEW BY THE ARCHITECT.

IMPORTANT NOTE:

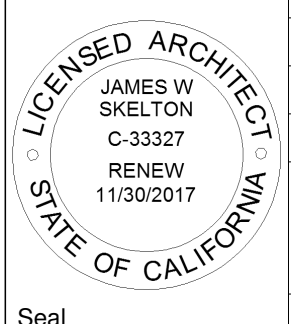
REFER STRUCTURAL NOTES LOCATED ON STRUCTURAL PLAN SHEETS.

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

**LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO**

GENERAL NOTES

Project number	150103222
Date	08 January, 2015
Drawn by	JS
	JS
A020	
Scale	SEE DRAWING




AREA MEASUREMENT
HORIZONTAL PLANE
REMOVAL

HORIZONTAL AREA ELEMENT	REMOVED	%REMOVED
1ST FLR	1,631	100
2ND FLR	1,631	100
ROOF	1,763	100
TOTAL	5,025	100%

LINEAR FOOTAGE
MEASUREMENT

VERTICAL ELEMENT	LENGTH	REMOVED	%REMOVED
FRONT	25'-11"	25'-11"	100%
REAR	26'-4"	3'-11"	14.9%
TOTALS:	52'-3"	29'-10"	57%
NORTH SIDE	66'-10"	1'-9"	2.8%
SOUTH SIDE	69'-1"	45'-1"	65%
GRAND TOTALS:	188'-2"	76'-8"	41%

LEGEND

-  LINEAR FOOTAGE REMOVED
-  HORIZONTAL PLANES REMOVED

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
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3	PLANNING COMMENTS	5/02/16

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO
Horizontal Plane &
Foundation Removal

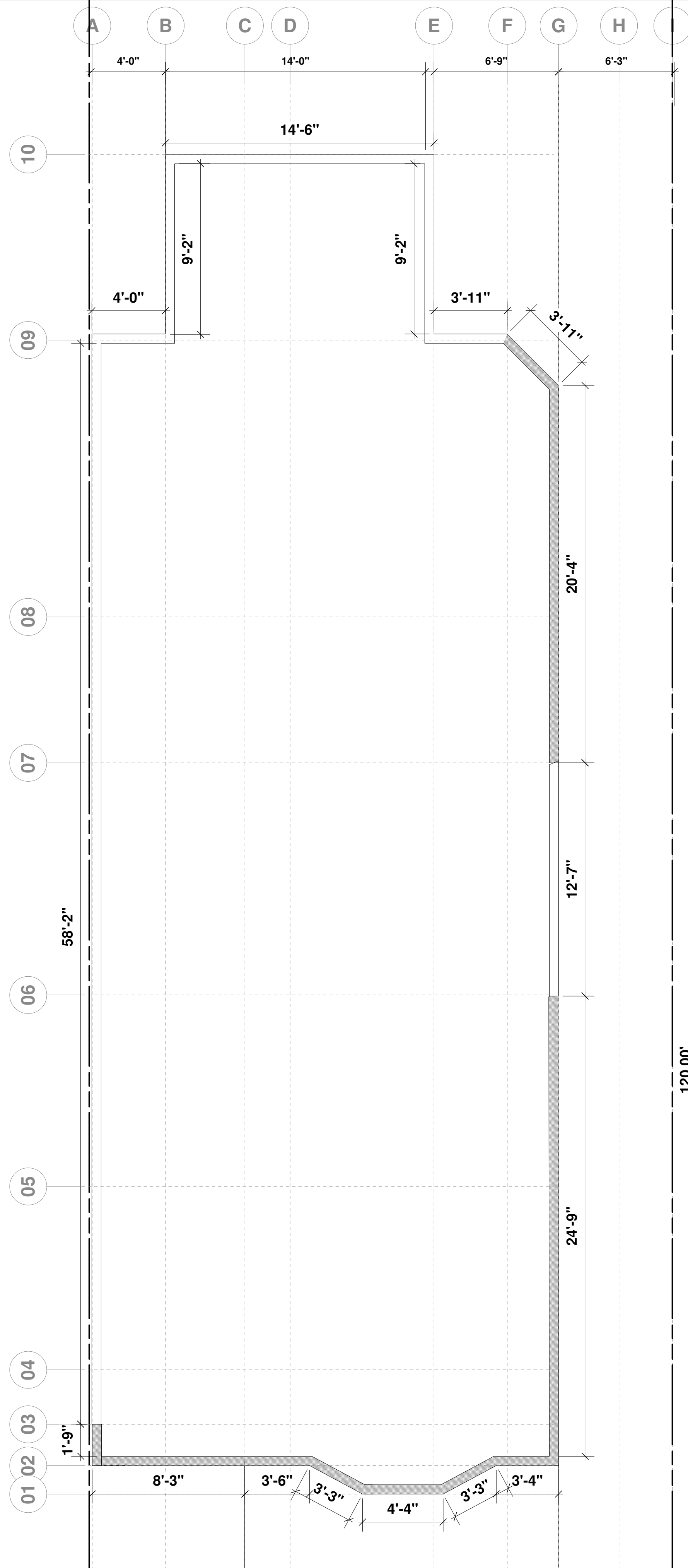
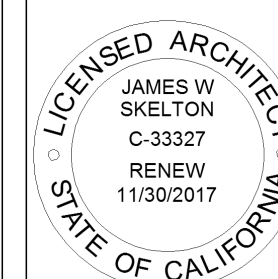
Project number 150103222

Date 08 January, 2015

Drawn by JS

A030

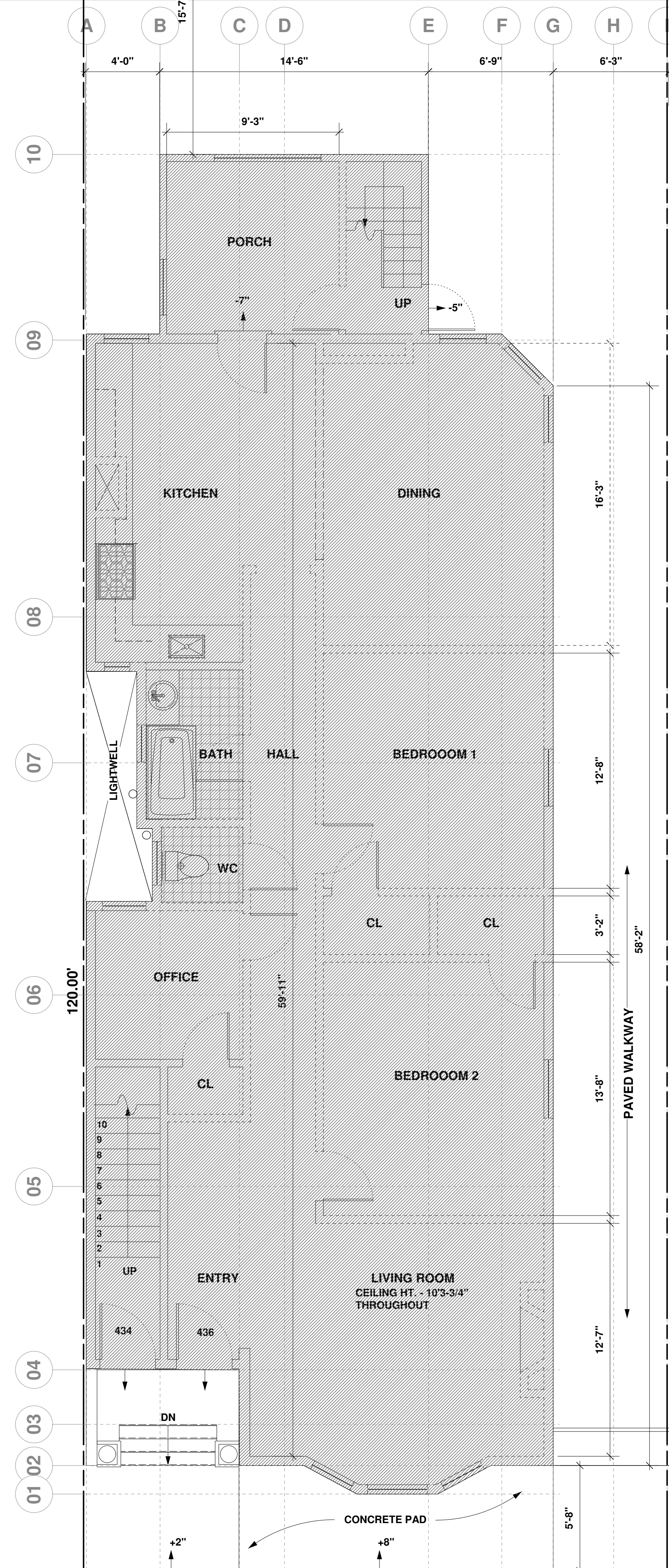
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FOUNDATION/GROUND PLAN - EXISTING

SCALE: 1/4" = 1'-0"

171'-4" LF FOUNDATION
79'-9" LF REMOVED
46.5% REMOVED



1ST FLOOR PLAN - EXISTING

SCALE: 1/4" = 1'-0"

INTERIOR AREA = 1,597 SF + 780 SF STORAGE

1,631 SF FLOOR PLATE
38 SF REMOVED
2.3% REMOVED

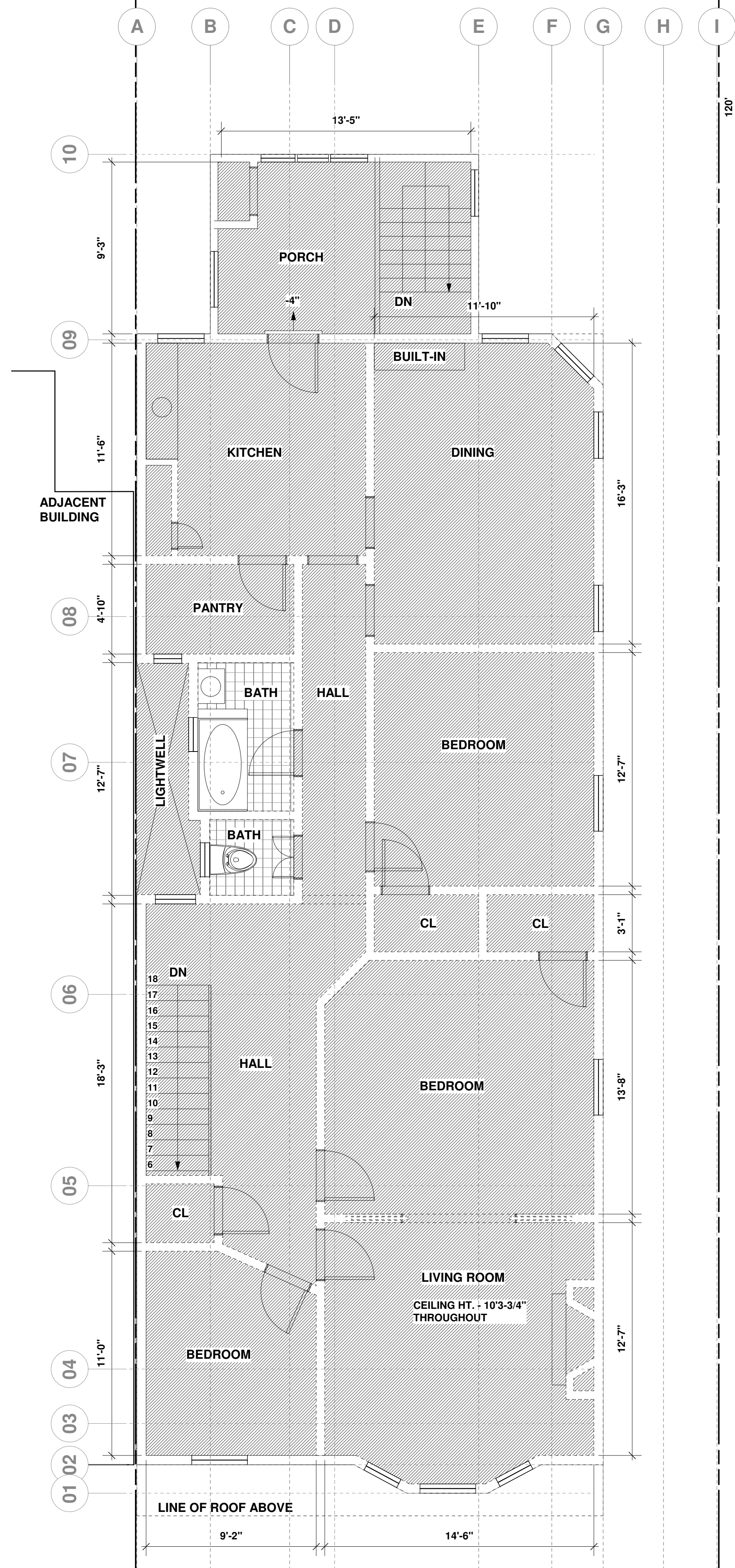
AREA MEASUREMENT
HORIZONTAL PLANE
REMOVAL

