MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St. Suite 400 San Francisco, CA 94103-2479

Reception: 415.558.6378

Fax: 415.558.6409

Planning Information: 415.558.6377

NOTICE OF PUBLIC HEARING

Hearing Date: Wednesday, February 22, 2017

Time: Not before 9:30 AM

Location: City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408

Case Type: Variance (Rear Yard)
Hearing Body: Zoning Administrator

PROPERTY INFORMATION A

1649 Washington Street

Cross Street(s): Polk St. / Larkin St.

Block /Lot No.: **0620 / 024**Zoning District(s): **RM-2 / 65-A**

Area Plan: N/A

Project Address:

APPLICATION INFORMATION

Case No.: **2015-003259VAR**Building Permit: **2015.03.06.0160**

Applicant: Roy Grant Telephone: (650) 465-2275

E-Mail: <u>1649washington@gmail.com</u>

PROJECT DESCRIPTION

The proposal seeks to legalize a 3-story deck structure that was built without permit.

PER PLANNING CODE SECTION 134, the subject property is required to maintain a rear yard of approximately 49 feet. A 1-story popout structure with deck above was constructed with permit, and then subsequently an additional 3-story deck (two additional floor levels of decking) was constructed without permit above the popout, and does not conform to the listed permitted obstructions in Section 136. This project seeks to legalize this deck structure; therefore a variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: http://notice.sfplanning.org/2015-003259VAR.pdf

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: Andrew Perry Telephone: (415) 575-9017 E-Mail: andrew.perry@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible. Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

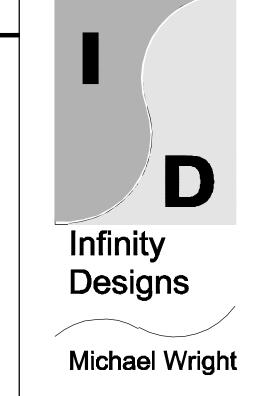
Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

EXISTING EXTERIOR DECK 1649-57 WASHINGTON ST. SAN FRANCISCO, CALIFORNIA

DRAWING INDEX

COVER SHEET- PROJECT DATA DECK PLANS

SITE PLAN & PRE-APPLICATION LETTER **BUILDING ELEVATIONS**



MULTI-FAMILY

VICINITY MAP	BUILDING INFORMATION		LEGEND
Vallejo St Vallejo St Vallejo St Broadway	BUILDING TYPE OCCUPANCY	V-B, SPRINKLERED R-2	DETAIL REFERENCE DETAIL REFERENCE (E) CHAINLINK FENCE (E) WD. FENCE (E) WALL (E) WALL (E) WALL TO BE DEMOLISHED
Pacific Ave Pacif	ZONING	RM-2	SHEET NOTE DOOR NUMBER (N) WALL- 2X WD. SIDDS & 16 O.C., TYP. COOLER WALL, BY: OTHERS ALUMINUM STOREFRONT SYSTEM
Consulate General Gene	A.P.N.	BLOCK: 0620 LOT: 024	# REVISION NUMBER (N) 1 HR. WALL THE HETELETHE (N) PONY WALL @ 5'-6" A.F.F., MAX. (N) BEAM
Washington St Washin	CODES & STANDARDS	PROJECT DIRECTORY	(E) CONTOUR
Clay St Clay St Clay St Clay St Lafayette Park Clay St Clay St Clay St Clay St Clay St Clay St LocaTion Sacramento St Sacramento St Sacramento St Sacramento St Sacramento St California	2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA FIRE CODE 2013 ENERGY EFFICIENCY STANDARDS FEDERAL 28 CFR PART-36 OTHER LOCAL & STATE LAWS		(E) SANITARY SEWER MANHOLE (E) STORM DRAIN MANHOLE CHRISTY BOX STORM DRAIN LINE SANITARY SEWER LINE (N) DRAIN PIPE (E) SANITARY SEWER (S) (N) DRAIN PIPE (N) PROJECT DATA
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DS. DOWNSPOUT INTO. INFORMATION RGTR. REGISTER WW.F. WELDED WIRE FABRIC D.S.T. DRY STANDPIPE INSEL INSELATION RM. ROOM DWG. DRAWING INT. INTERIOR RMV. REMOVE & AND DWR. DRAWER ISO. ISOMETRIC RND. ROUND L ANGLE E. EXSTING J. JOINST R.S. ROUGH SAWN \$ E. EXST JAN. JANITOR RWD. REDWOOD # EA EACH JEN. JOINST R.W. REDWOOD # POUND OR NUMBER R.W.L. RAIN WATER LEADER 1 JAN. JANITOR RWD. REDWOOD # POUND OR NUMBER	FIRESTOPPED TO MATCH THE RATING OF THE ASSEMBLY USING 3M FIRESTOPPING MATERIAL ALL FIRESTOPPING SHALL BE INSTALLED BY A 3M CERTIFIED INSTALLER. PROVIDE CUT SHEET INFO ON PLANS FOR FIRE STOPPING.	PROPOSED PROJECT WHICH IS NO USE CHANGE, THERE ARE STRUCTURAL CHANGES OR WORK IN THE PROJECT SCOPE. FRAMED PER CONVENTIONAL FRAMING METHODS.	LEGINEIZE ENTOTHING DEGIN HINTHENTI. THOUBE THE ACCEPTED TO WITH HIN O OF THOUSENIE
E.G. EXISTING GRADE E.I.F.S. EXT. INSULATING FINISH SYSTEM K. KITCHEN E.I. EXPANSION JOINT K.O. KNOCKOUT S.S.M.H. SANITARY SEWER MANHOLE COVER EI. ELEVATION K.PL KICK PLATE SAN. SANITARY EI.C. ELEVATION C.P. S.C. SOULD COSE	INTERIOR ENVIRONMENT	DEFERRED SUBMITTALS	
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1649-57 WASHINGTON ST **EXISTING REAR DECK**

