



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, January 25, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1228 Folsom Street	Case No.: 2014.0964VAR
Cross Streets: 8th & 9th Streets	Building Permit: 2014.09.25.8131
Block /Lot No.: 3729/011,037, 038	Applicant: Riyad Ghannam
Zoning Districts: Folsom Street NCT & RED-MX / 45-X & 65-X	Telephone: (415) 649-6202
	E-Mail: riyad@rg-architecture.com

PROJECT DESCRIPTION

The proposed project is to demolish three industrial warehouse buildings and construct a four- and-six-story residential building (measuring approximately 29,272 gsf), 45-ft in height along Clementina Street and 65-ft along Folsom Street, with 24 dwelling units, 15 below-grade off-street parking spaces, 25 Class 1, and 3 Class 2 bicycle parking spaces. The project is also seeking a Large Project Authorization from the Planning Commission.

PER SECTION 136 OF THE PLANNING CODE each bay window over a street is required to be horizontally separated from interior lot lines by not less than one foot at the line establishing the required open area, with such separation increased in proportion to the distance from such line by means of a 135-degree angle drawn outward from such one-foot dimension, reaching a minimum of four feet along a line parallel to and at a distance of three feet from the line establishing the required open area. Additionally, the minimum horizontal separation between bay windows, is required to be no less than two feet at the line establishing the required open area, and shall be increased in proportion to the distance from such line by means of 135-degree angles drawn outward from the ends of such two-foot dimension, reaching a minimum of eight feet along a line parallel to and at a distance of three feet from the line establishing the required open area. The proposed bay windows do not meet the bay window separation requirements for permitted obstructions; therefore, a variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2014.0964VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

Planner: **Jonathan DiSalvo** Telephone: **(415) 575-9182** E-Mail: jonathan.disalvo@sfgov.org

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **On December 16, 2016, the Department issued the required Section 311/312 notification for this project (expires January 5, 2017)**

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

1228 Folsom Street, San Francisco

24 Residential Dwelling Units, 1 Commercial Unit



FOLSOM STREET



CLEMENTINA STREET

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rg-architecture

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REVISIONS

NO.	DATE	ISSUE
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05/24/16		LARGE PROJECT AUTHORIZATION
09/15/16		LPA - RESPONSE TO NOPDR 1 & 2
12/20/16		LPA - MINOR REVISIONS

ISSUE
12/20/16 LPA- MINOR REVISIONS

OWNER
1228 Folsom St. LLC

1228 Folsom Street

1228 Folsom Street
San Francisco, CA 94103

SCALE
AS NOTED
DRAWN BY
MA/TG
CHECKED BY
RG
PROJECT NO.
201310
DATE
12/20/16

COVER SHEET

DRAWING NO. 1 of 24

G0.00

VICINITY MAP



1 BIRDS EYE VIEW TO FOLSOM STREET ELEVATION



2 BIRDS EYE VIEW TO CLEMENTINA STREET ELEVATION



3 CLEMENTINA STREET ELEVATION



SATELLITE VIEW



4 FOLSOM STREET ELEVATION



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SITE CONTEXT

DRAWING NO. 4 of 24

G0.03

Green Building: Site Permit Submittal

BASIC INFORMATION:

These facts, plus the primary occupancy, determine which requirements apply. For details, see AB 093 Attachment A Table 1.

Project Name 1228 FOLSOM ST	Block/Lot 3729/ 011 / 038 / 039	Address 1228 FOLSOM ST SAN FRANCISCO, CA 94103
Gross Project Area	Primary Occupancy RESIDENTIAL	Number of occupied floors 6 FLOORS AND ROOF
Design Professional/Applicant: Sign & Date 		09.25.15

Instructions:

As part of application for site permit, this form acknowledges the specific green building requirements that apply to a project under San Francisco Green Building Code, California Title 24 Part 11, and related codes. Attachment C3, C4, C5, C6, C7, or C8 will be due with the applicable addendum. To use the form:

(a) Provide basic information about the project in the box at left. This info determines which green building requirements apply.

AND

(b) Indicate in one of the columns below which type of project is proposed. If applicable, fill in the blank lines below to identify the number of points the project must meet or exceed. A LEED or GreenPoint checklist is not required to be submitted with the site permit application, but using such tools as early as possible is strongly recommended.

Solid circles in the column indicate mandatory measures required by state and local codes. For projects applying LEED or GreenPoint Rated, prerequisites of those systems are mandatory. See relevant codes for details.

ALL PROJECTS, AS APPLICABLE	
Construction activity stormwater pollution prevention and site runoff controls - Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	●
Stormwater Control Plan: Projects disturbing ≥5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines	●
Water Efficient Irrigation - Projects that include ≥ 1,000 square feet of new or modified landscape must comply with the SFPUC Water Efficient Irrigation Ordinance.	●
Construction Waste Management – Comply with the San Francisco Construction & Demolition Debris Ordinance	●
Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. See Administrative Bulletin 088 for details.	●

GREENPOINT RATED PROJECTS	
Proposing a GreenPoint Rated Project (Indicate at right by checking the box.)	X
Base number of required Greenpoints:	75
Adjustment for retention / demolition of historic features / building:	
Final number of required points (base number +/- adjustment)	
GreenPoint Rated (i.e. meets all prerequisites)	●
Energy Efficiency: Demonstrate a 10% energy use reduction compared to Title 24, Part 6 (2013).	●
Meet all California Green Building Standards Code requirements (CalGreen measures for residential projects have been integrated into the GreenPoint Rated system.)	●

Notes

- 1) New residential projects of 4 or more occupied floors must use the "New Residential High-Rise" column. New residential with 3 or fewer occupied floors must use the "New Residential Low Rise" column.
- 2) LEED for Homes Mid-Rise projects must meet the "Silver" standard, including all prerequisites. The number of points required to achieve Silver depends on unit size. See LEED for Homes Mid-Rise Rating System to confirm the base number of points required.

LEED PROJECTS						
Type of Project Proposed (Indicate at right)	New Large Commercial	New Low Rise Residential	New High Rise Residential	Large First Time Commercial Interior	Commercial Major Alteration	Residential Major Alteration
Overall Requirements:						
LEED certification level (includes prerequisites):	GOLD	SILVER	SILVER	GOLD	GOLD	GOLD
Base number of required points:	60	2	50	60	60	60
Adjustment for retention / demolition of historic features / building:				n/a		
Final number of required points (base number +/- adjustment)				50		
Specific Requirements: (n/r indicates a measure is not required)						
Construction Waste Management – 75% Diversion AND comply with San Francisco Construction & Demolition Debris Ordinance - LEED MR 2, 2 points	●	●	●	●	Meet C&D ordinance only	●
Energy Use Comply with California Title-24 Part 6 (2013) and meet LEED minimum energy performance (LEED EA p2)	●	LEED prerequisite	●	●	LEED prerequisite only	
Renewable Energy or Enhanced Energy Efficiency Effective 1/1/2012: Generate renewable energy on-site ≥1% of total annual energy cost (LEED EAc2), OR Demonstrate at least 10% energy use reduction (compared to Title 24 Part 6 2013), OR Purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EAc6).	●	n/r	n/r	n/r	n/r	n/r
Enhanced Commissioning of Building Energy Systems LEED EA 3	●	Meet LEED prerequisites				
Water Use - 30% Reduction LEED WE 3, 2 points	●	Meet LEED prerequisite	●	Meet LEED prerequisite		
Enhanced Refrigerant Management LEED EA 4	●	n/r	n/r	●	●	n/r
Indoor Air Quality Management Plan LEED IEQ 3.1	●	CalGreen 4.504.1	CalGreen 4.504.1	CalGreen 5.504.3	CalGreen 5.504.3	CalGreen 4.504.1
Low-Emitting Materials LEED IEQ 4.1, 4.2, 4.3, and 4.4	●	●	●	●	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater, or meet LEED credit SSC4.2.	●	See San Francisco Planning Code 155			●	See San Francisco Planning Code 155
Designated parking: Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.	●			●	n/r	n/r
Water Meters: Provide submeters for spaces projected to consume more than 1,000 gal/day, or more than 100 gal/day if in building over 50,000 sq. ft.	●	n/r	n/r	●	●	n/r
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings (or LEED credit IEQ 5).	●	n/r	n/r	●	●	n/r
Air Filtration: Provide MERV-13 filters in residential buildings in air-quality hot-spots (or LEED credit IEQ 5). (SF Health Code Article 38 and SF Building Code 1203.5)	n/r	●	●	n/r	n/r	●
Acoustical Control: wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.	●	See CBC 1207		●	●	n/r