HORIZONTAL AREA ELEMENT	REMOVED	%REMOVED
1ST FLR	1,631	100
2ND FLR	1,631	100
ROOF	1,763	100
TOTAL	5,025	100%



LEGEND

HORIZONTAL PLANES REMOVED

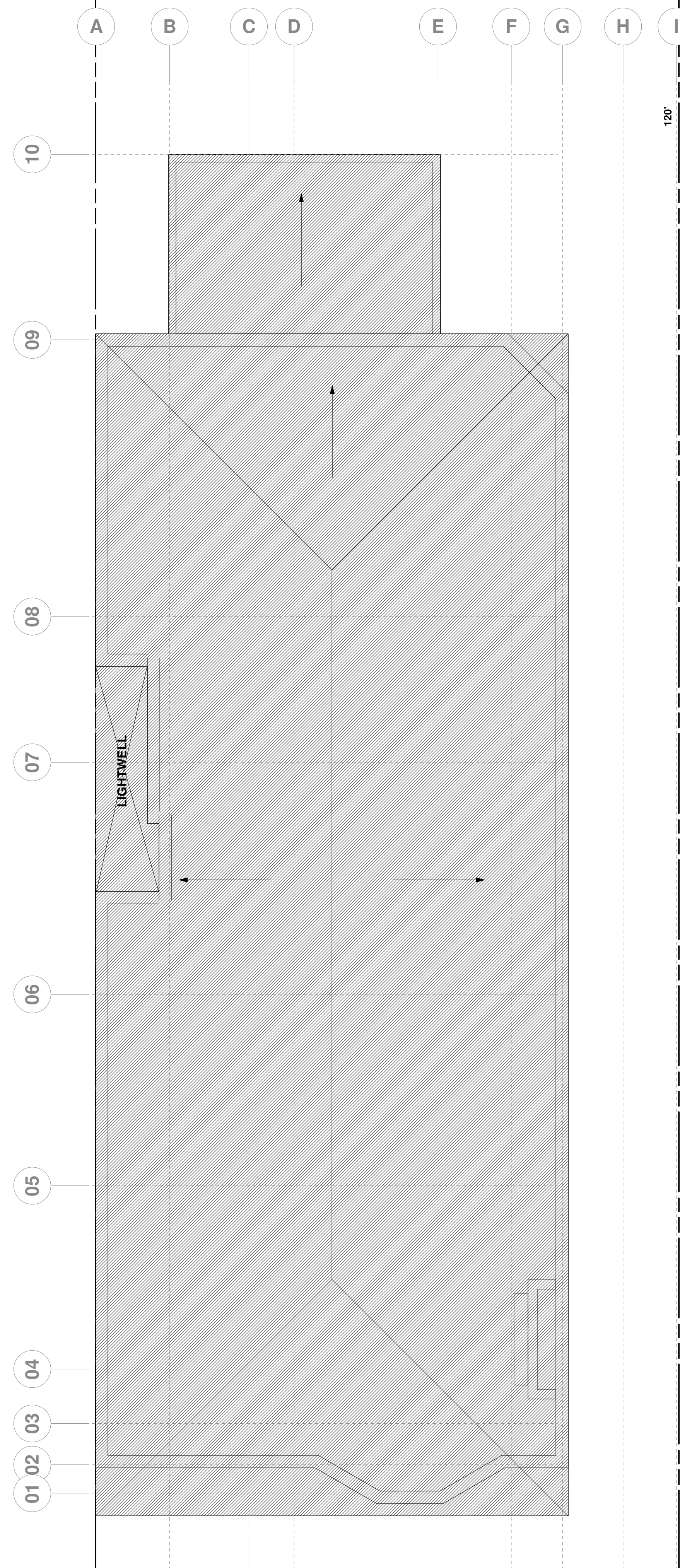


SCALE: 1/4" = 1'-0"

2ND FLOOR PLAN - EXISTING

SCALE: 1/4" = 1'-0"
AREA = 1,640 SF + 780 SF

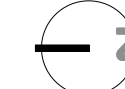
1,631 SF FLOOR PLATE
38 SF REMOVED
2.3% REMOVED



ROOF PLAN - EXISTING

SCALE: 1/4" = 1'-0"
INTERIOR AREA = 1,597 SF + 780 SF STORAGE

1,763 SF FLOOR PLATE
1,763 SF REMOVED
100% REMOVED



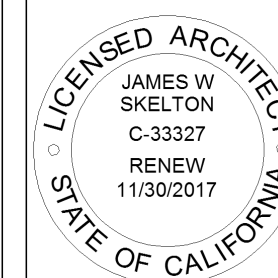
No.	Description	Date
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B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO
Horizontal Plane &
Foundation Removal

Project number 150103222

Date 08 January, 2015

Drawn by JS



A031

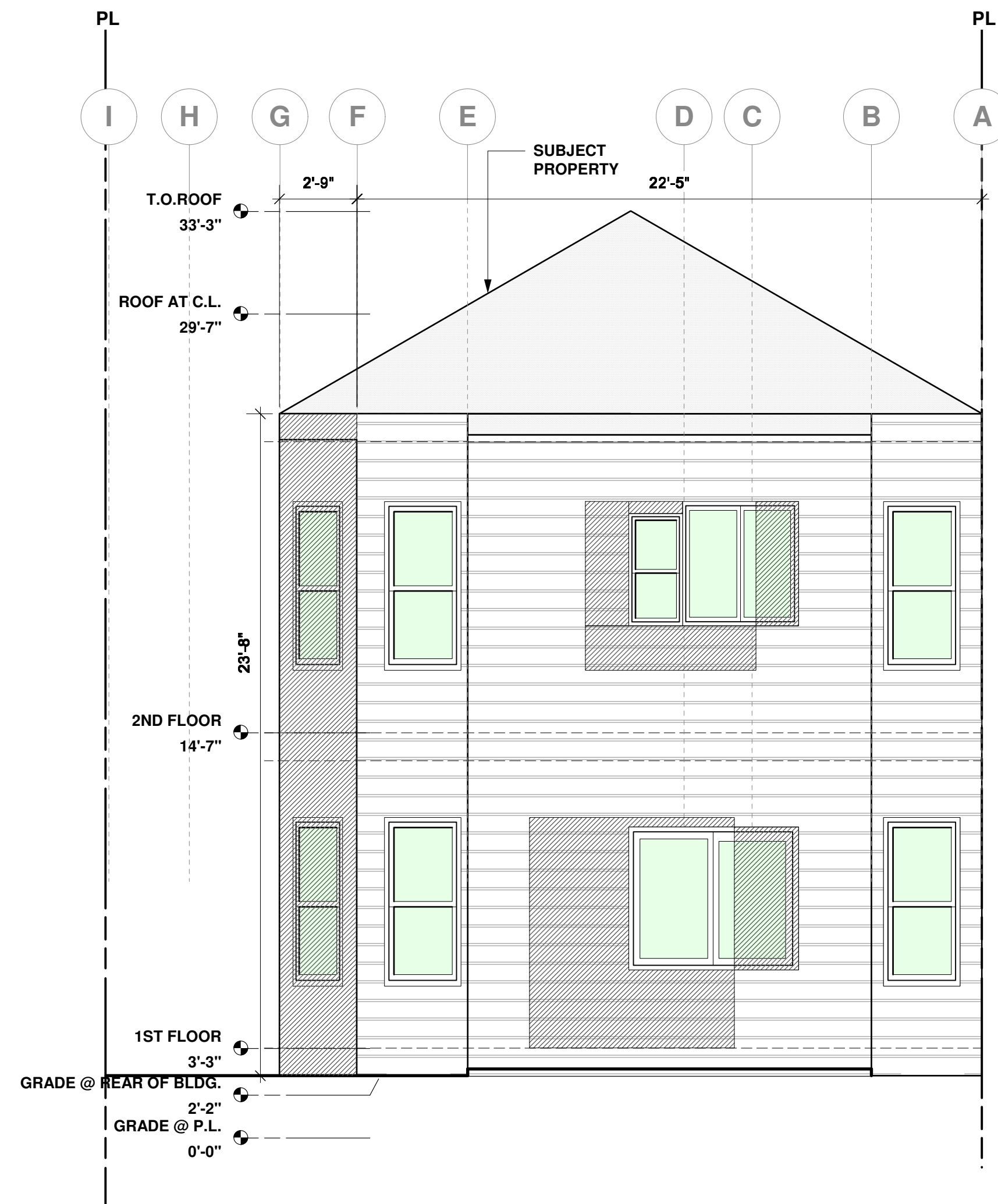
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AREA MEASUREMENT
VERTICAL PLANE
REMOVAL

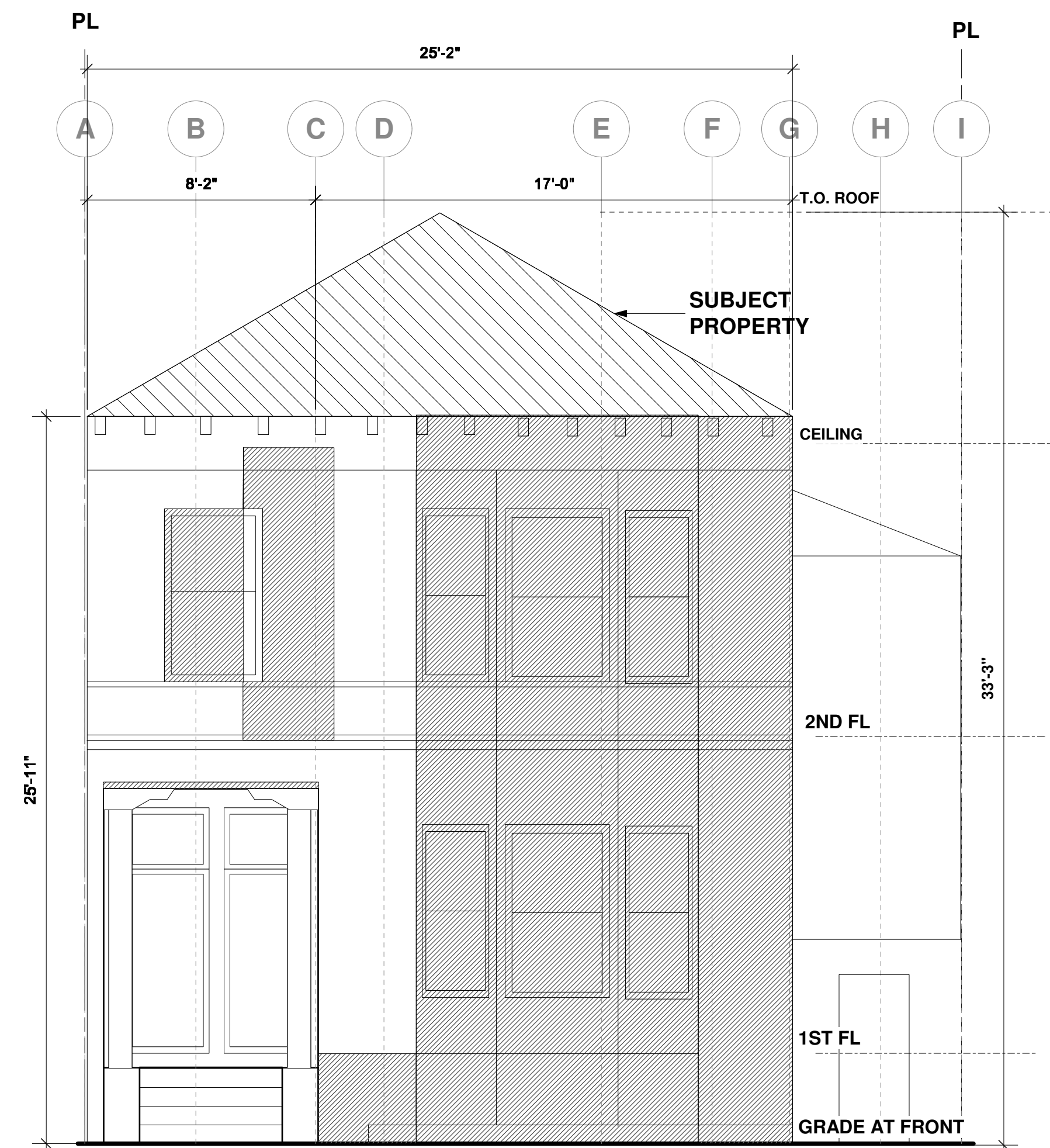
ELEMENT	AREA	REMOVED	% REMOVED
FRONT	652 SF	406 SF	62%
REAR	597	142	24
NORTH SIDE	1,728	318	18
SOUTH SIDE	1,657	1,206	73
GRAND TOTAL	4,634 SF	2,072 SF	44.7%