HEALTH DEPT. SUBMITTAL HEALTH DEPT. CLEARANCE PERMIT SUBMITTAL 12.02.16 PERMIT CLEARANCE CONSTRUCTION ISSUE

CS1.0

August 12, 2014 Insert on stationary

Yan Yan Chew, DBI & Ketty Fedigan, Fire Department of Building Inspection

Department of Building Inspection 1660 Mission Street, 2nd Floor

San Francisco, CA 94103

PROJECT: 1649-1657 Washington, San Francisco, BLOCK 0620, LOT 024

SUBJECT: Pre-Application Response Letter

The attached memo provides background information regarding the existing conditions, nonpermitted work beyond what was shown on Permit #2008-07-01-5782S, which expired before receiving a final sign-off.

The Planning Department has already approved the legalization of the current conditions during a Project Review meeting with Kanishka Burns on June 10, 2014. Due to the Planning Department backlog, she has requested that we submit the permit application and drawings to intake at OBI, which show the existing conditions and direct the intake clerk to route them directly to her around Mid-August.

Before we submit the as-built drawings including details of the connections, as a permit application, we want to review the situation with DBI for their comments. The HOA has previously talked with Joseph Duffy, Norman Gutierrez, Edward Donnelly and John Hinchion at DBI about this awkward situation.

Existing Building:

The subject building is a three story over a basement, Type VA construction building, which was originally remodeled in 2008-09 with permits, including the permit listed above.

The Tenant-in-Common Owners seeks to legalize the current conditions of the 3-story rear yard deck and resolve the NOVs, expired permits and claims against the developer.

ISSUE ONE: Define D8I direction to legalize the completed work (See Attachment A)
Please clarify, if alterations to the existing rear decks are required. See attached memo + documents and photos, Attachment A.

RESPONSE:

- We should provide a complete set of as-built drawings of the existing conditions.
 We should provide a complete set of structural calculations to justify the existing framing and connections and show they meet the structural requirements for the 2013 CBC. The calculations shall include the retaining wall, which supports the deck posts.
 We should show any new work required to meet the calculations in the permit set, which will eventually be filed for the non-permitted work.
- We shall add a copy of the original permit for the lower deck and a copy of the 2008 building unit remodeling permits for the main building to the new permit application set and mark them, as reference drawings.
- 5. For the parts of the deck within 5 feet of the property line, we will need to add new construction to the existing deck, including 42 inch high 1-HR rated guardrails parallel to the property lines at the East and West sides of the deck, 1-HR (2 layers of Type "X" exterior rated gyp wallboard) rated construction at the underside of all deck froming within 5 feet of the property line and 2-layers of Type "X" exterior gyp wallboard or equal around any post within 5 feet of the property line. We cannot use sprinklers as a substitute for the deck construction, which is less than 5 feet from the property line.