OTHER APPLICABLE NON-RESIDENTIAL PROJECTS		
Type of Project Proposed (Check box if applicable)	Other New Non-Residential	Addition ≥1,000 sq ft OR Alteration ≥\$200,000 ³
Energy Efficiency: Comply with California Energy Code, Title 24, Part 6 (2013).	●	●
Bicycle parking: Provide short-term and long-term bicycle parking for 5% of total motorized parking capacity each, or meet San Francisco Planning Code Sec 155, whichever is greater (or LEED credit SSC4.2).	●	●
Fuel efficient vehicle and carpool parking: Provide stall marking for low-emitting, fuel efficient, and carpool/van pool vehicles; approximately 8% of total spaces.	●	●
Water Meters: Provide submeters for spaces projected to consume >1,000 gal/day, or >100 gal/day if in buildings over 50,000 sq. ft.	●	Addition only
Indoor Water Efficiency: Reduce overall use of potable water within the building by 20% for showerheads, lavatories, kitchen faucets, wash fountains, water closets, and urinals.	●	●
Commissioning: For new buildings greater than 10,000 square feet, commissioning shall be included in the design and construction of the project to verify that the building systems and components meet the owner's project requirements. OR for buildings less than 10,000 square feet, testing and adjusting of systems is required.	●	●
Protect duct openings and mechanical equipment during construction	●	●
Adhesives, sealants, and caulks: Comply with VOC limits in SCAQMD Rule 1168 VOC limits and California Code of Regulations Title 17 for aerosol adhesives.	●	●
Paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints.	●	●
Carpet: All carpet must meet one of the following: 1. Carpet and Rug Institute Green Label Plus Program, 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350), 3. NSF/ANSI 140 at the Gold level, 4. Scientific Certifications Systems Sustainable Choice, OR 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.	●	●
Composite wood: Meet CARB Air Toxics Control Measure for Composite Wood	●	●
Resilient flooring systems: For 80% of floor area receiving resilient flooring, install resilient flooring complying with the VOC-emission limits defined in the 2009 Collaborative for High Performance Schools (CHPS) criteria or certified under the Resilient Floor Covering Institute (RFCI) FloorScore program.	●	●
Environmental Tobacco Smoke: Prohibit smoking within 25 feet of building entries, outdoor air intakes, and operable windows.	●	●
Air Filtration: Provide at least MERV-8 filters in regularly occupied spaces of mechanically ventilated buildings.	●	●
Acoustical Control: Wall and roof-ceilings STC 50, exterior windows STC 30, party walls and floor-ceilings STC 40.	●	●
CFCs and Halons: Do not install equipment that contains CFCs or Halons.	●	●
Additional Requirements for New A, B, I, OR M Occupancy Projects 5,000 - 25,000 Square Feet		
Construction Waste Management – Divert 75% of construction and demolition debris AND comply with San Francisco Construction & Demolition Debris Ordinance.	●	Meet C&D ordinance only
Renewable Energy or Enhanced Energy Efficiency Effective January 1, 2012: Generate renewable energy on-site equal to ≥1% of total annual energy cost (LEED EAc2), OR demonstrate a 10% energy use reduction compared to Title 24 Part 6 (2013), OR purchase Green-E certified renewable energy credits for 35% of total electricity use (LEED EAc6).	●	n/r

Attachment C-2:
Green Building:
Site Permit Submittal

Version: July 1, 2014

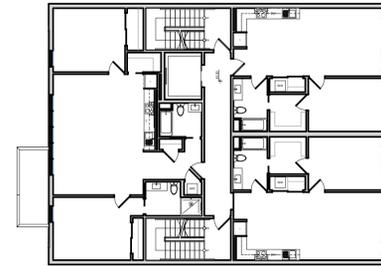
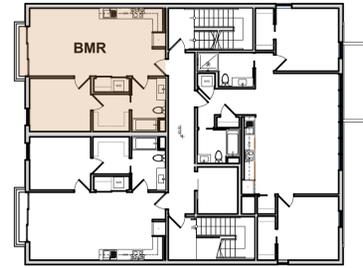
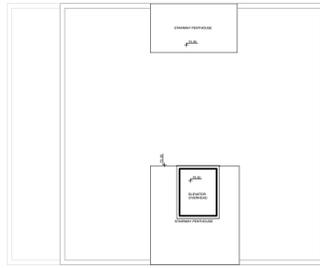


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ISSUE
12/20/16 LPA - MINOR REVISIONS

1228 Folsom Street
San Francisco, CA 94103

BLOCKLOT
3729/011/038/039

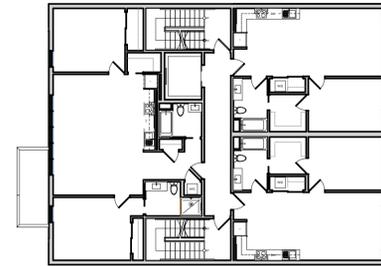
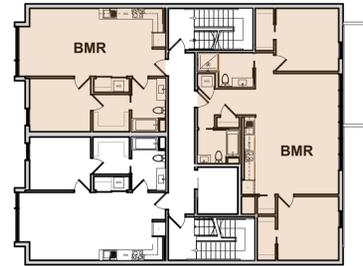
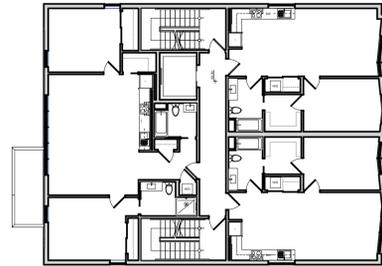
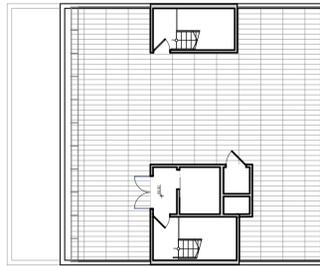


Sixth Floor +55 BMR
SCALE: 1/16" = 1'-0"

6

Third Floor +25 BMR
SCALE: 1/16" = 1'-0"

3

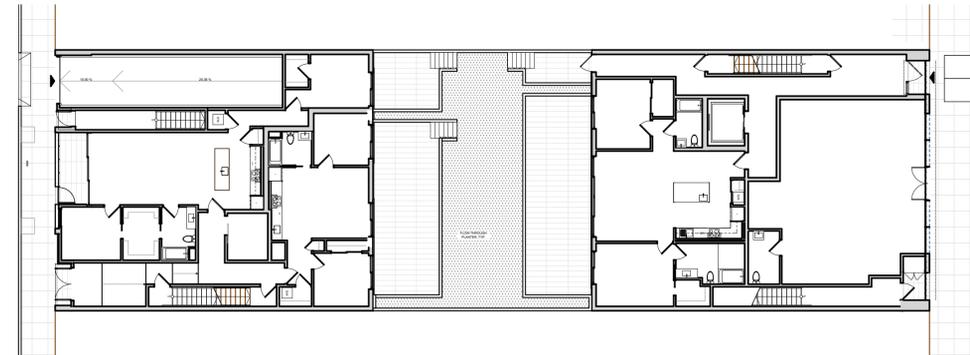
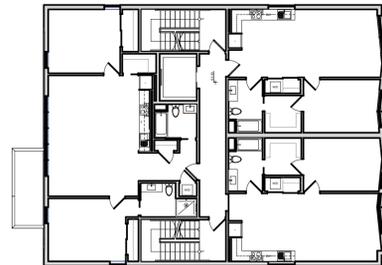


Fifth Floor +45 BMR
SCALE: 1/16" = 1'-0"

5

Second Floor +15' BMR
SCALE: 1/16" = 1'-0"

2



Fourth Floor +35 BMR
SCALE: 1/16" = 1'-0"

4

Ground Floor 0' BMR
SCALE: 1/16" = 1'-0"

1

REVISIONS
NO. DATE ISSUE

05/24/16	LARGE PROJECT AUTHORIZATION
09/15/16	LPA - RESPONSE TO NOPDR 1 & 2
12/20/16	LPA - MINOR REVISIONS

ISSUE
12/20/16 LPA- MINOR REVISIONS

OWNER
1228 Folsom St. LLC

1228 Folsom Street

1228 Folsom Street
San Francisco, CA 94103

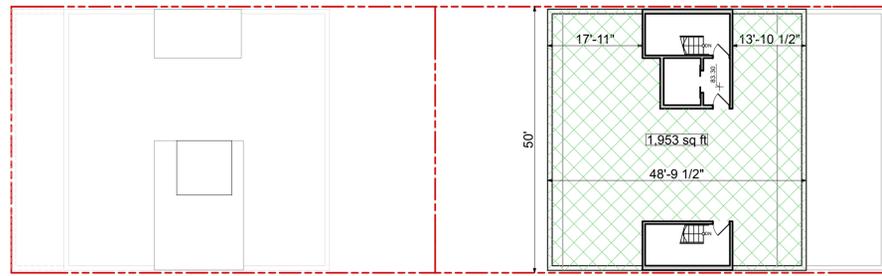
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BMR UNITS

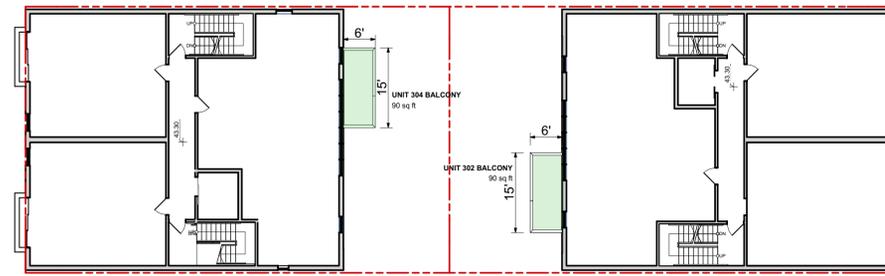
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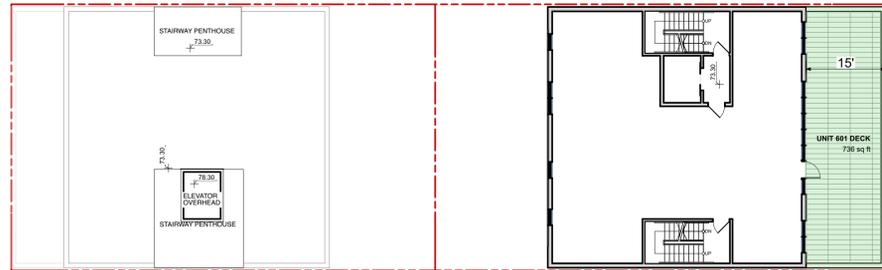
OPEN SPACE DIAGRAMS