LEGEND

 VERTICAL AREA AND LIKE MATERIALS REMOVED



E EAST ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"



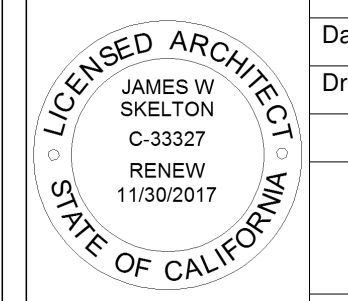
W FRONT ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
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LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO
FACADE & VERTICAL
PLANE REMOVAL

Project number 150103222
Date 08 January, 2015
Drawn by JS

A040
Scale SEE DRAWING



AREA MEASUREMENT
VERTICAL PLANE
REMOVAL

ELEMENT	AREA	REMOVED	% REMOVED
FRONT	652 SF	406 SF	62%
REAR	597	142	24
NORTH SIDE	1,728	318	18
SOUTH SIDE	1,657	1,206	73
GRAND TOTAL	4,634 SF	2,072 SF	44.7%

LEGEND

 VERTICAL AREA REMOVED



N NORTH ELEVATION - EXISTING
SCALE - 1/4" = 1'-0"

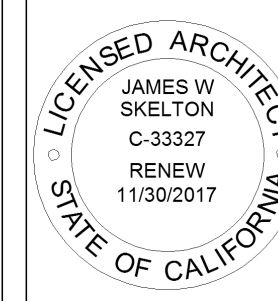


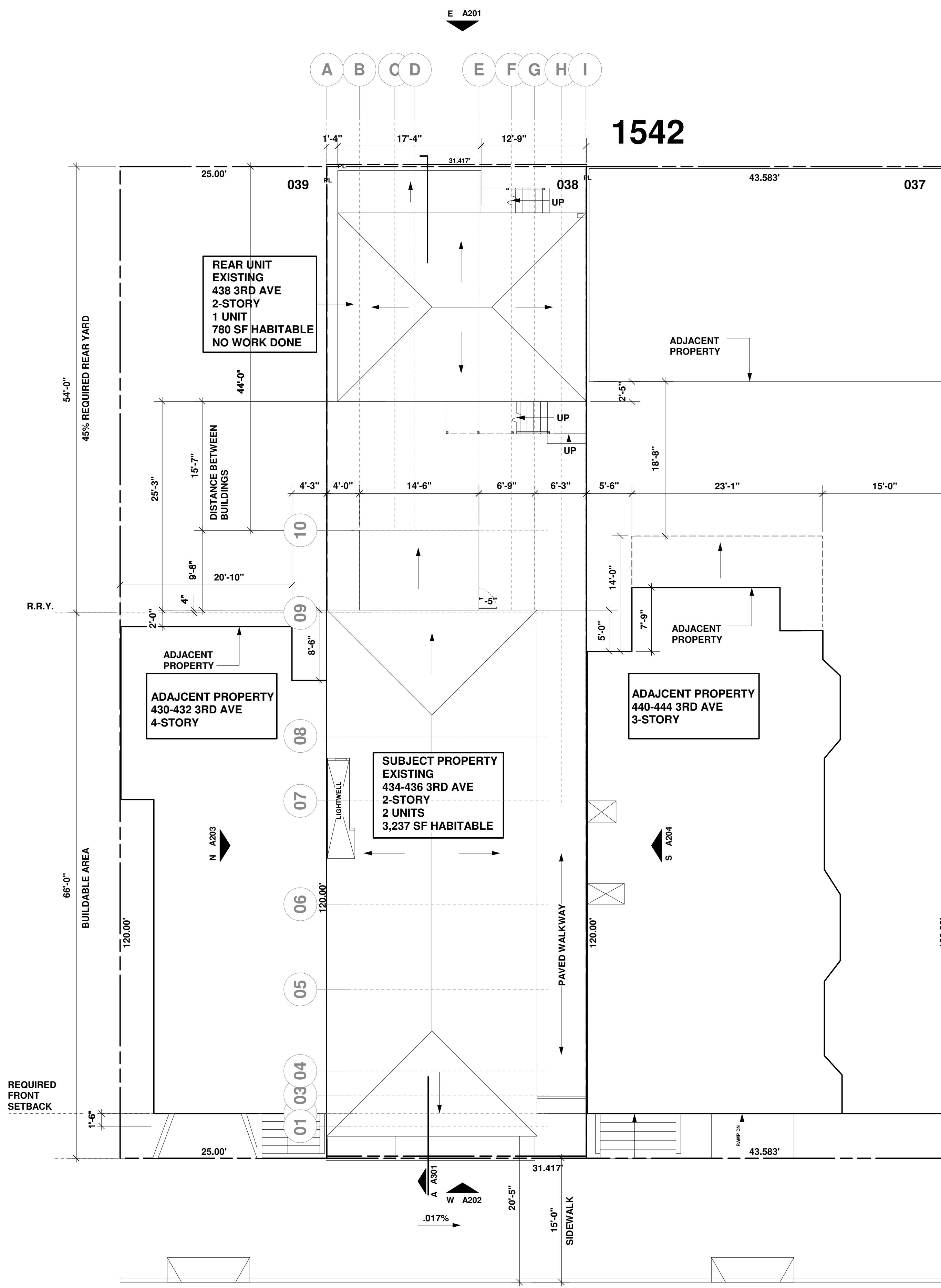
S SOUTH ELEVATION - EXISTING
SCALE - 1/4" = 1'-0"

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
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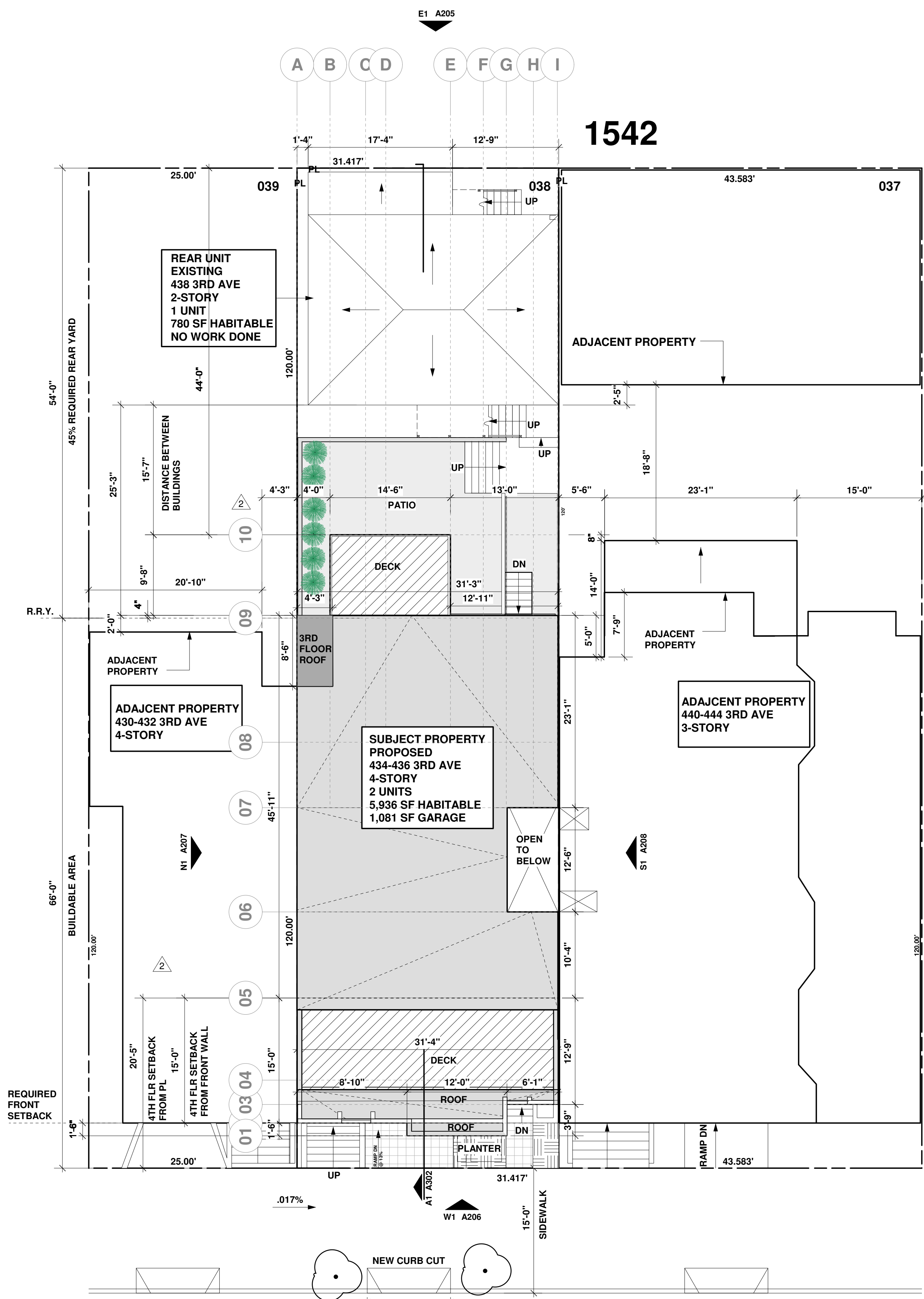
LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO
FACADE & VERTICAL
PLANE REMOVAL

Project number 150103222
Date 08 January, 2015
Drawn by JS
A041
Scale SEE DRAWING





SITE & ROOF PLAN- EXISTING
SCALE 1/8" = 1'-0"



SITE & ROOF PLAN- PROPOSED
SCALE 1/8" = 1'-0"

ROOF DECK @ 4TH FL
 SUBJECT PROPERTY PROPOSED STRUCTURE

PERMEABLE PAVERS 95 SQ FT OF 170 SQ FT FRONT SETBACK = 56% OF FRONT SETBACK

LANDSCAPED AREA 37 SQ FT OF 170 SQ FT FRONT SETBACK = 21% OF FRONT SETBACK

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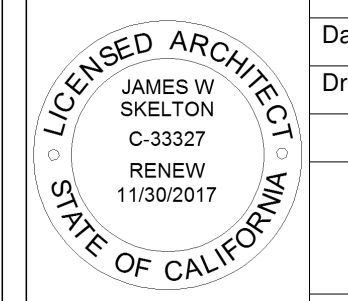
LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