ISSUE TWO: Define the procedures for the legalization with DBI. RESPONSE:

- 6. Once we have a complete set of drawings and calculations showing compliance to the requirements above, then we shall file them for a new building permit. After they are approved then the existing and new work will be inspected by DBI per normal procedures.
- It is understood that the new permit application, drawings and calculations are subject to plan review and compliance with the current code.
- 8. Once the Job Card is signed off, then this permit will legalize the expired original deck permit and the non-permitted 2nd and 3nd level decks.

Thank you for your review of these issues. Please contact me at the number listed above to arrange this meeting.

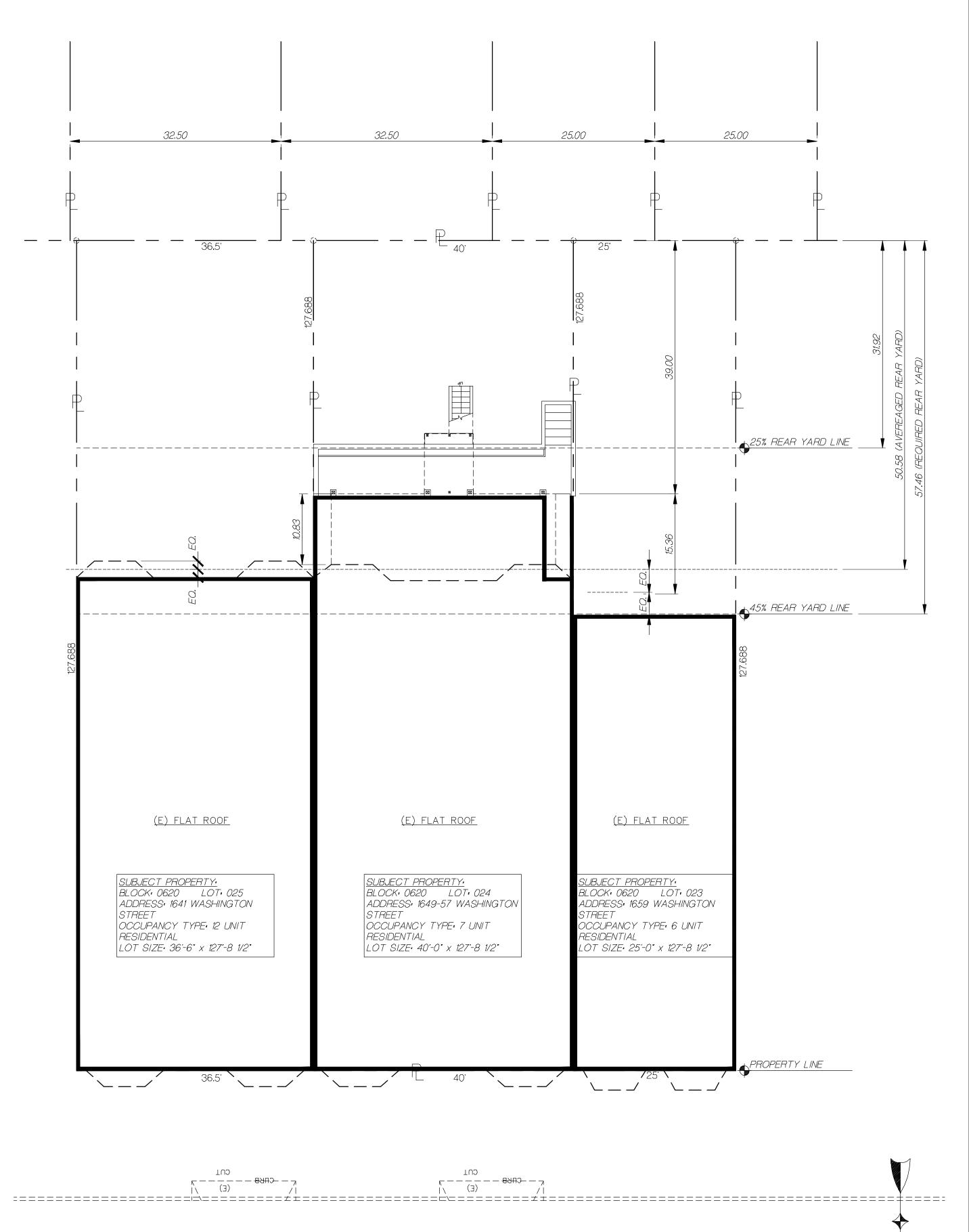
Sincerefy, John Winder

Wary Tap Chew, DBI Date Ketty Fedigan, SFFD Date

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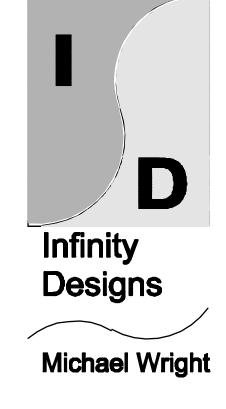
Comply with code. Subject to plancheck

PRE-APPLIATION LETTER SCALE: NTS



SITE PLAN

SCALE: 1"=10'



XISTING REAR DECK 649-57 WASHINGTON ST. AN FRANCISCO, CA

HEALTH DEPT. SUBMITTAL
HEALTH DEPT. CLEARANCE

PERMIT SUBMITTAL
12.02.16
PERMIT CLEARANCE

BID ISSUE:

REVISIONS
DATE PHASE

CONSTRUCTION ISSUE

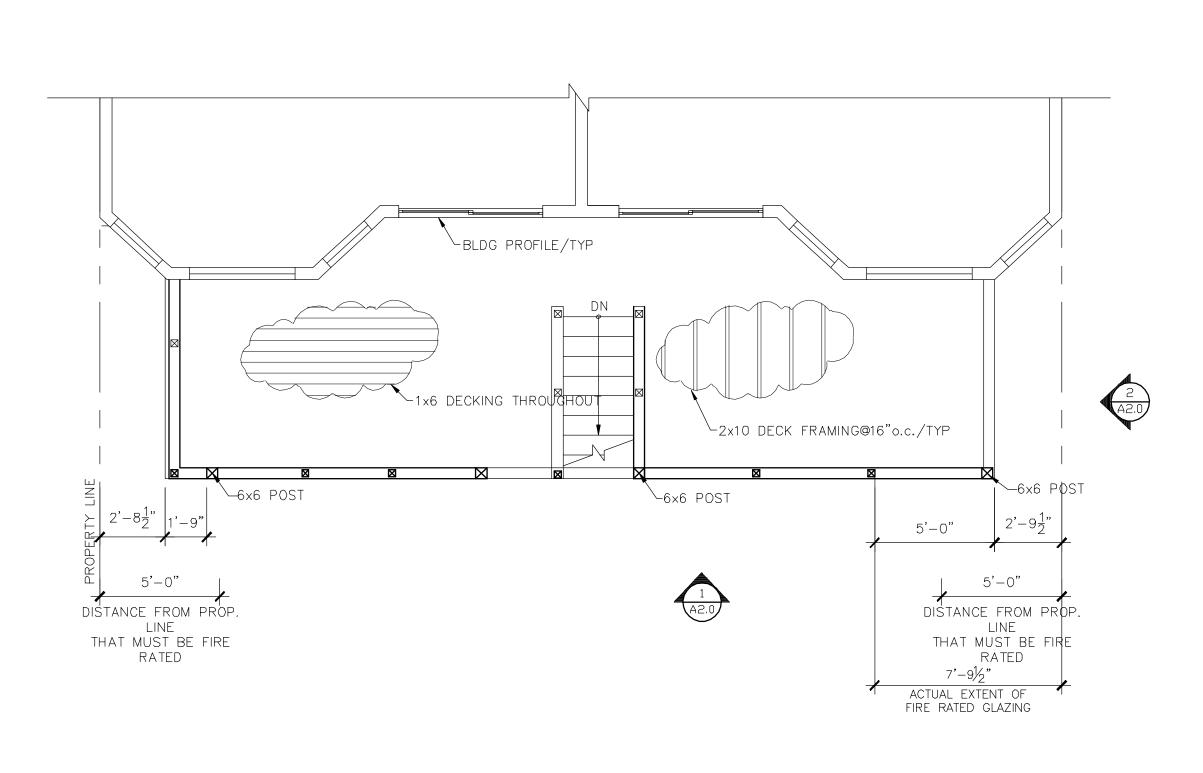
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