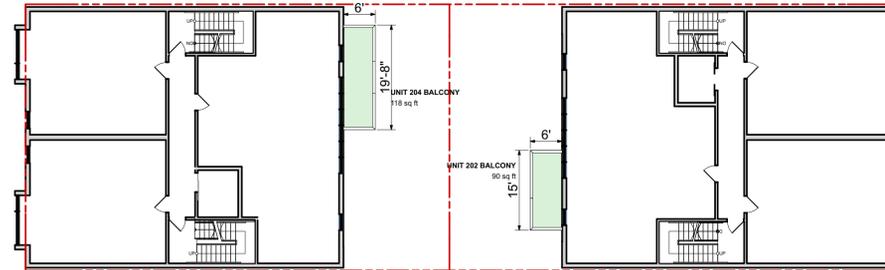
ROOF +65' OPEN SPACE
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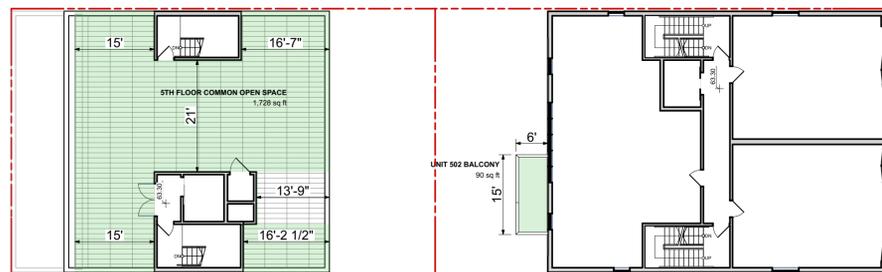
THIRD FLOOR +25' OPEN SPACE
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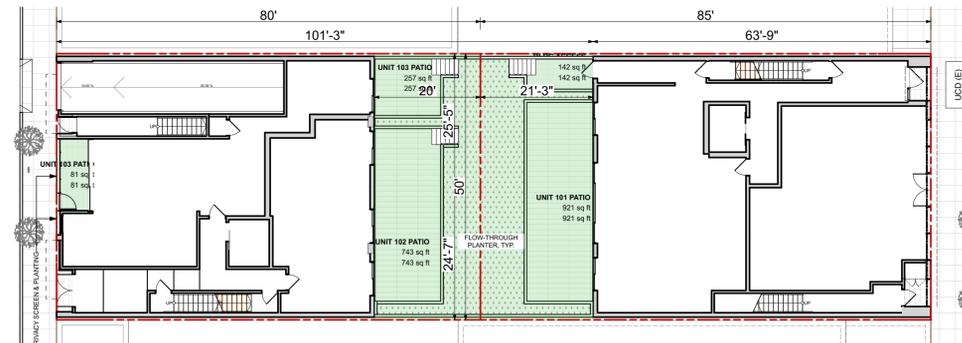
SIXTH FLOOR +55' OPEN SPACE
SCALE: 1/16" = 1'-0" 07



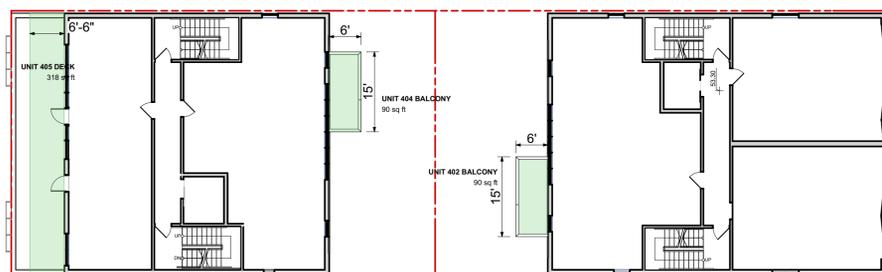
SECOND FLOOR +15' OPEN SPACE
SCALE: 1/16" = 1'-0" 03



FIFTH FLOOR +45' OPEN SPACE
SCALE: 1/16" = 1'-0" 06

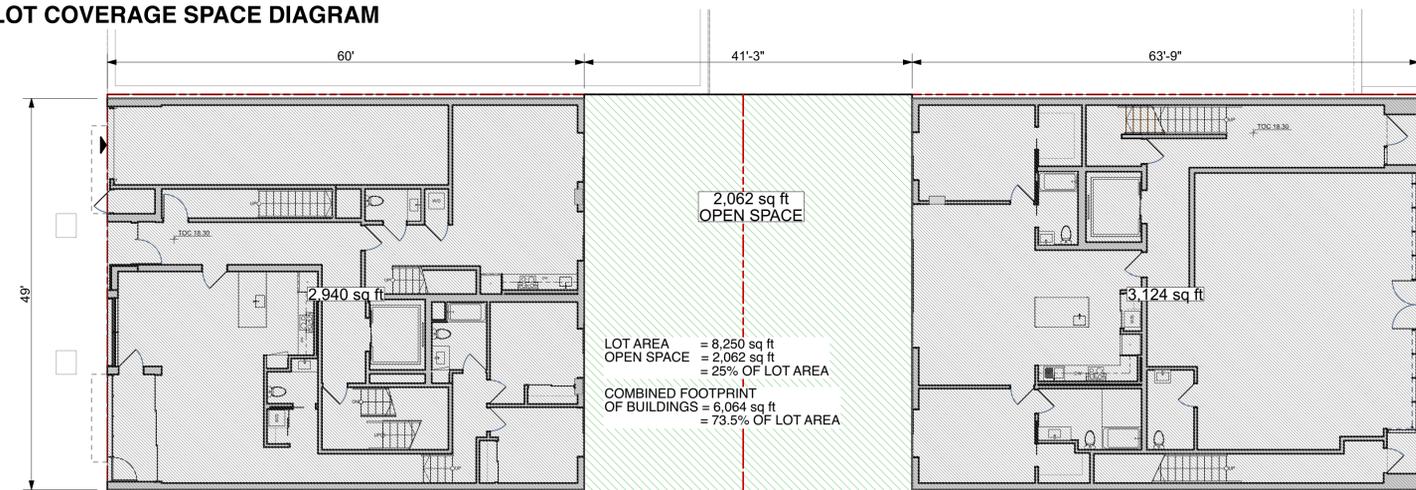


GROUND FLOOR 0' OPEN SPACE
SCALE: 1/16" = 1'-0" 02



FOURTH FLOOR +35' OPEN SPACE
SCALE: 1/16" = 1'-0" 05

LOT COVERAGE SPACE DIAGRAM



GENERAL NOTES

- NON-QUALIFYING OPEN SPACE AREA
- QUALIFYING OPEN SPACE AREA

Area Calculations: Open Space - Private & Common

Floor (Story)	Zone Name	Open Space of
GROUND FLOOR 0'	UNIT 101 PATIO	921
	UNIT 102 PATIO	743
	UNIT 103 PATIO	257
SECOND FLOOR +15'	UNIT 202 BALCONY	90
	UNIT 204 BALCONY	118
THIRD FLOOR +25'	UNIT 302 BALCONY	90
	UNIT 304 BALCONY	90
	UNIT 405 DECK	318
FIFTH FLOOR +45'	5TH FLOOR COMMON OPEN SPACE	1,728
	UNIT 502 BALCONY	90
	UNIT 601 DECK	736
		5,361 sq ft

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LICENSED ARCHITECT
RYTAD GHANMAY
C-29116
6-30-2017
RENEWAL DATE
STATE OF CALIFORNIA

SHEET NOTES

REVISIONS

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OPEN SPACE DIAGRAM

DRAWING NO. 8 of 24

G1.02

Lot Coverage
SCALE: 3/32" = 1'-0" 01

Section 823(c)(2)(B) (Roof Decks): Roof decks shall not qualify as required private or common useable open space pursuant to §135 of this Code. For the purpose of this section, a roof deck shall be defined as a deck located on the roof of the highest story of a building, or a deck at the highest story of a building if the enclosed gross floor area of that story is less than 50 percent of the gross square footage of the footprint of the subject building.

Required Open Space Calculations		
Units provided with private open space	12	
Units provided with common open space		12
REQUIRED OPEN SPACE = 12 x 106.4 SF = 1,276.8 SF		

Provided Open Space Calculations		
Area Calculations: Open Space - Private & Common		
Floor (Story)	Zone Name	Open Space sf
GROUND FLOOR 0'		
	UNIT 101 PATIO	921
	UNIT 102 PATIO	743
	UNIT 103 PATIO	257
SECOND FLOOR +15'		
	UNIT 202 BALCONY	90
	UNIT 204 BALCONY	118
THIRD FLOOR +25'		
	UNIT 302 BALCONY	90
	UNIT 304 BALCONY	90
FOURTH FLOOR +35'		
	UNIT 402 BALCONY	90
	UNIT 404 BALCONY	90
	UNIT 405 DECK	318
FIFTH FLOOR +45'		
	5TH FLOOR COMMON OPEN SPACE	1,728
	UNIT 502 BALCONY	90
SIXTH FLOOR +55'		
	UNIT 601 DECK	736
		5,361 sq ft

48.5% FOOTPRINT RATIO OF DEVELOPMENT SITE ABOVE GRADE 51.5%



REVISIONS NO.	DATE	ISSUE
05/24/16		LARGE PROJECT AUTHORIZATION
09/15/16		LPA - RESPONSE TO NOPDR 1 & 2
12/20/16		LPA - MINOR REVISIONS