Site & Roof Plans - E/N

Project number 150103222
Date 08 January, 2015
Drawn by JS

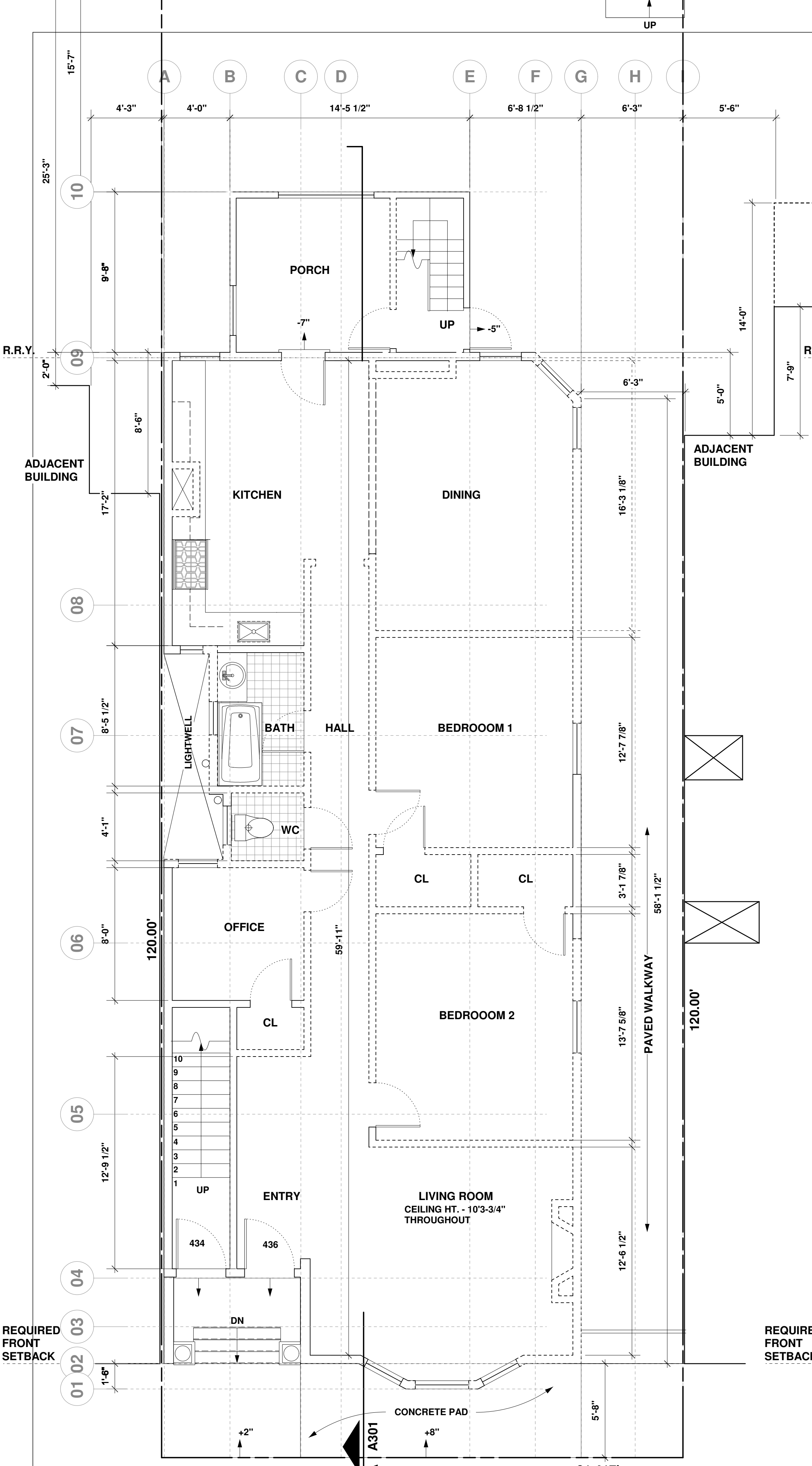
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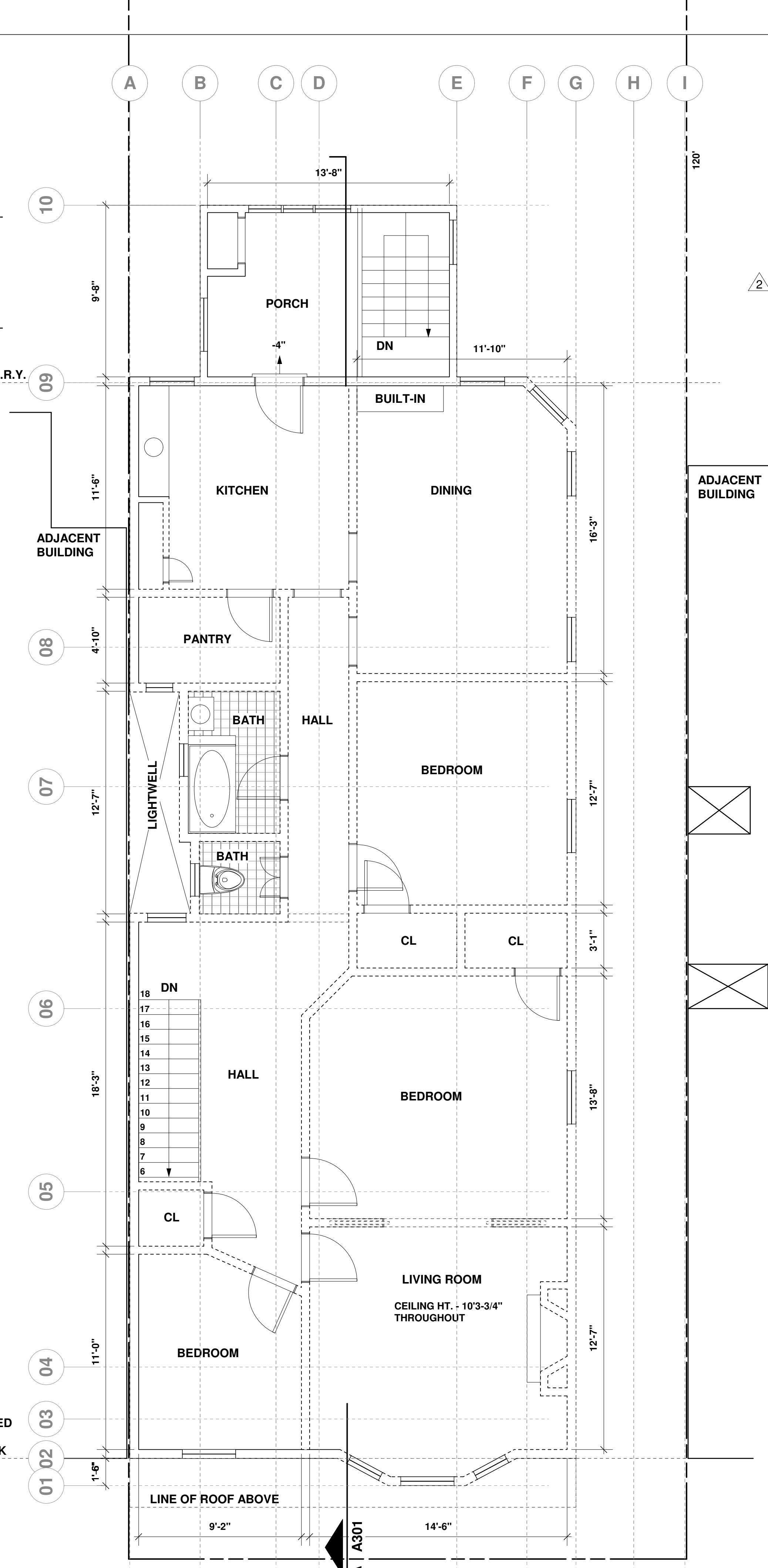
WALL LEGEND

- (E) WALLS
- (E) DEMO



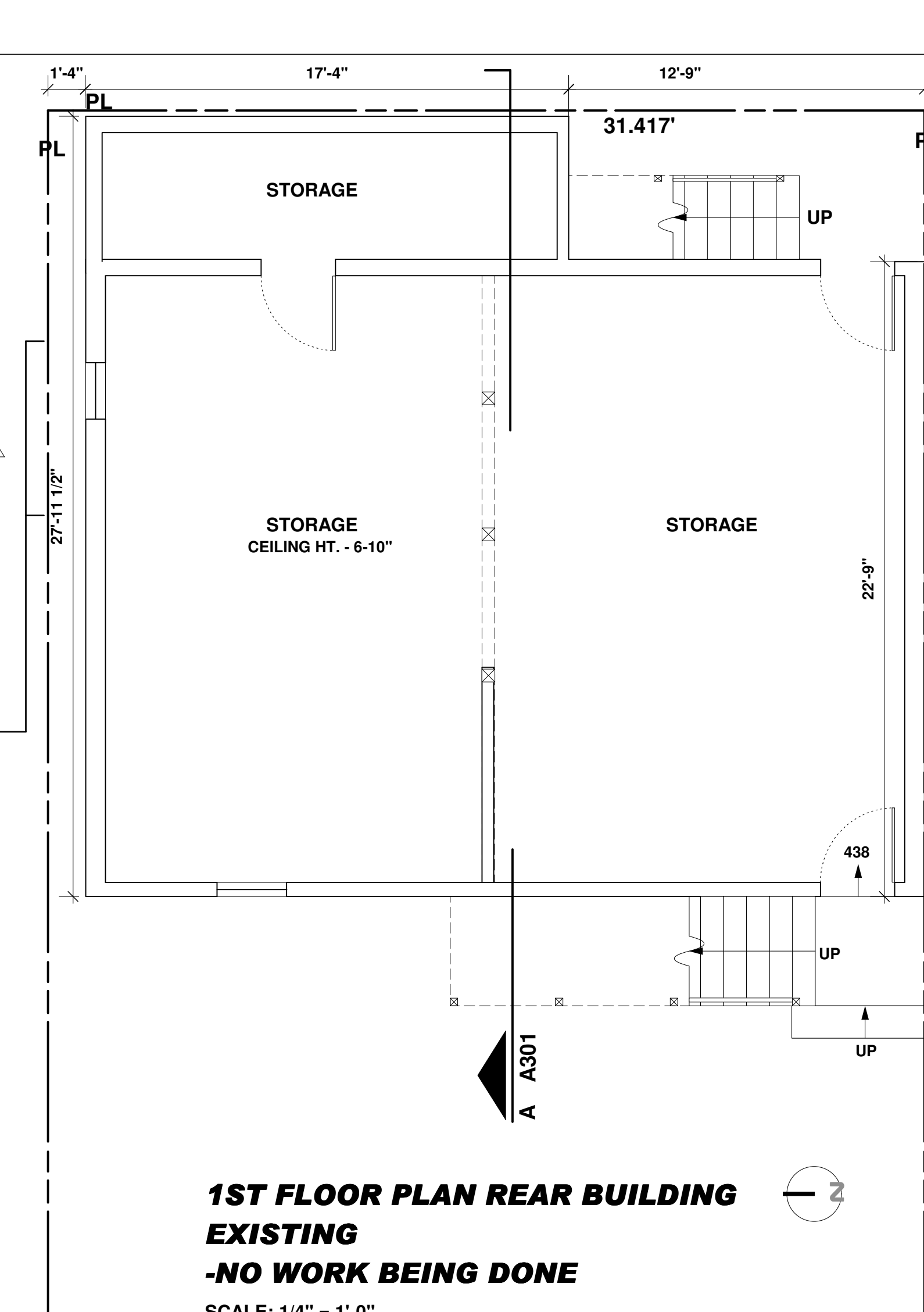
1ST FLOOR PLAN - EXISTING

SCALE: 1/4" = 1'-0"
INTERIOR AREA = 1,597 SF + 780 SF STORAGE



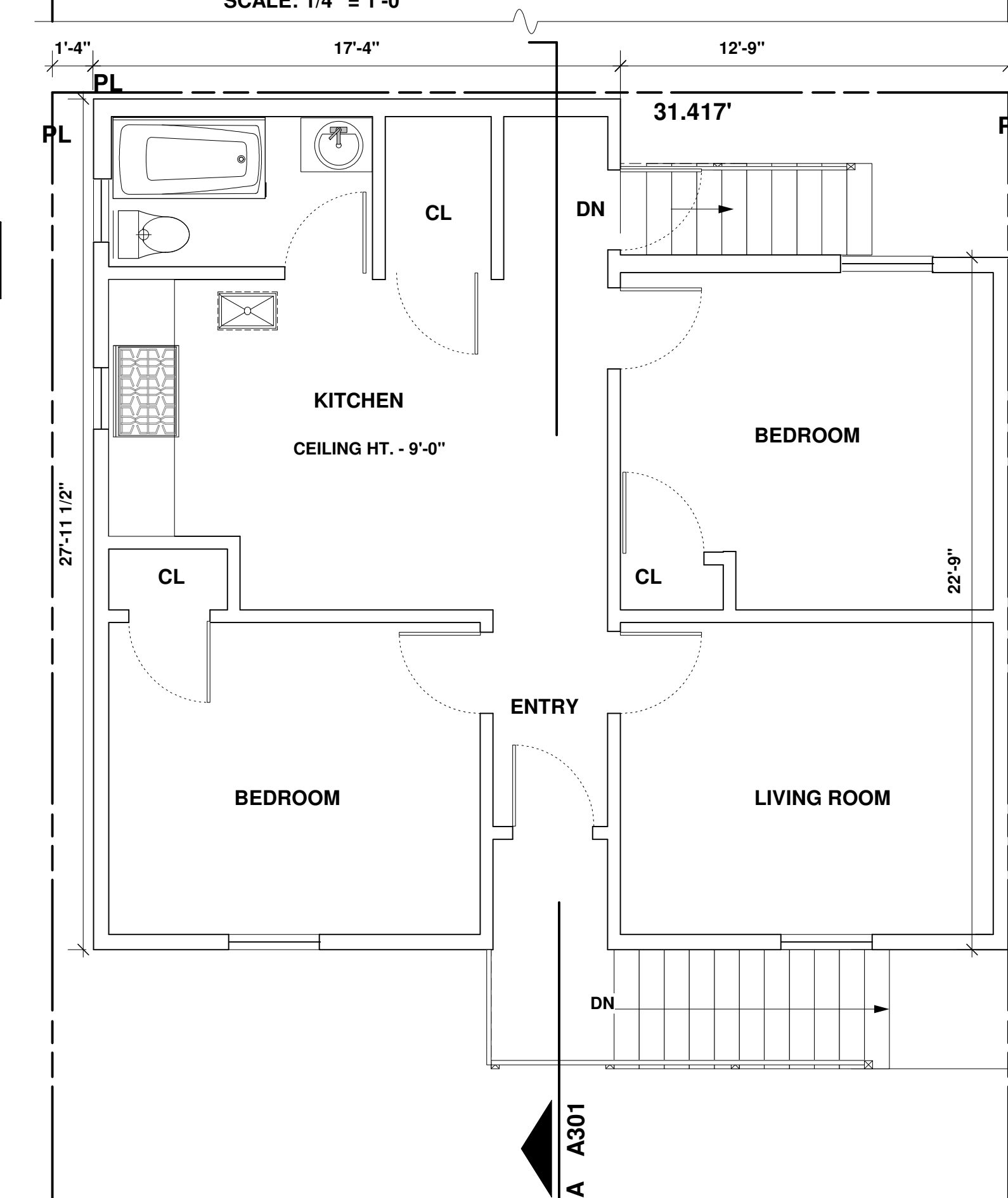
2ND FLOOR PLAN - EXISTING

SCALE: 1/4" = 1'-0"
AREA = 1,640 SF + 780 SF



**1ST FLOOR PLAN REAR BUILDING
EXISTING
-NO WORK BEING DONE**

SCALE: 1/4" = 1'-0"