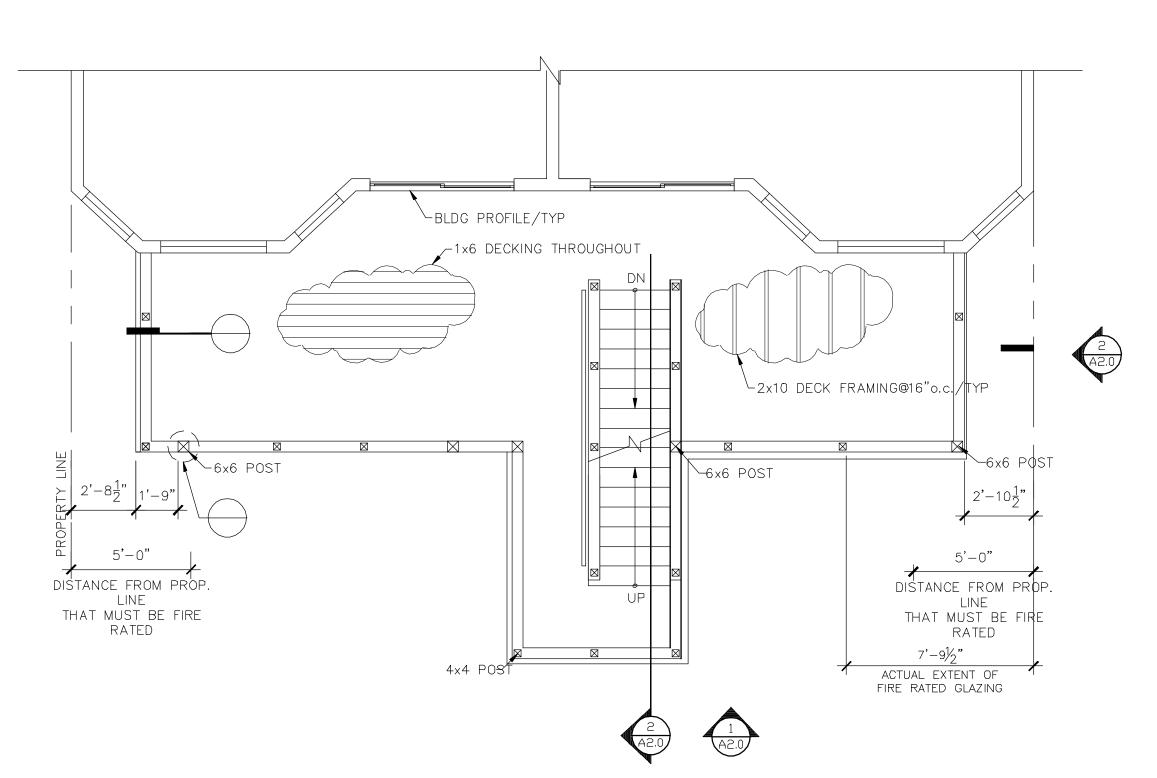
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