ISSUE
12/20/16 LPA - MINOR REVISIONS

OWNER
1228 Folsom St. LLC

1228 Folsom Street

1228 Folsom Street
San Francisco, CA 94103

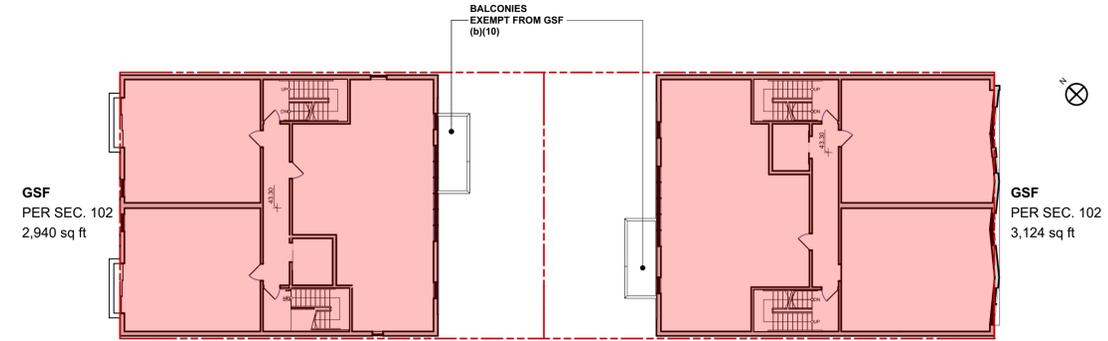
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AS NOTED
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RG
PROJECT NO.
201310
DATE
12/20/16

COMMON OPEN SPACE

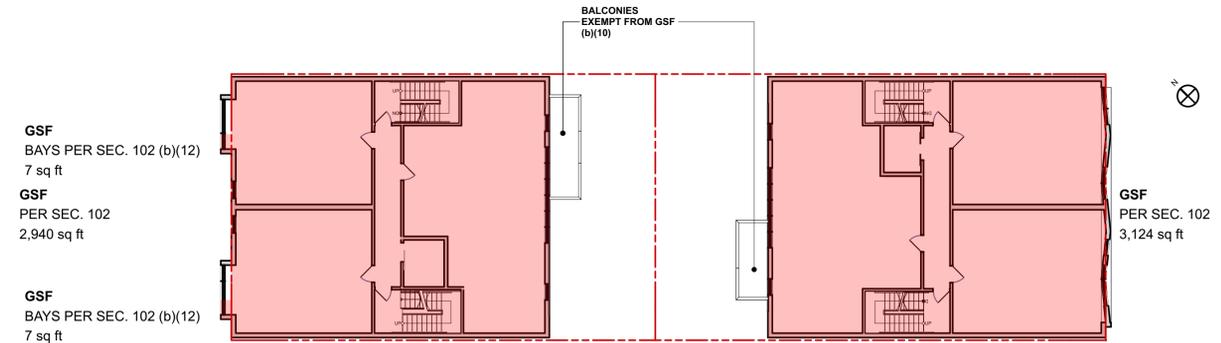
DRAWING NO. 9 of 24

G1.03

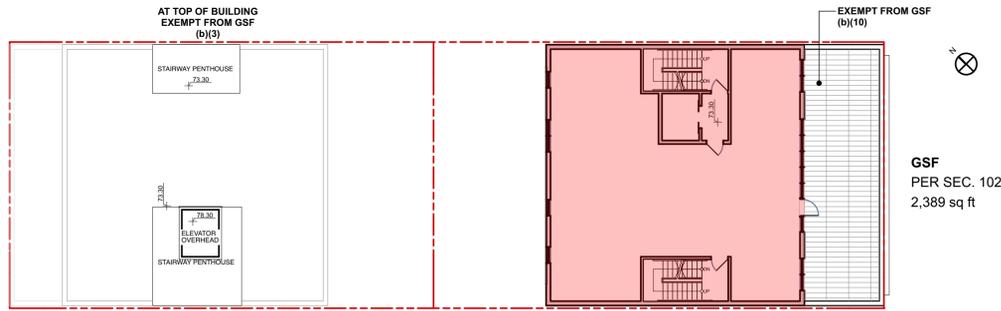
OPEN SPACE SECTION
SCALE: 1/8" = 1'-0"



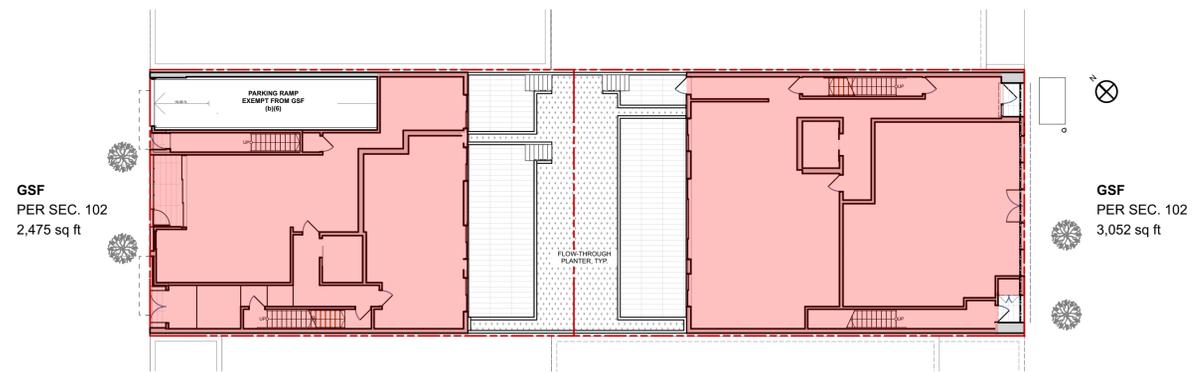
1/16" = 1'-0" Third Floor GSF 3



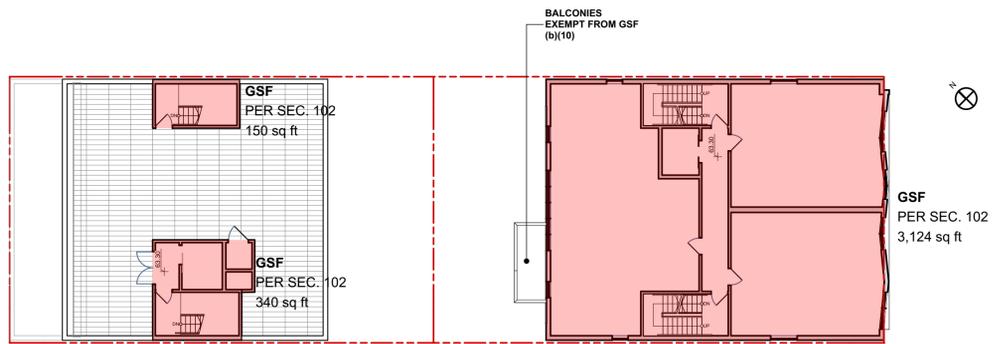
1/16" = 1'-0" Second Floor GSF 2



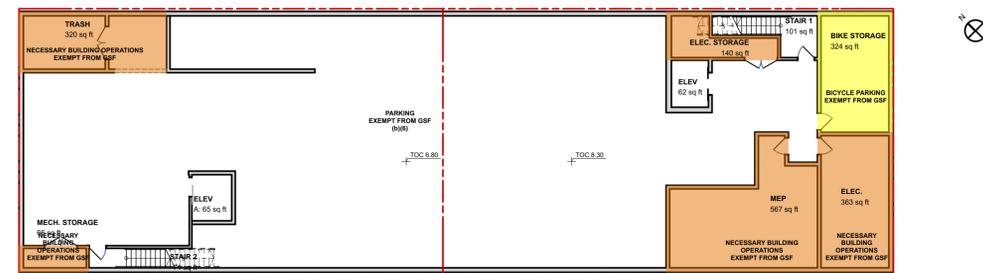
1/16" = 1'-0" Sixth Floor GSF 6



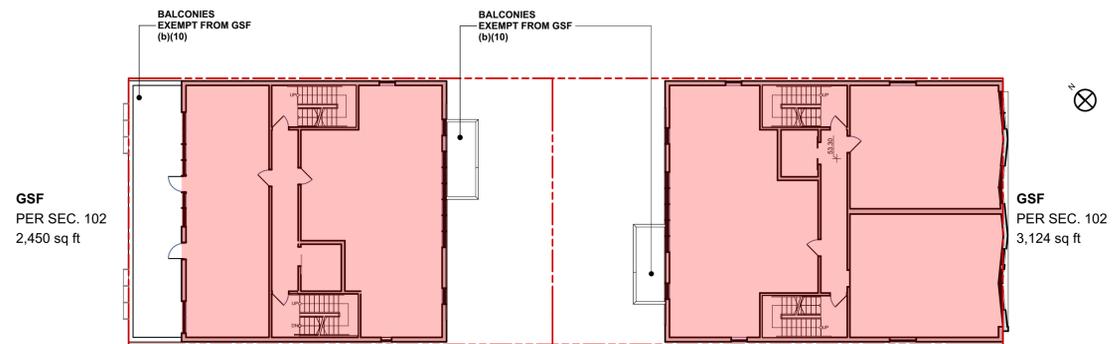
1/16" = 1'-0" Ground Floor GSF 1



1/16" = 1'-0" Fifth Floor GSF 5



1/16" = 1'-0" Basement/Garage GSF 7



1/16" = 1'-0" Fourth Floor GSF 4

REVISIONS

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12/20/16		LPA - MINOR REVISIONS

ISSUE
12/20/16 LPA - MINOR REVISIONS

OWNER
1228 Folsom St. LLC

1228 Folsom Street

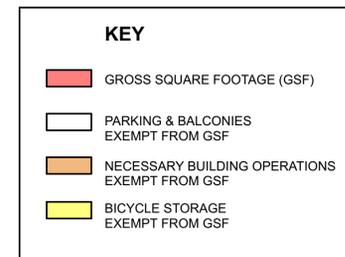
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GSF DIAGRAMS