**2ND FLOOR PLAN REAR BUILDING
EXISTING
-NO WORK BEING DONE**

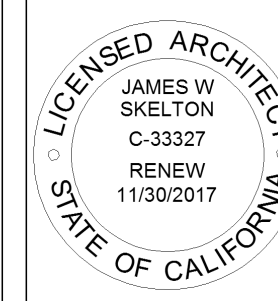
SCALE: 1/4" = 1'-0"

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

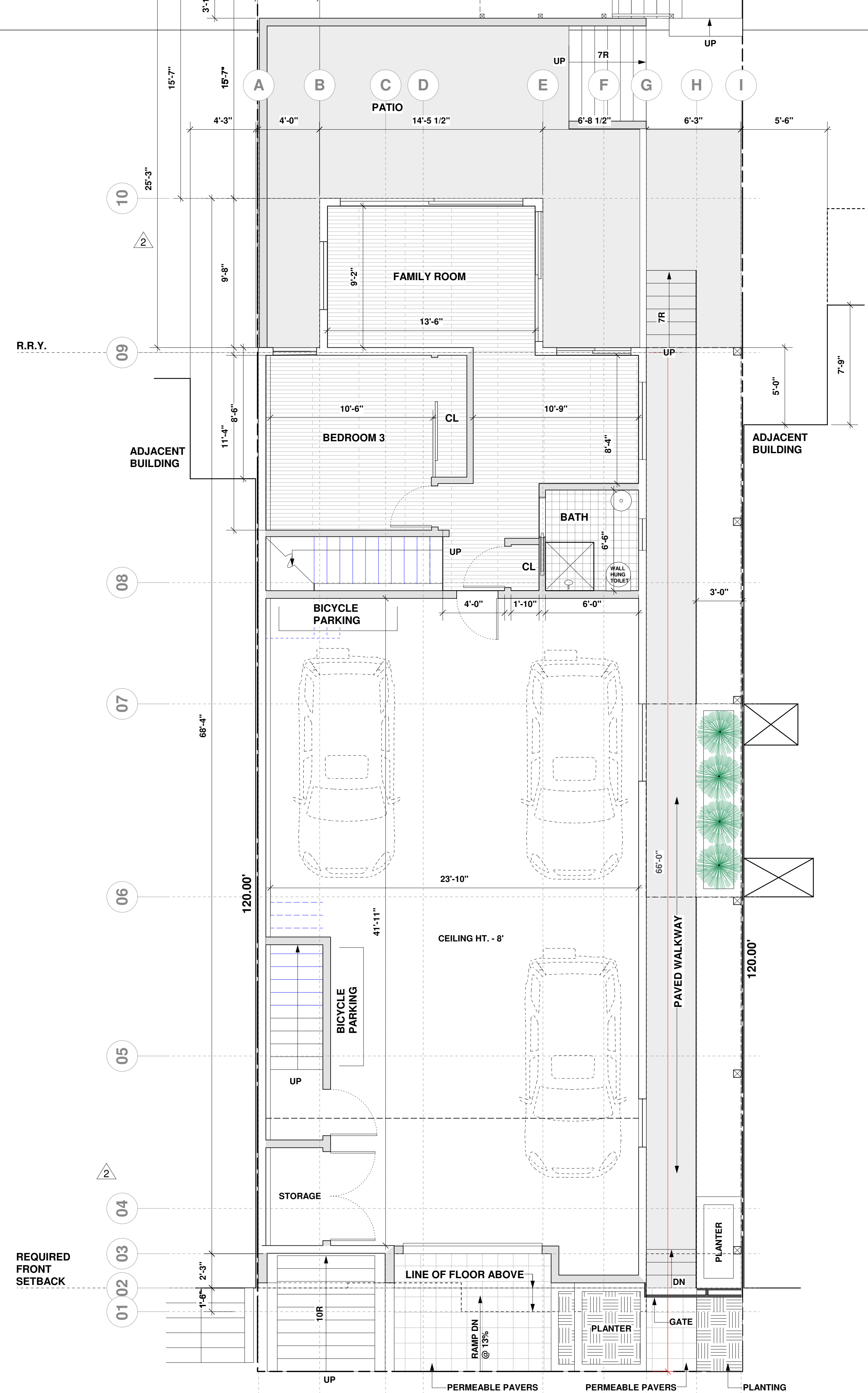
1st & 2nd Flr Plans - E

Project number	150103222
Date	08 January, 2015
Drawn by	JS
A101	
Scale	SEE DRAWING

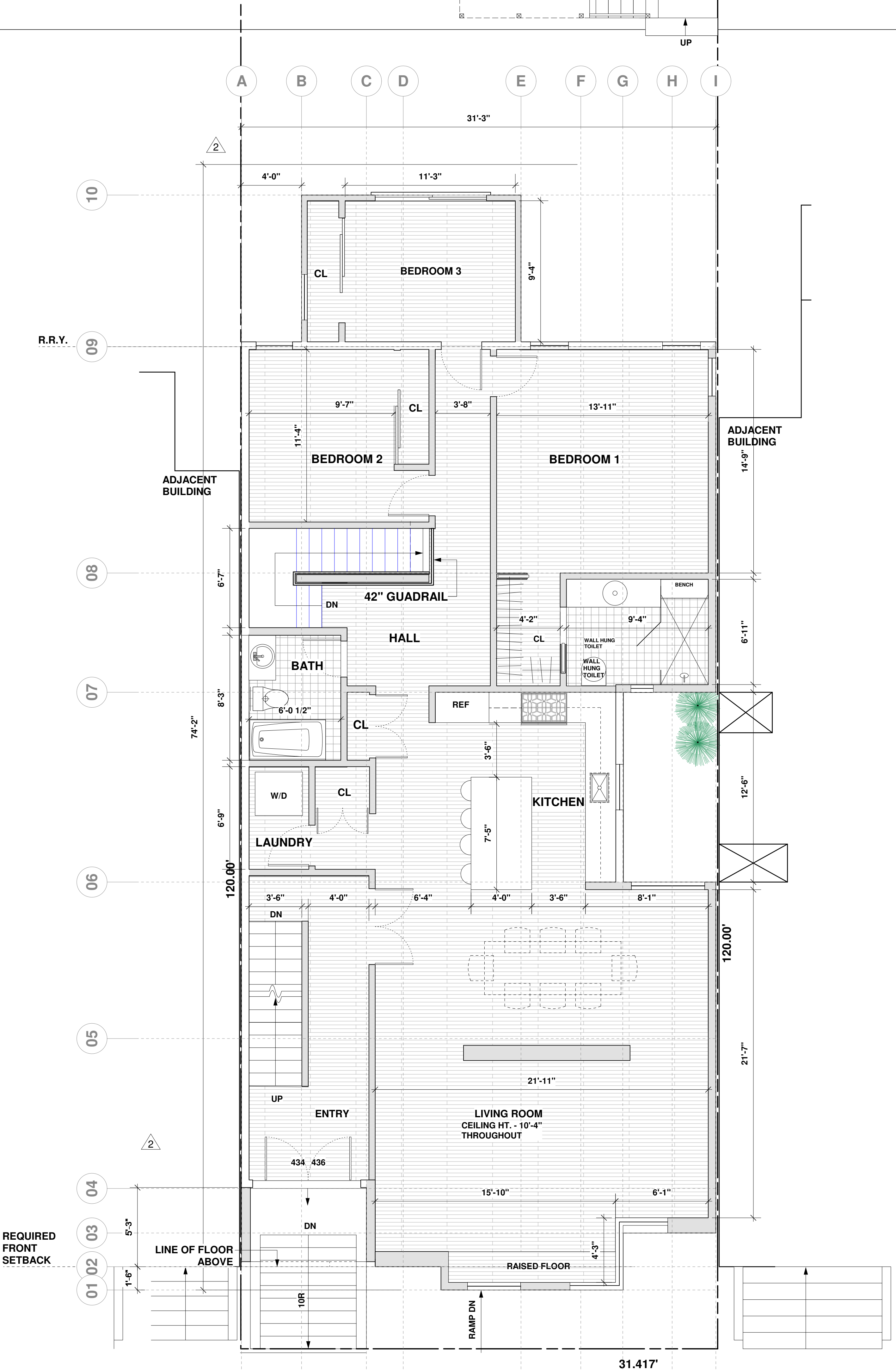


WALL LEGEND

- (N) WALLS
- (E) WALLS



1ST FLOOR PLAN- PROPOSED
SCALE: 1/4" = 1'-0"
AREA = 542 SF
GARAGE 1,081 SF



2ND FLOOR PLAN- PROPOSED
SCALE: 1/4" = 1'-0"
AREA = 1,927 SF

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

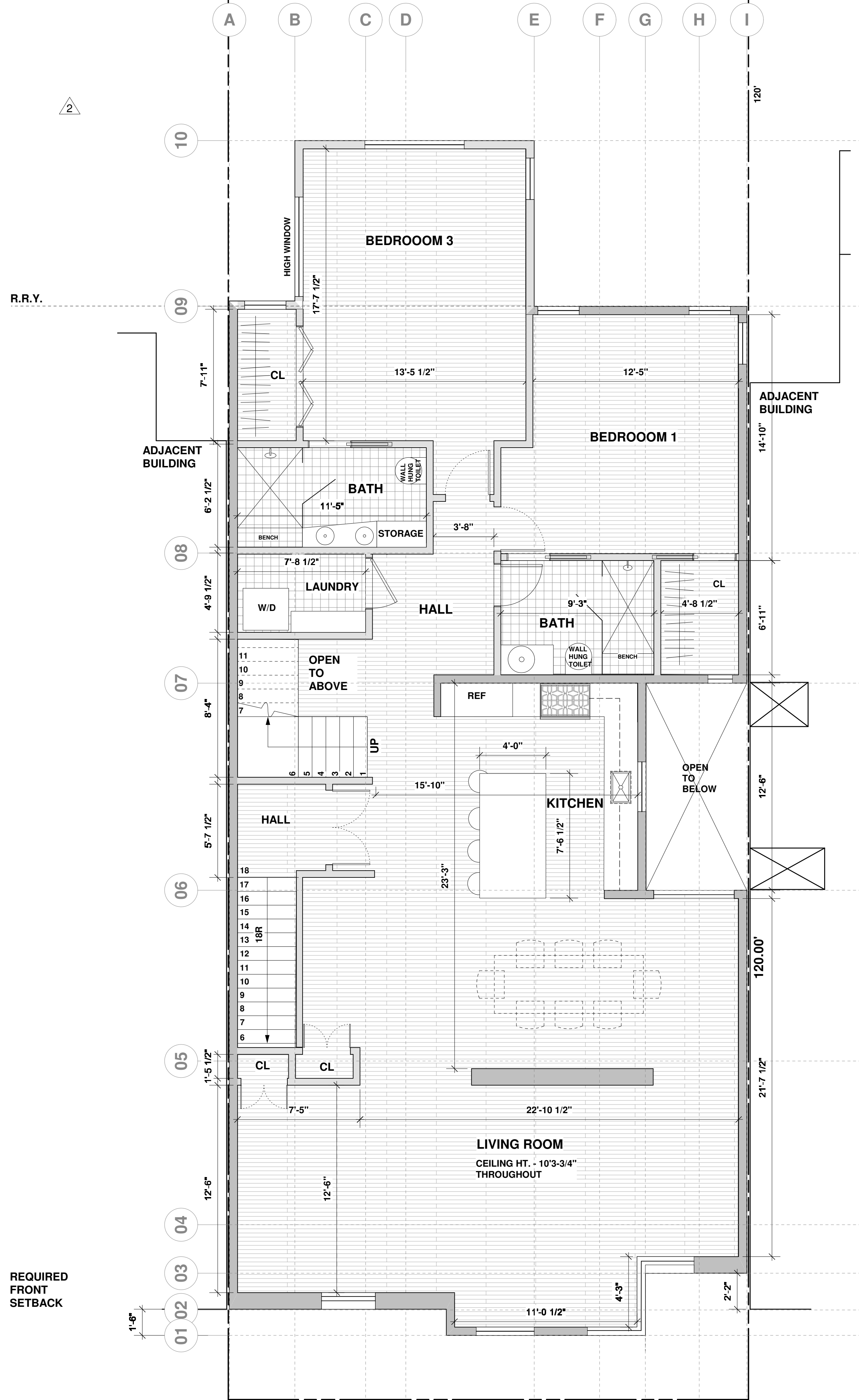
LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