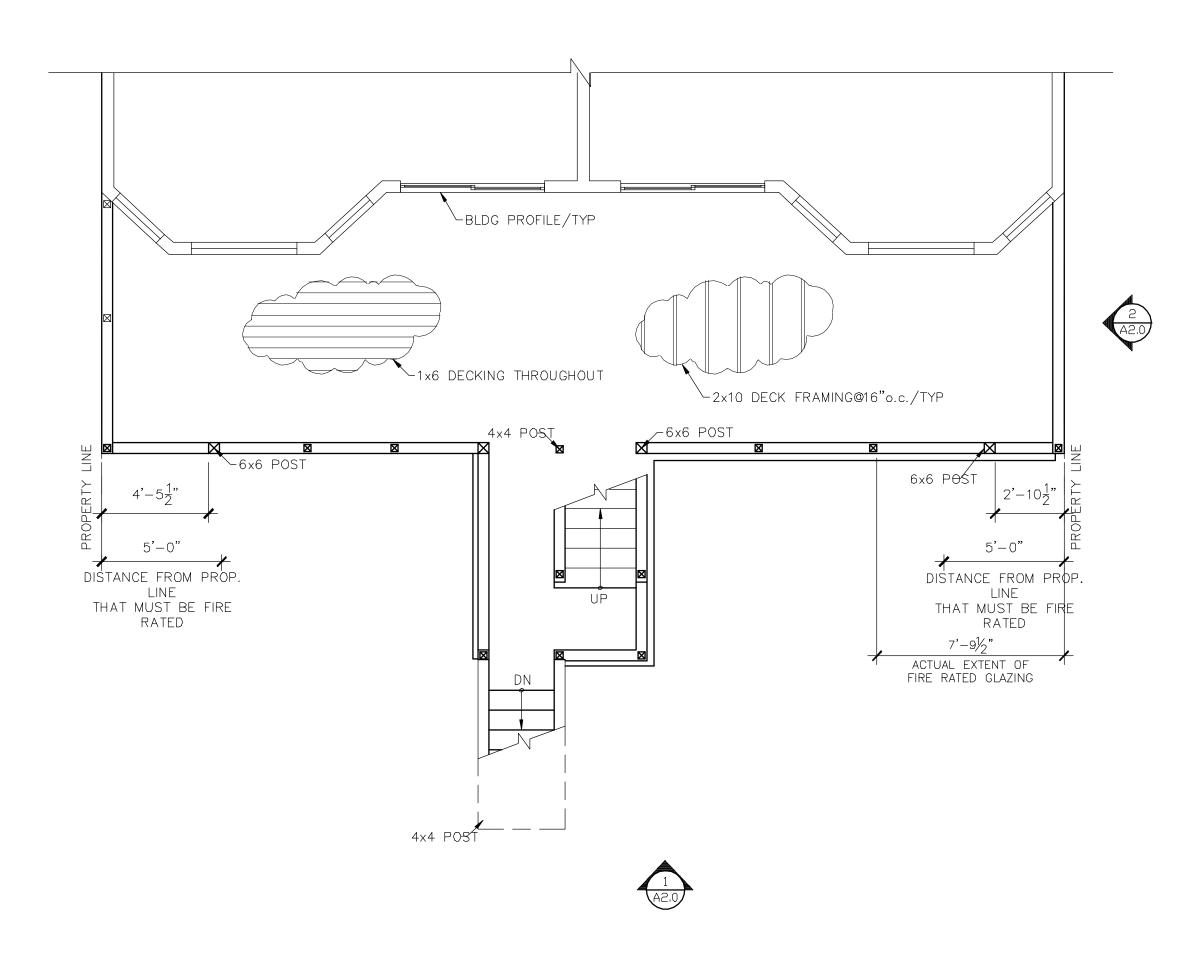
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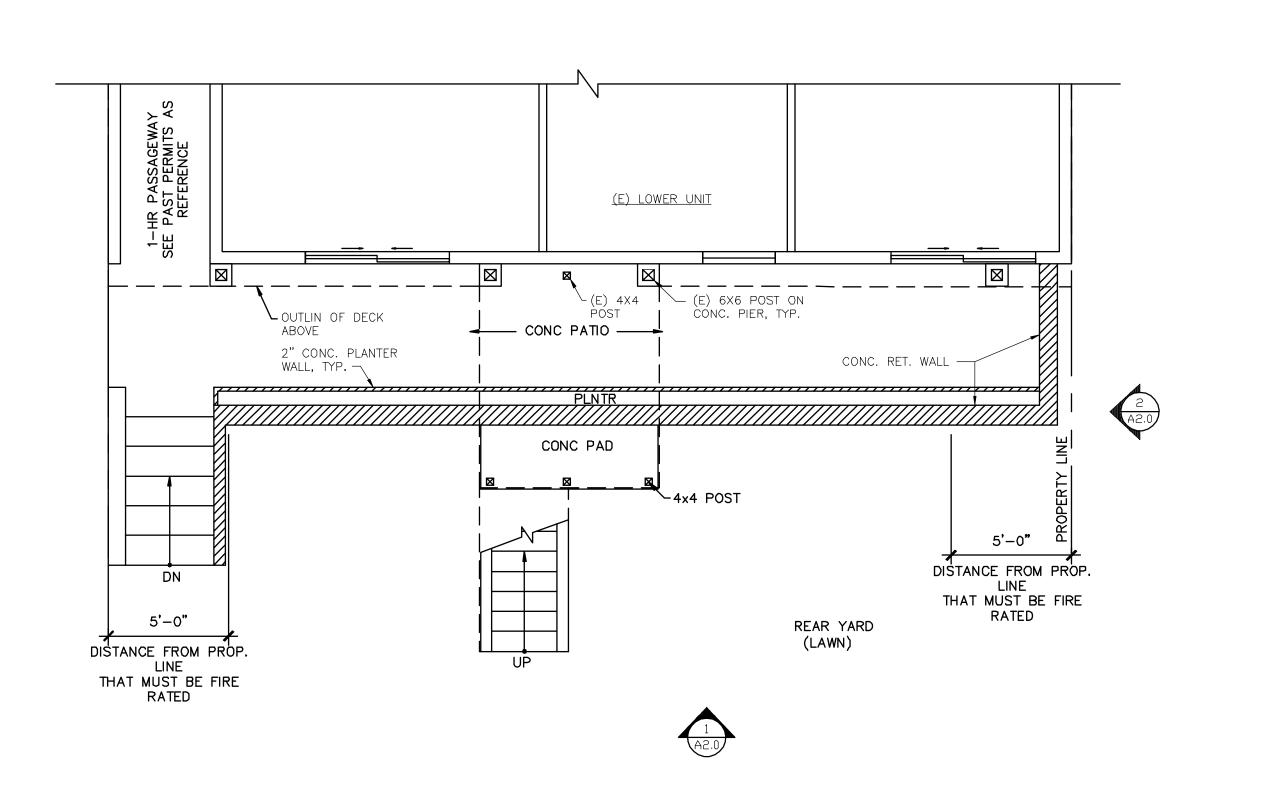