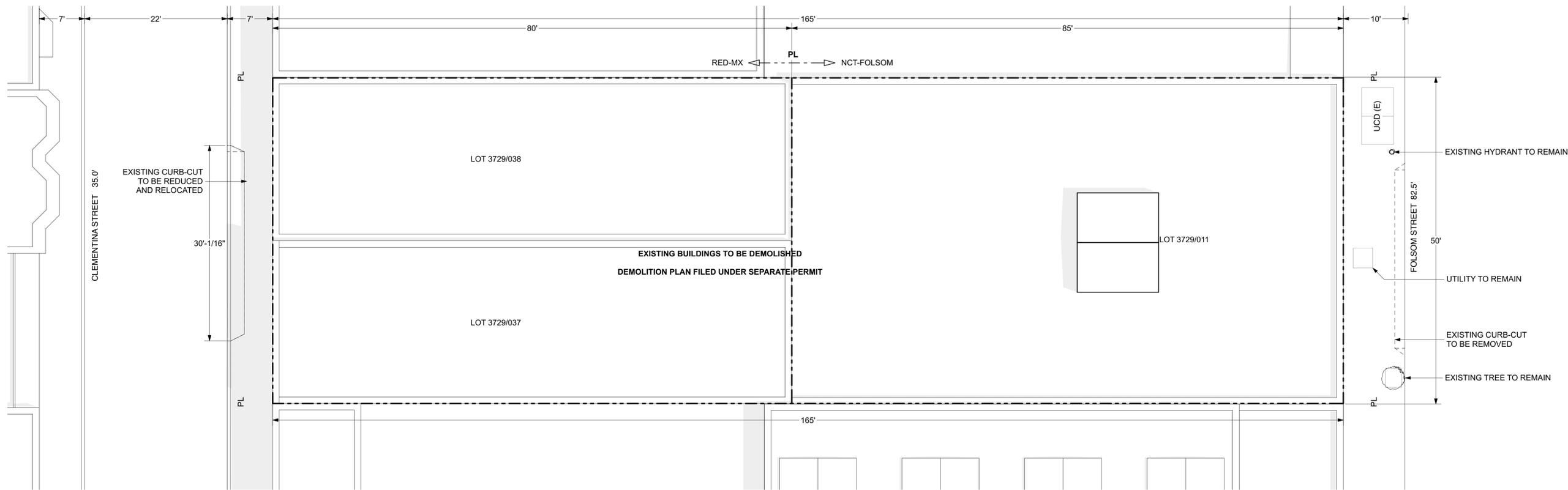
DRAWING NO. 10 of 24

G1.04



Area Calculations: GSF PER SEC. 102

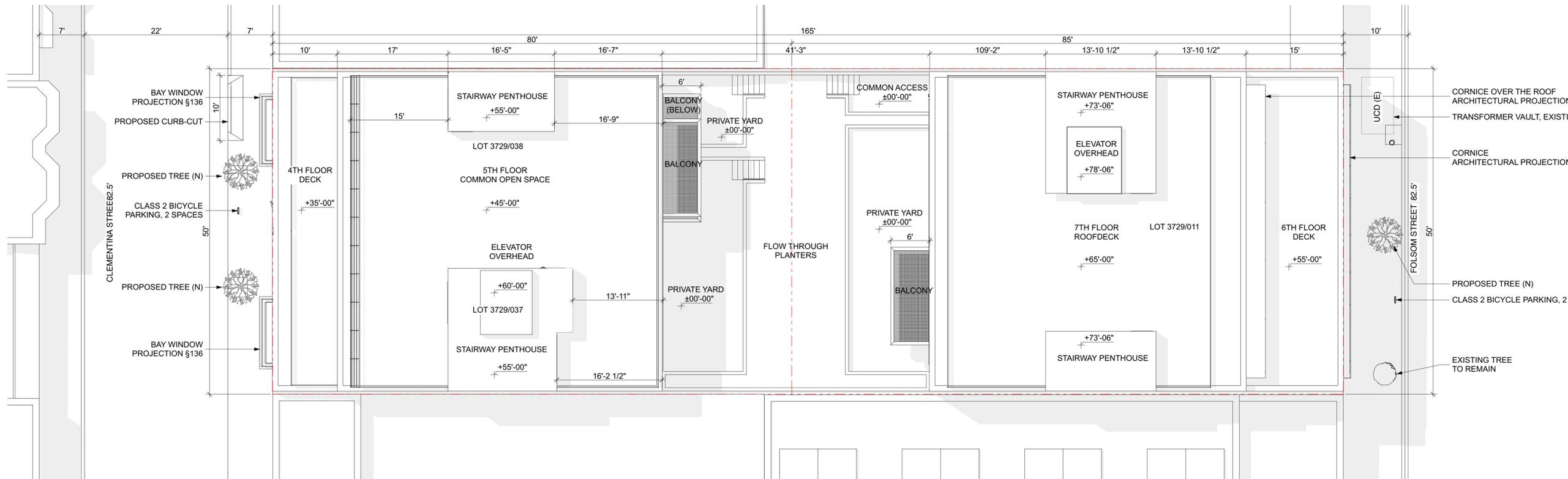
Floor (Story)	Measured Area
GROUND FLOOR 0'	5,527
SECOND FLOOR +15'	6,078
THIRD FLOOR +25	6,064
FOURTH FLOOR +35	5,574
FIFTH FLOOR +45	3,614
SIXTH FLOOR +55	2,389
	29,246 sq ft



SITE PLAN (E)
SCALE: 1/8" = 1'-0" 02



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SITE PLAN
SCALE: 1/8" = 1'-0" 03



ISSUE
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SITE PLAN



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OWNER
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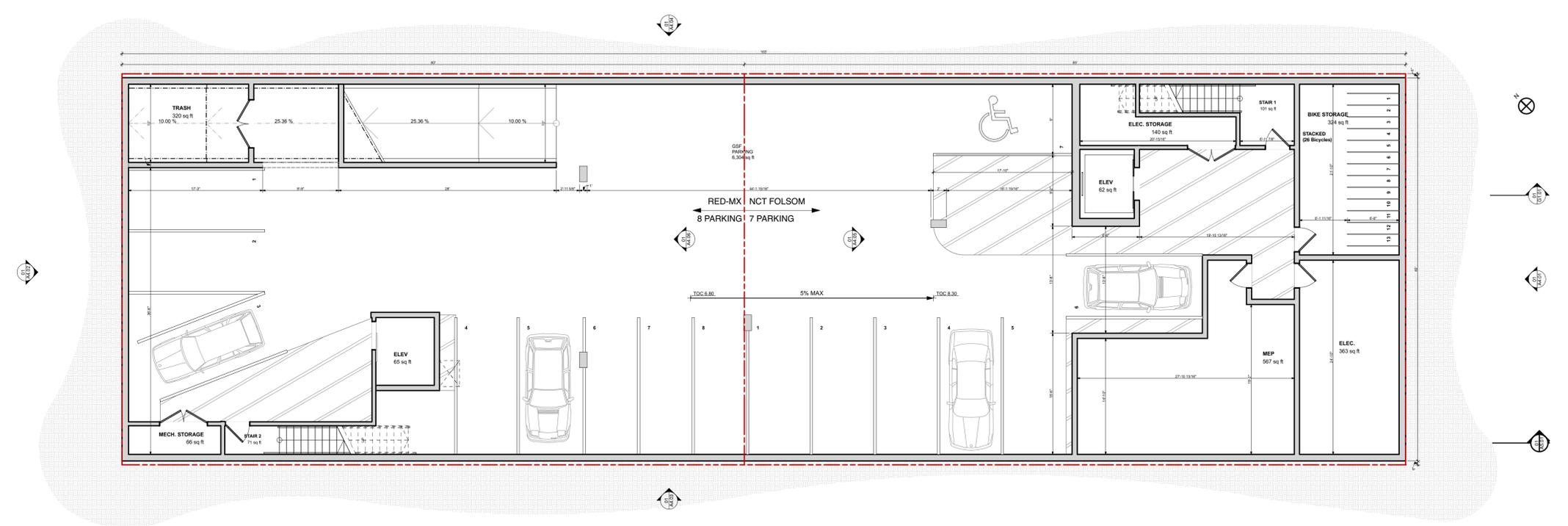
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BASEMENT/GARAGE

DRAWING NO. 13 of 24

A2.01

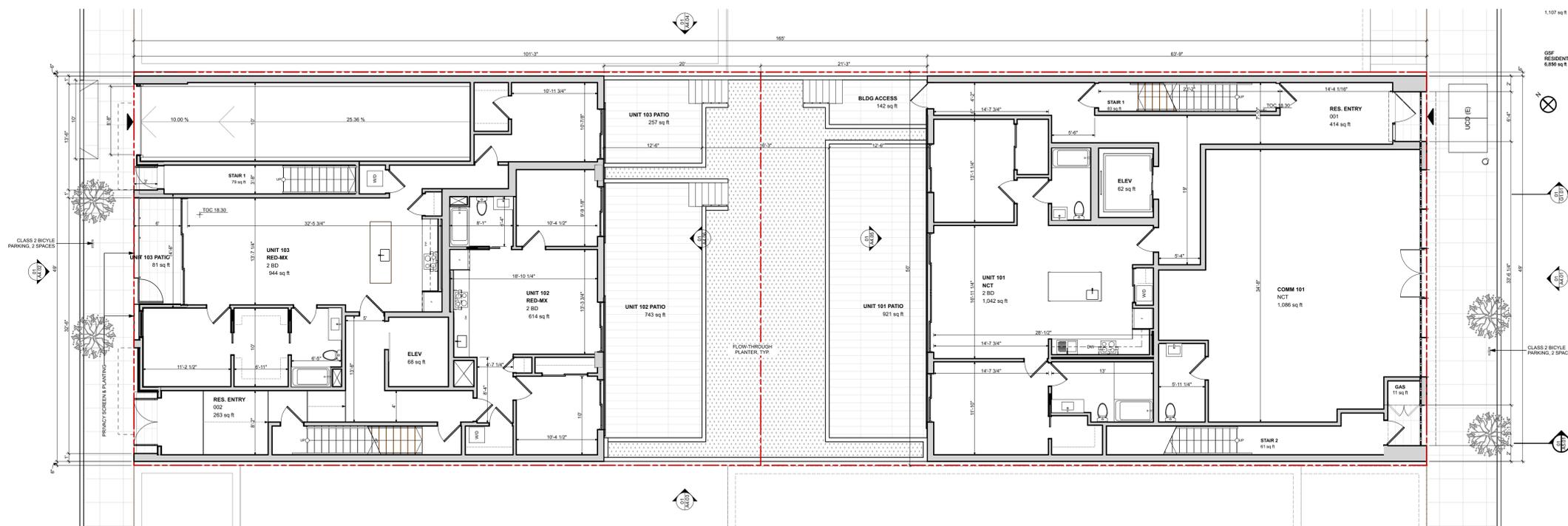


BASEMENT/GARAGE -10'
SCALE: 1/8" = 1'-0" 1



INTERMEDIATE LANDING +6'
SCALE: 1/8" = 1'-0"