1st & 2nd Flr Plans - N

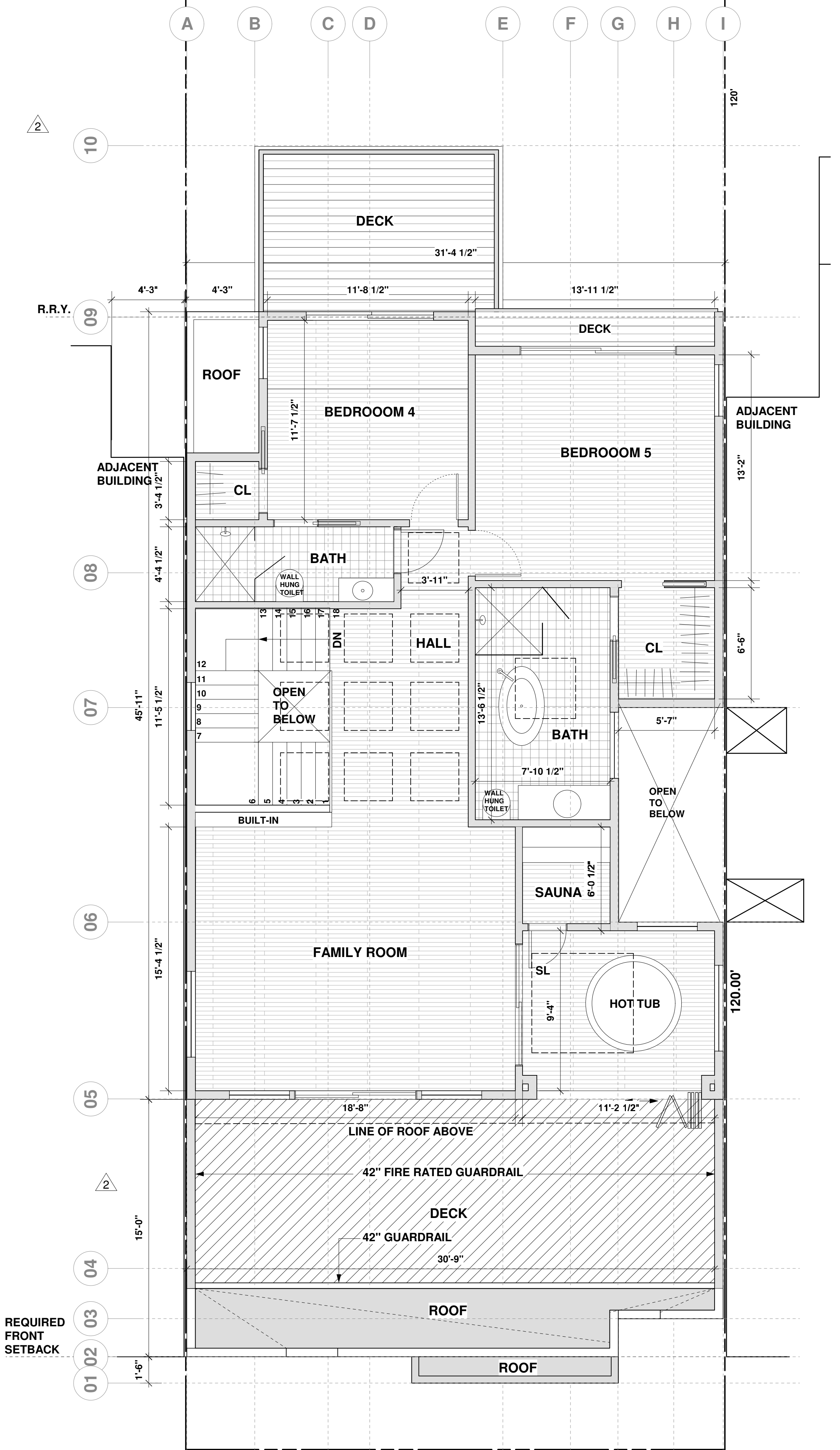
	Project number	150103222	
	Date	08 January, 2015	
	Drawn by	JS	
A102		Scale	SEE DRAWING

WALL LEGEND

- (N) WALLS
- (E) WALLS



3RD FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"
AREA = 1,968 SF



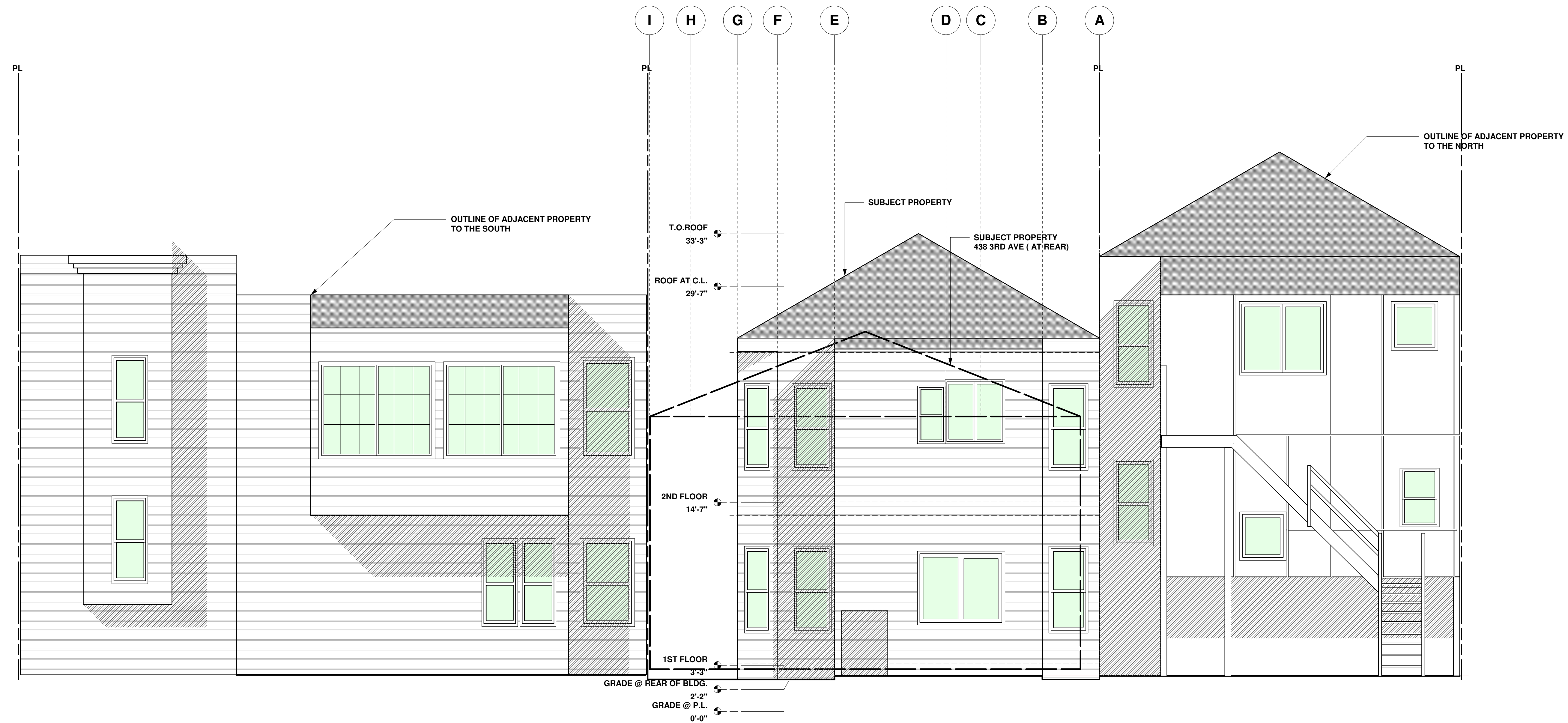
4TH FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"
AREA = 1,294 SF

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	7/22/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

3rd & 4th Flr Plans - N

	Project number	150103222	
	Date	08 January, 2015	
	Drawn by	JS	
A103		Scale	SEE DRAWING



E EAST ELEVATION - EXISTING
SCALE - 1/4" = 1'-0"

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

EAST ELEV -E

	Project number	150103222
	Date	08 January, 2015
Drawn by	RR	
A201		
Seal	Scale	SEE DRAWING



W FRONT ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

WEST ELEVATION - E

	Project number	150103222
	Date	08 January, 2015
Drawn by	JS	
A202		
Seal	Scale SEE DRAWING	



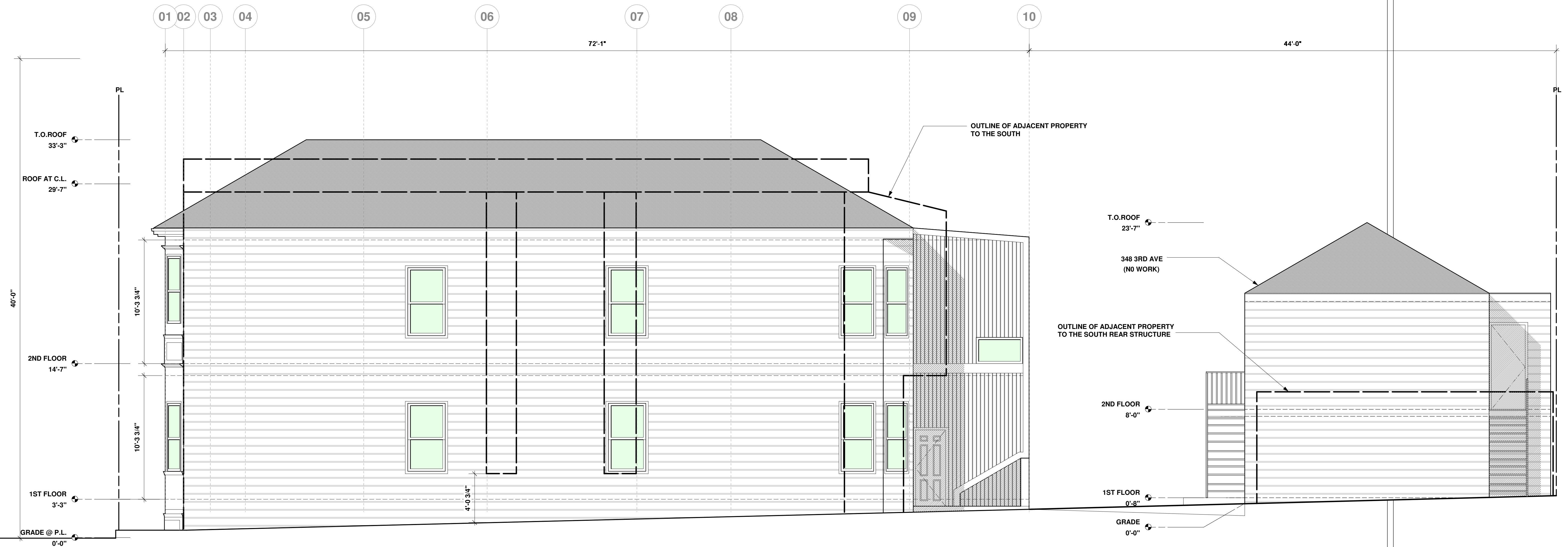
N NORTH ELEVATION - EXISTING
SCALE - 1/4" = 1'-0"

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

NORTH ELEV -E

	Project number	150103222
	Date	08 January, 2015
Drawn by	RR	
A203		
Scale	SEE DRAWING	