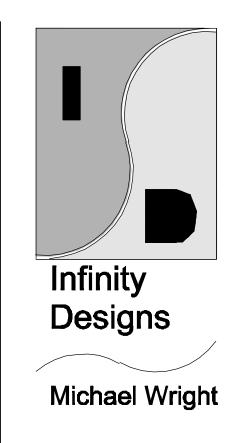
3 EXISTING & PROPOSED SECOND FLOOR DECK PLAN scale: 1/4"=1'-0"



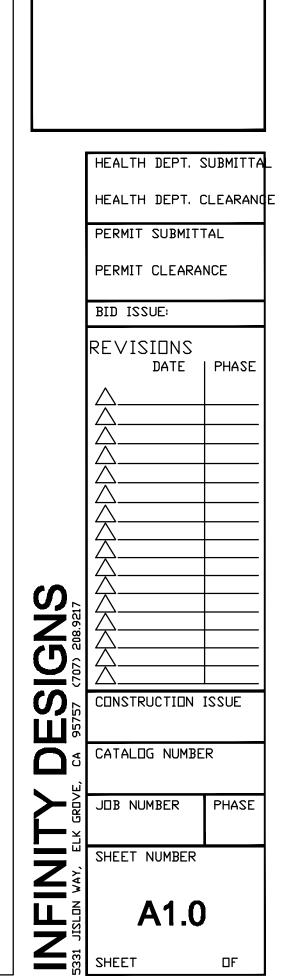
2 EXISTING & PROPOSED FIRST FLOOR DECK PLAN scale: 1/4"=1'-0"

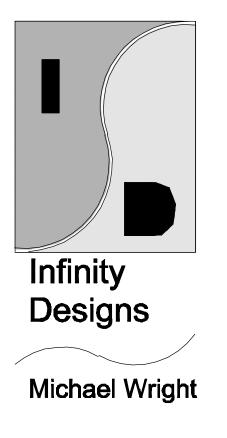


1 EXISTING & PRPOSED BASEMENT LEVEL PLAN scale: 1/4"=1'-0"



EXISTING REAR DECK 1649-57 WASHINGTON ST. SAN FRANCISCO, CA





EXISTING REAR DECK 1649-57 WASHINGTON ST. SAN FRANCISCO, CA