02



GROUND FLOOR 0'
SCALE: 1/8" = 1'-0"

01



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GROUND &
INTERMEDIATE

DRAWING NO. 14 of 24

A2.02



SHEET NOTES

REVISIONS NO.	DATE	ISSUE
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09/15/16		LPA - RESPONSE TO NOPDR 1 & 2
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OWNER
1228 Folsom St. LLC

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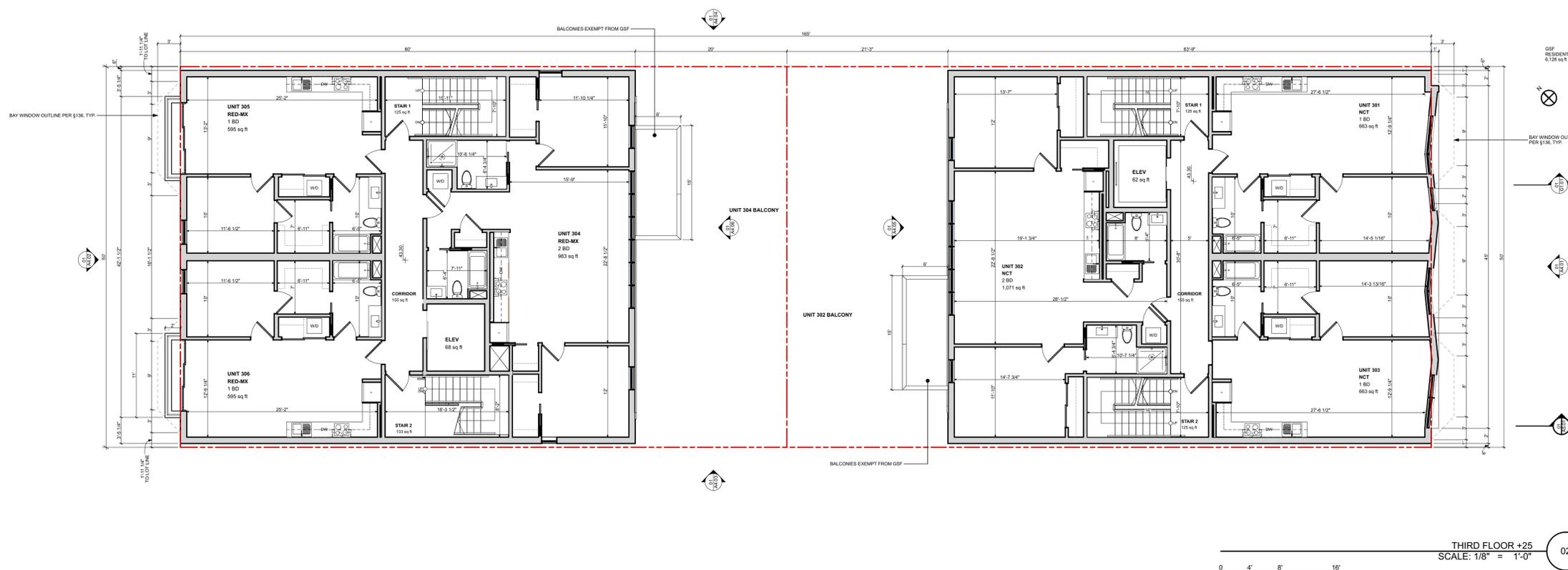
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RG
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201310
DATE
12/20/16

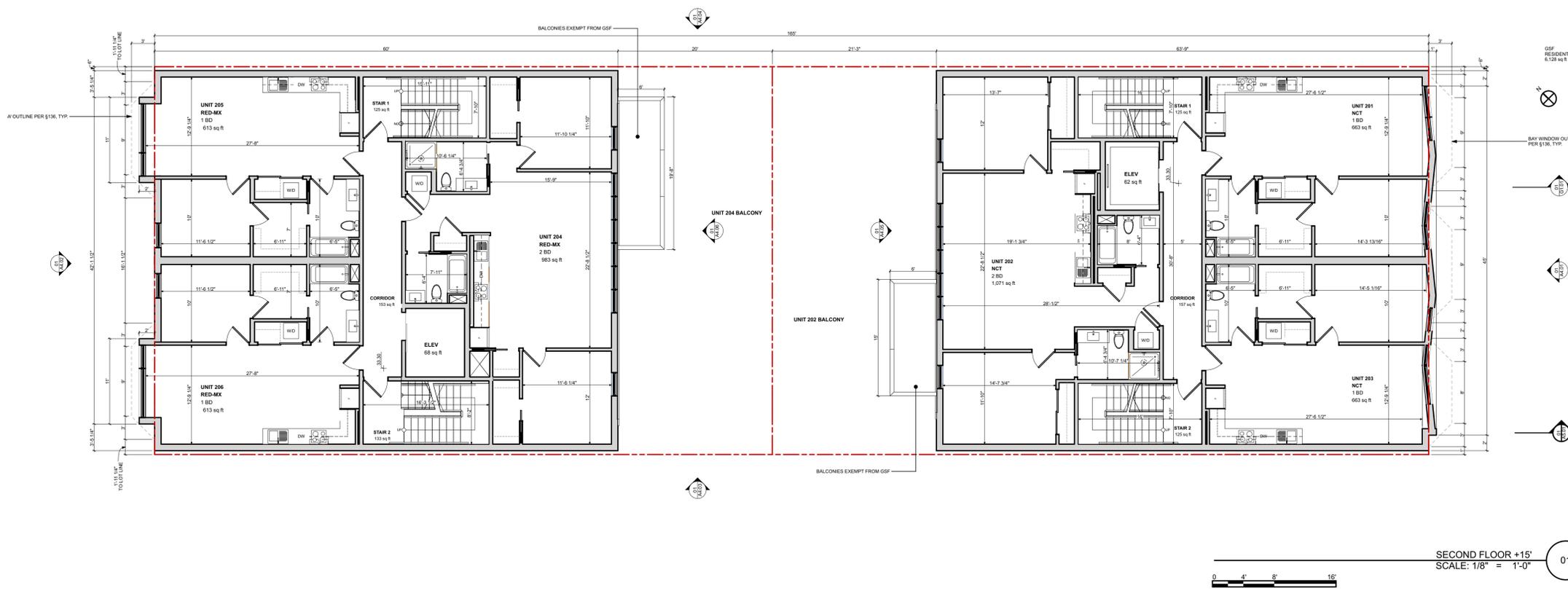
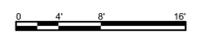
STORY 2 & 3

DRAWING NO. 15 of 24

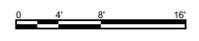
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THIRD FLOOR +25
SCALE: 1/8" = 1'-0" 02



SECOND FLOOR +15
SCALE: 1/8" = 1'-0" 01



KEY



SHEET NOTES

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ISSUE
12/20/16 LPA - MINOR REVISIONS

OWNER
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San Francisco, CA 94103