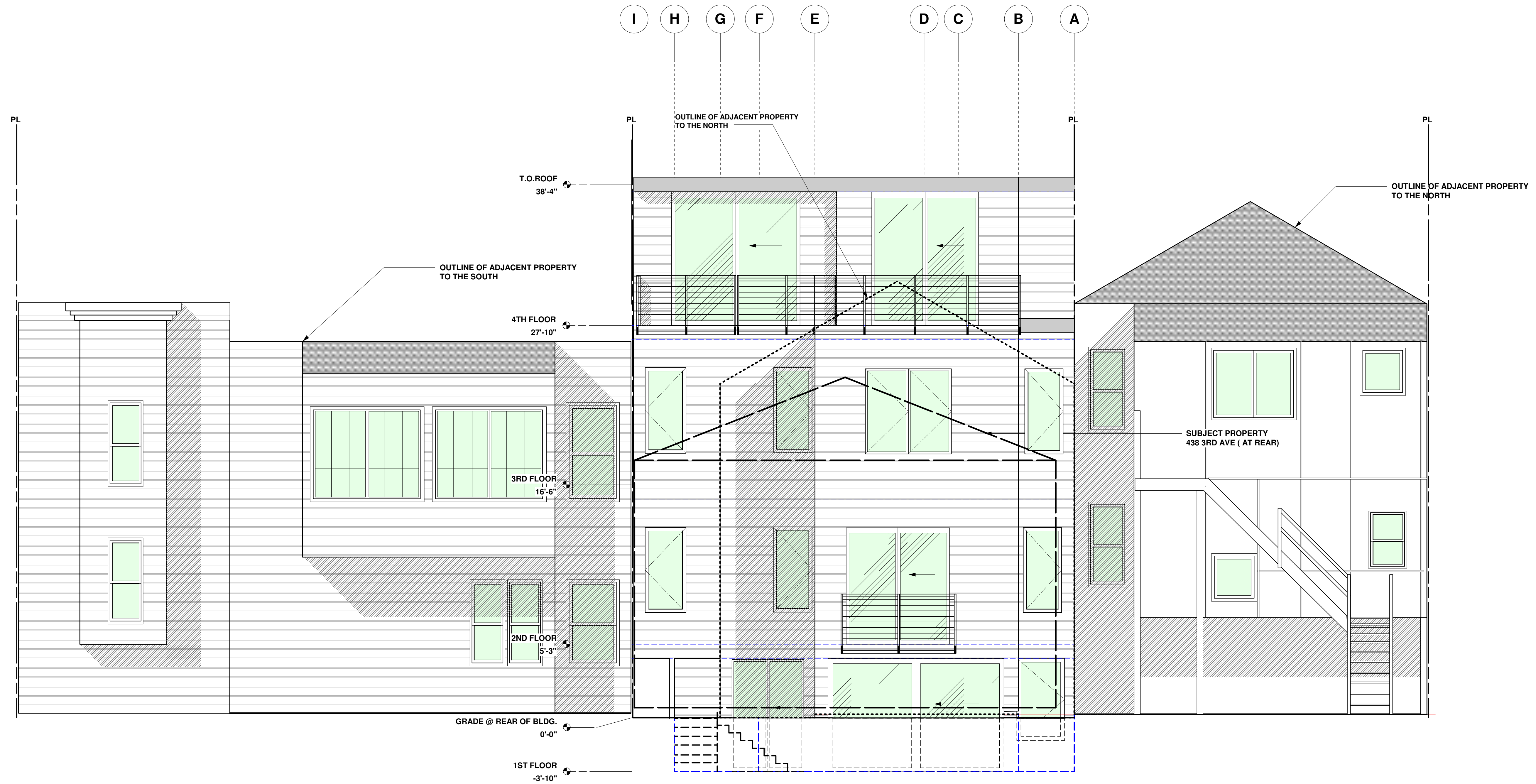


S SOUTH ELEVATION - EXISTING
SCALE - 1/4" = 1'-0"

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO
SOUTH ELEV -E

	Project number	150103222
	Date	08 January, 2015
	Drawn by	RR
A204		Scale
Seal		SEE DRAWING



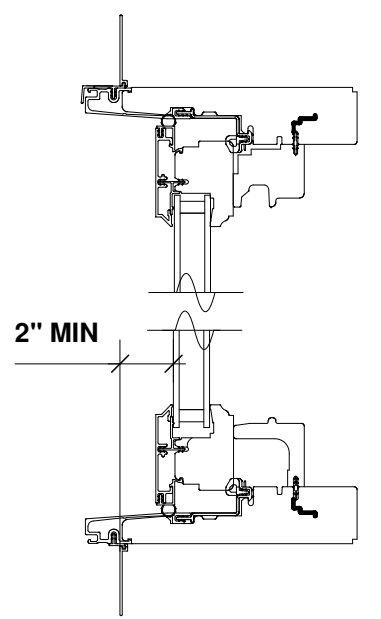
E1 EAST ELEVATION - PROPOSED
SCALE - 1/4" = 1'-0"

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

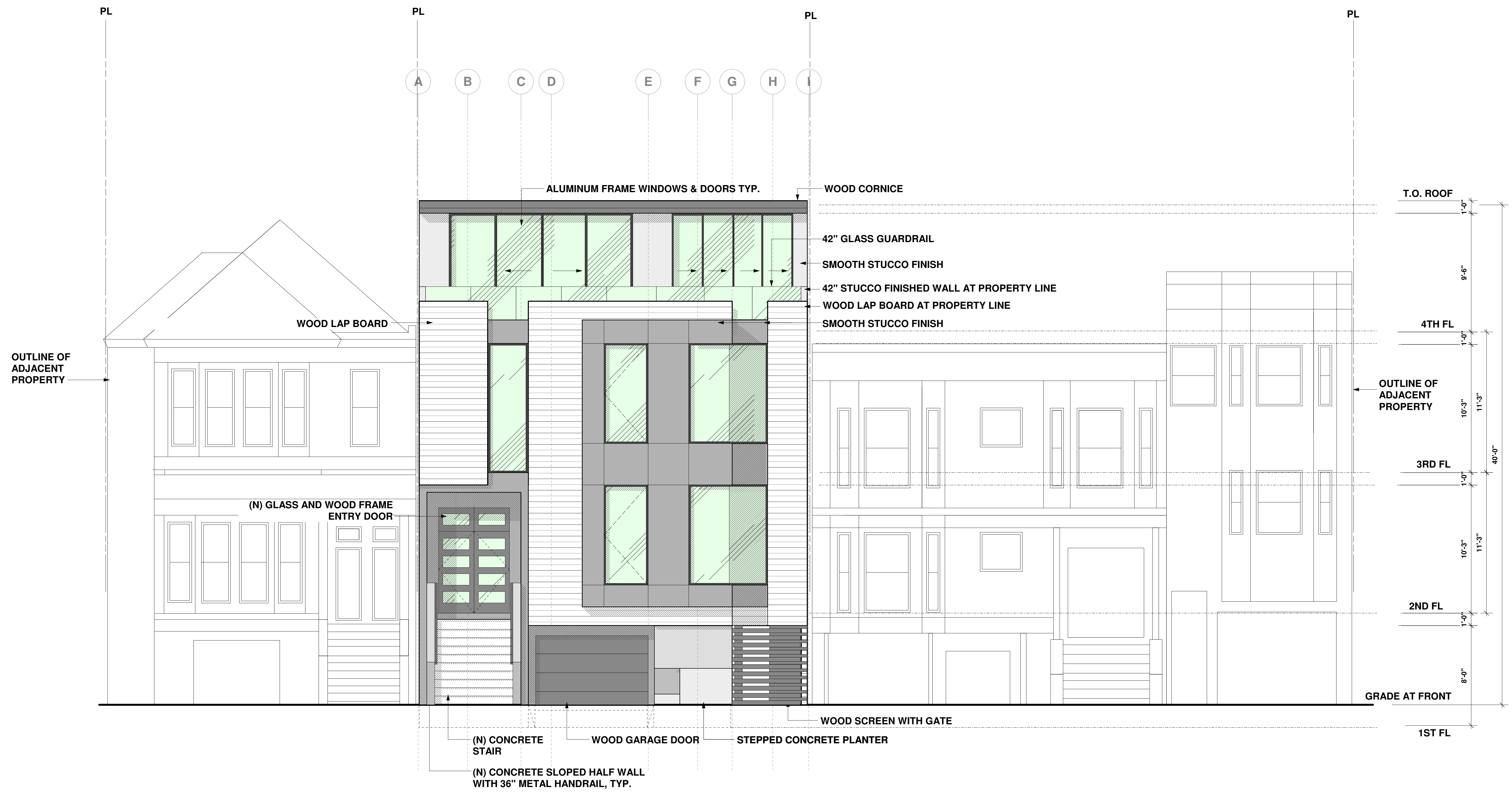
LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

EAST ELEV -N

	Project number	150103222
	Date	08 January, 2015
	Drawn by	RR
		A205
	Scale	SEE DRAWING



TYPICAL WINDOW SECTION
GLAZING RECESSED MINIMUM 2"



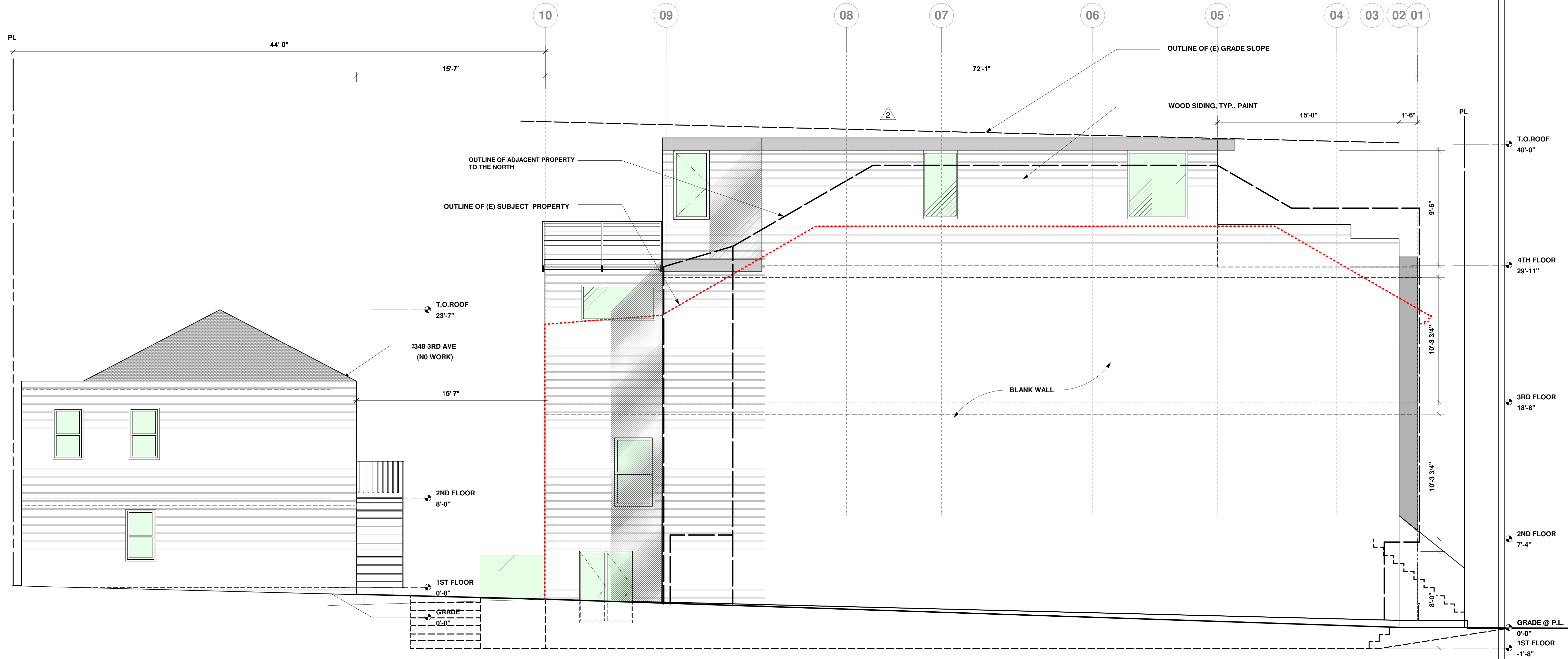
W1 FRONT ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

WEST ELEVATION - N

	Project number	150103222
	Date	08 January, 2015
	Drawn by	JS
A206		
Seal	Scale	SEE DRAWING



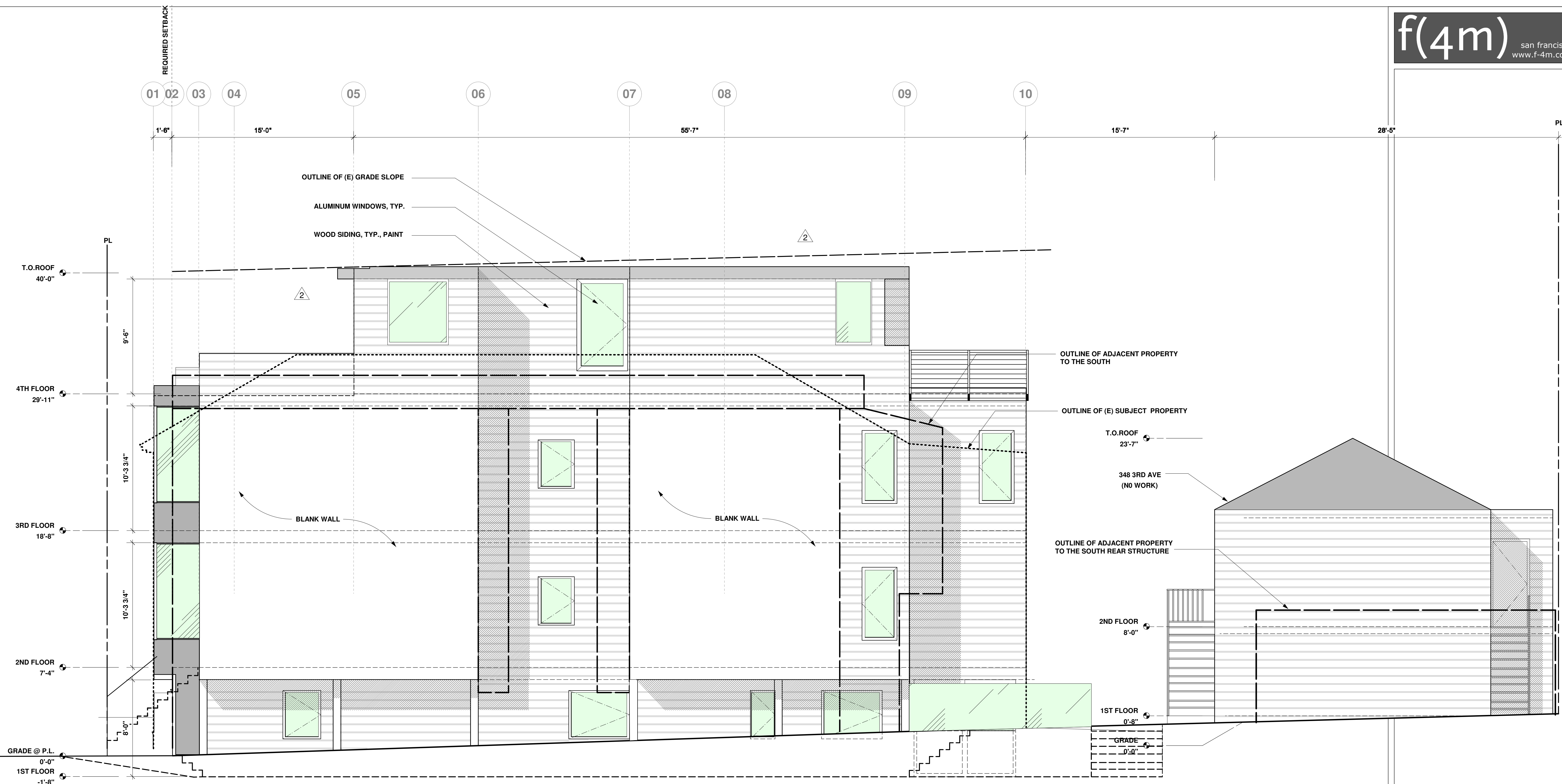
N1 NORTH ELEVATION - PROPOSED
SCALE - 1/4" = 1'-0"

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

NORTH ELEV -N

	Project number	150103222
	Date	08 January, 2015
	Drawn by	RR
	A207	
Seal	Scale	SEE DRAWING



S1 SOUTH ELEVATION - PROPOSED
SCALE - 1/4" = 1'-0"

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

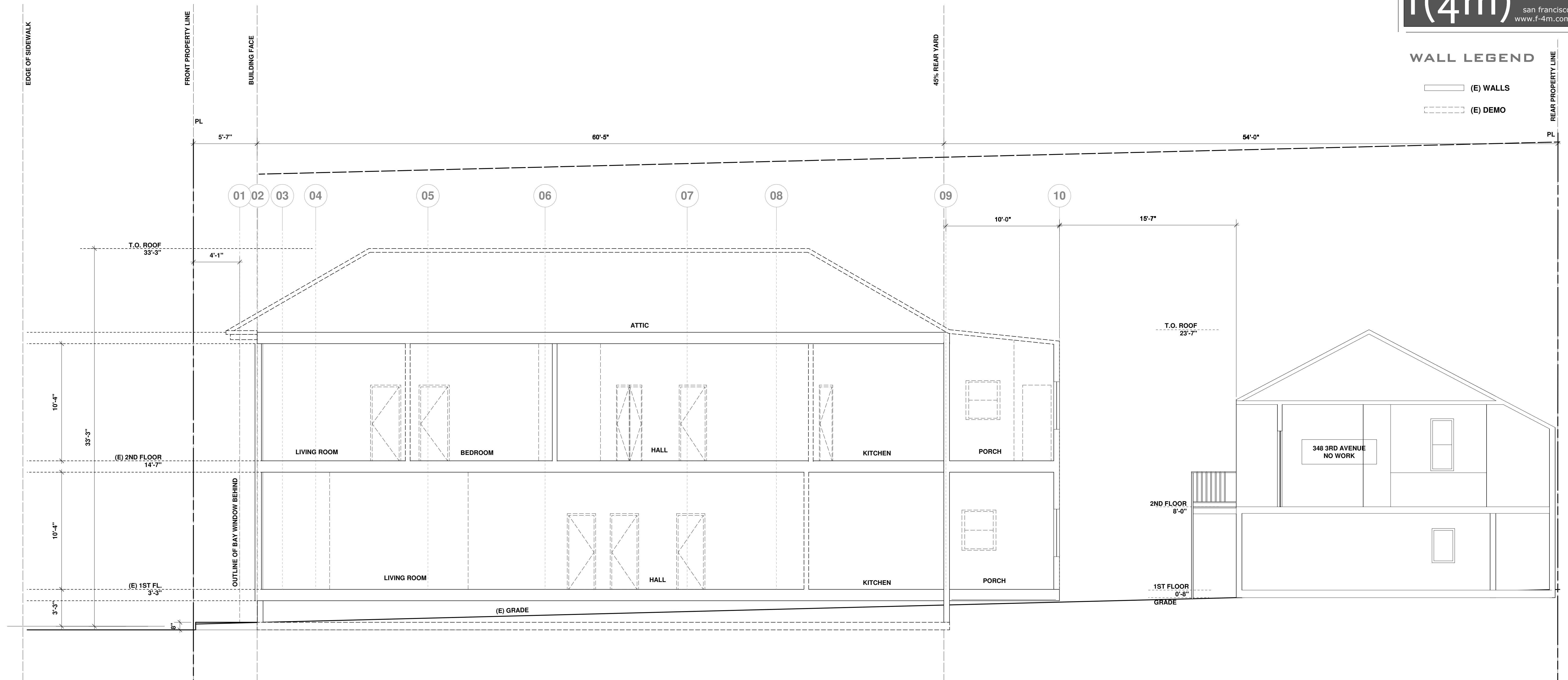
LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

SOUTH ELEV - N

	Project number	150103222
	Date	08 January, 2015
	Drawn by	RR
	A208	
Seal	Scale	SEE DRAWING

WALL LEGEND

- (E) WALLS
- (E) DEMO

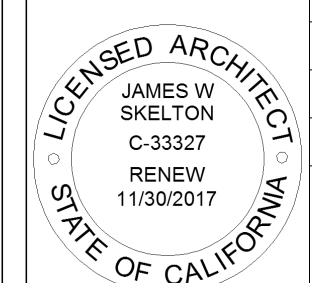


No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

SECTION - E

Project number 150103222
Date 08 January, 2015
Drawn by JS

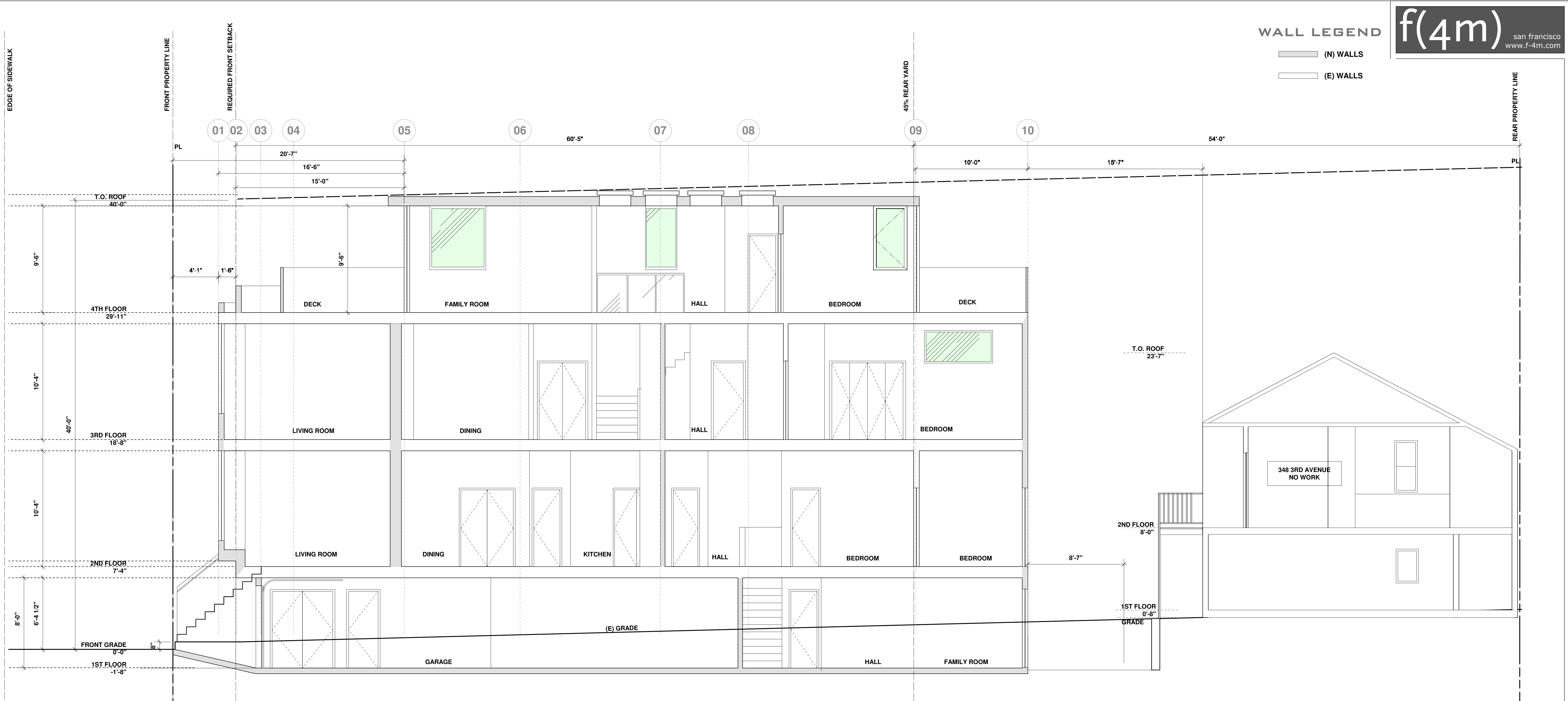


A301

Seal Scale SEE DRAWING

WALL LEGEND

- (N) WALLS
- (E) WALLS



A1 SECTION - PROPOSED
SCALE: 1/4" = 1'-0"

No.	Description	Date
A	SITE PERMIT SUBMITTAL	4/12/15
B	DEMOLITION & VARIANCE SUBMITTAL	7/22/15
1	PLANNING COMMENTS-DEMO CALCS	2/12/16
2	PLANNING COMMENTS	4/11/16
3	PLANNING COMMENTS	5/02/16

LUU RESIDENCE
434 3RD AVENUE
SAN FRANCISCO

SECTION - N

Project number	150103222
Date	08 January, 2015
Drawn by	JS

JAMES W. SKELTON
C-33327
RENEW
11/30/2017
STATE OF CALIFORNIA

A302

Scale SEE DRAWING