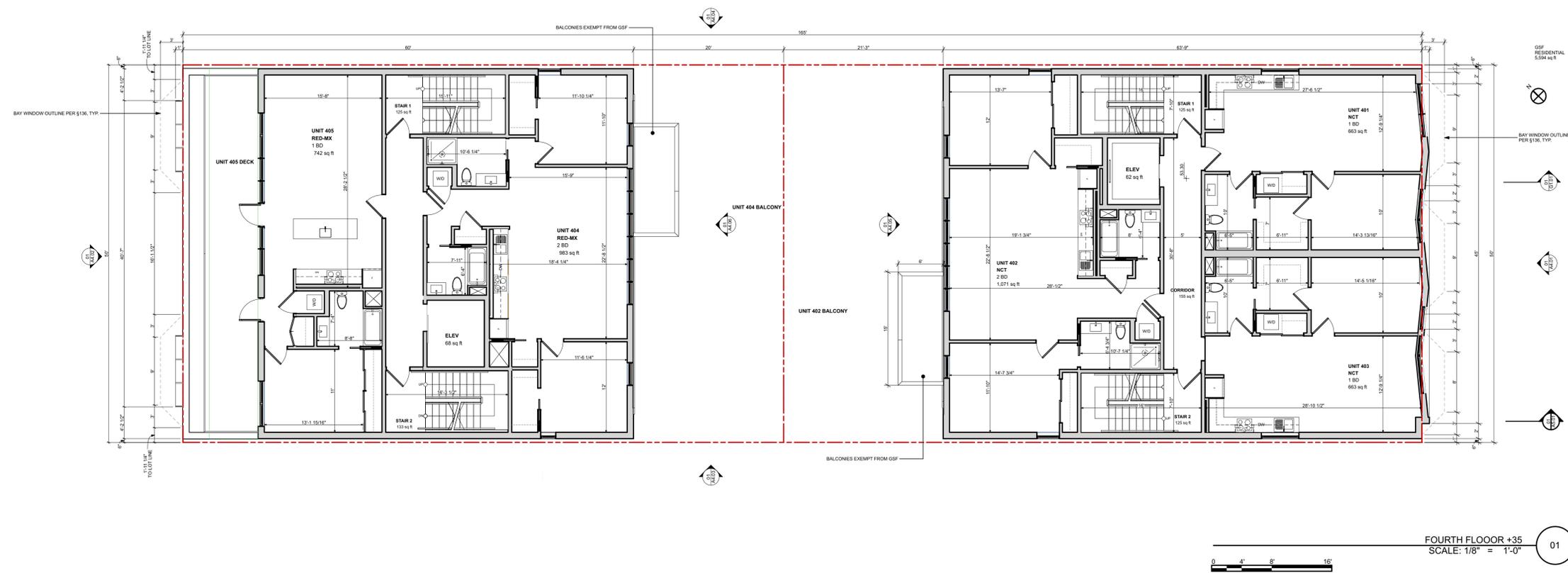
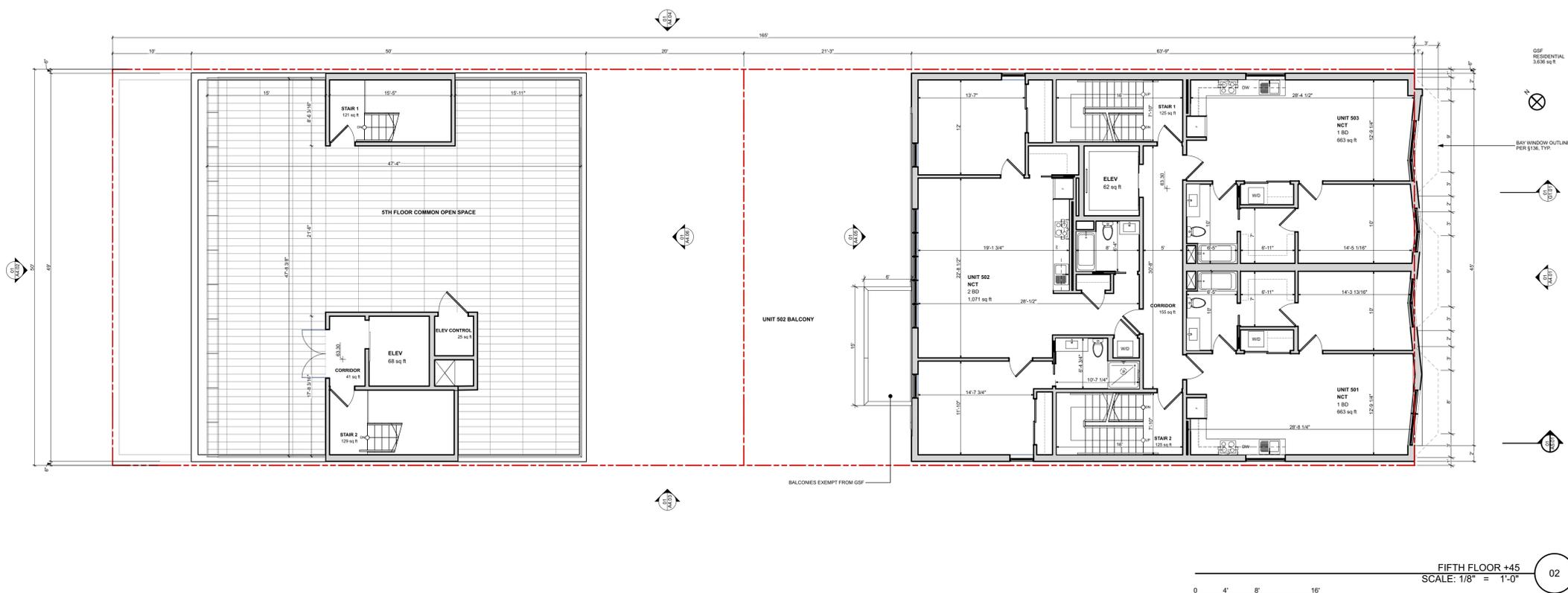
SCALE
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RG
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DATE
12/20/16

STORY 4 & 5

DRAWING NO. 16 of 24

A2.04

KEY



GENERAL NOTES



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09/15/16		LPA - RESPONSE TO NOPDR 1 & 2
12/20/16		LPA - MINOR REVISIONS

ISSUE
12/20/16 LPA - MINOR REVISIONS

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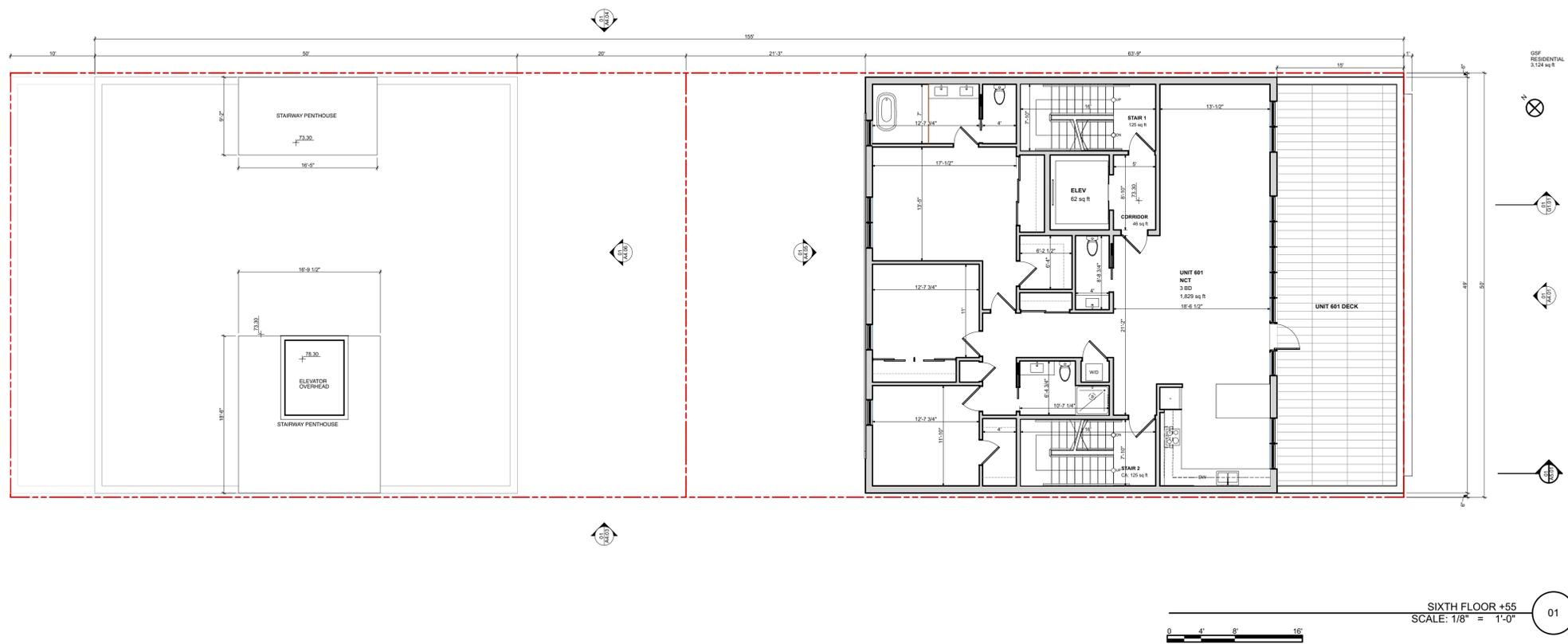
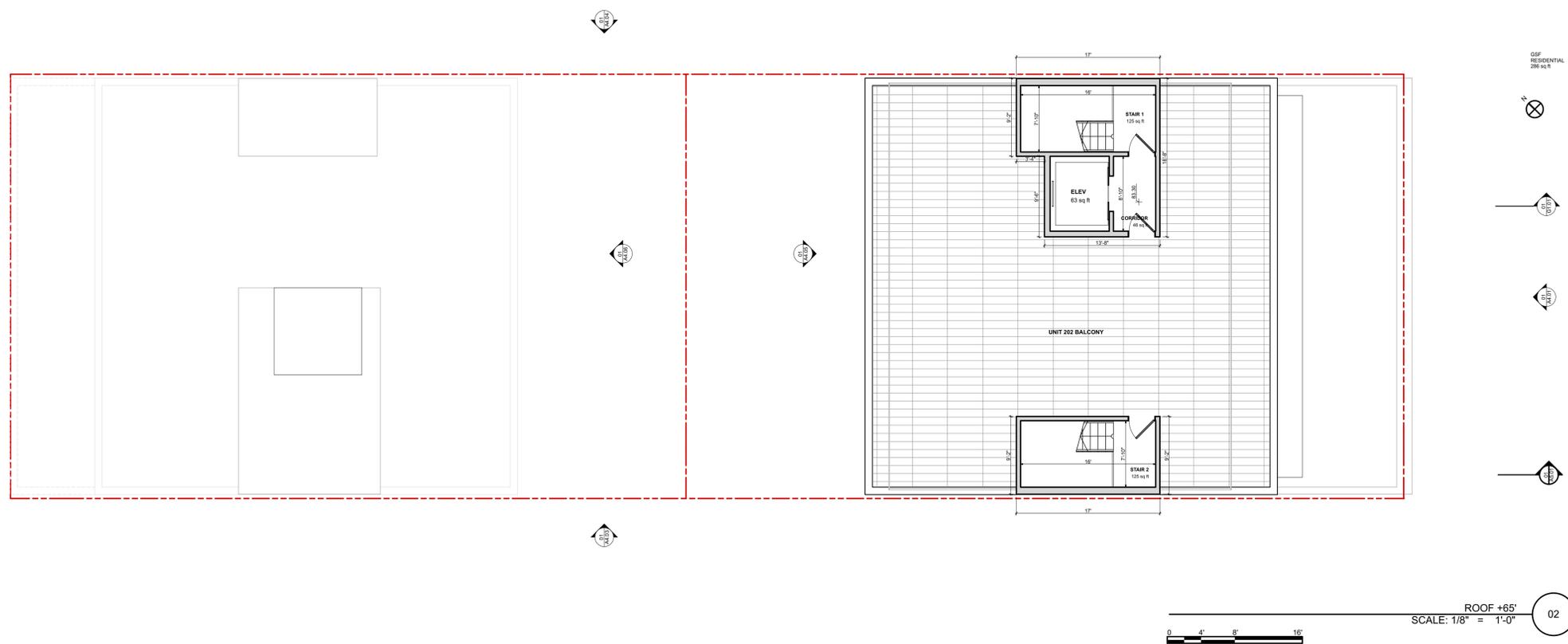
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SCALE
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PROJECT NO.
201310
DATE
12/20/16

STORY 6 & ROOF

DRAWING NO. 17 of 24

A2.05



KEY

GENERAL NOTES



SHEET NOTES

ID	DESCRIPTION
00	ADJACENT BUILDING
01	POWDER COATED ALUMINUM WINDOW
02	CONCRETE
03	POWDER COATED ALUMINIUM
04	MARINE PLYWOOD @ BLIND WALL
05	STANDING SEAM METAL
06	METAL PRIVACY SCREEN
07	POWDER COATED ALUMINIUM LOUVRES
08	SMALL SCALE ZINC CORRUGATED SIDING
09	METAL PANNELLING JOINTS
10	METAL GUARDRAIL PAINTED
11	PROPERTY LINE WINDOW
12	DECORATIVE METAL REVEAL
13	CEMENT BOARD LAP SIDING
14	PLANTER
15	GLASS RAILING

REVISIONS

NO.	DATE	ISSUE
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ISSUE

12/20/16 LPA- MINOR REVISIONS

OWNER

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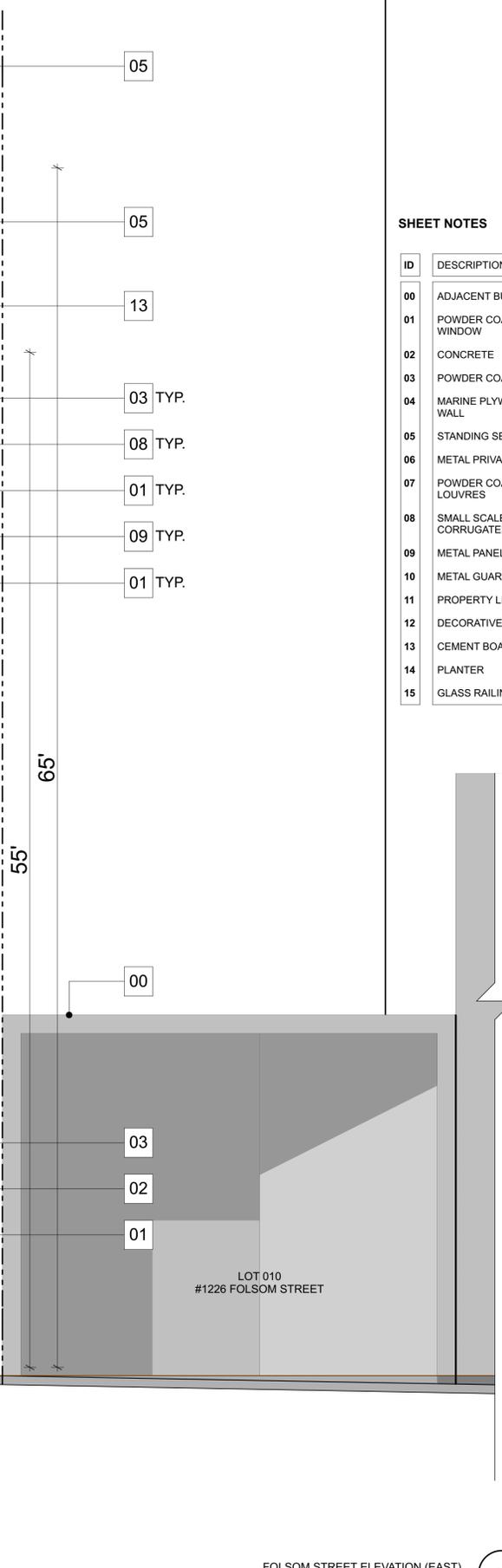
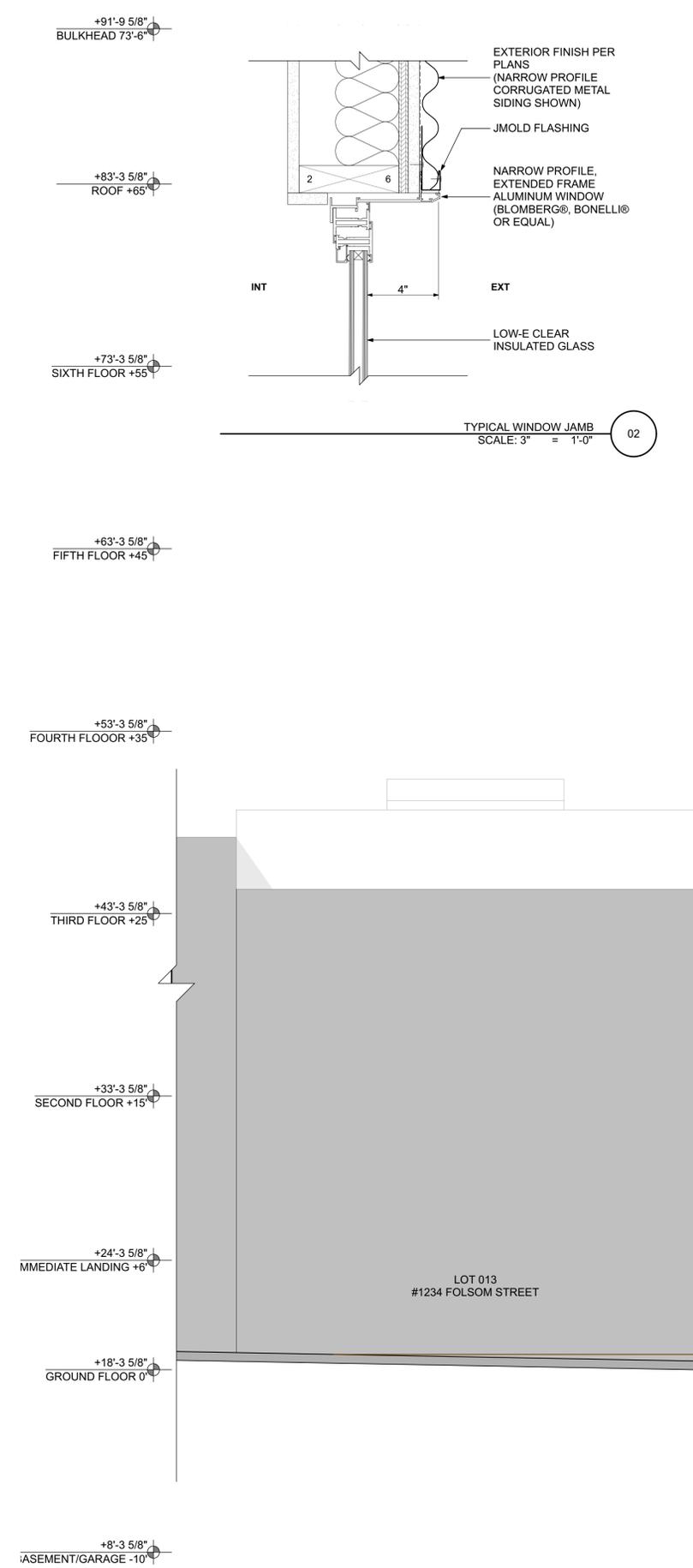
DATE

12/20/16

ELEVATIONS

DRAWING NO. 18 of 24

A4.01



FOLSOM STREET ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

01

+91'-9 5/8" BULKHEAD 73'-6"

+83'-3 5/8" ROOF +65'

+73'-3 5/8" SIXTH FLOOR +55'

+63'-3 5/8" FIFTH FLOOR +45'

+53'-3 5/8" FOURTH FLOOR +35'

+43'-3 5/8" THIRD FLOOR +25'

+33'-3 5/8" SECOND FLOOR +15'

+24'-3 5/8" IMMEDIATE LANDING +6'

+18'-3 5/8" GROUND FLOOR 0'

+8'-3 5/8" ELEMENT/GARAGE -10'



GENERAL NOTES

rg-architecture
 428 SOUTH VAN NESS AVENUE
 SAN FRANCISCO, CA 94103
 415.649.6202
 mail@rg-architecture.com



SHEET NOTES

ID	DESCRIPTION
00	ADJACENT BUILDING
01	POWDER COATED ALUMINUM WINDOW
02	CONCRETE
03	POWDER COATED ALUMINIUM
04	MARINE PLYWOOD @ BLIND WALL
05	STANDING SEAM METAL
06	METAL PRIVACY SCREEN
07	POWDER COATED ALUMINIUM LOUVRES
08	SMALL SCALE ZINC CORRUGATED SIDING
09	METAL PANNELLING JOINTS
10	METAL GUARDRAIL PAINTED
11	PROPERTY LINE WINDOW
12	DECORATIVE METAL REVEAL
13	CEMENT BOARD LAP SIDING
14	PLANTER
15	GLASS RAILING

REVISIONS

NO.	DATE	ISSUE
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12/20/16		LPA - MINOR REVISIONS

ISSUE

12/20/16 LPA- MINOR REVISIONS

OWNER

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1228 Folsom Street

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 San Francisco, CA 94103

SCALE

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PROJECT NO.

201310

DATE

12/20/16

ELEVATIONS

DRAWING NO. 19 of 24

A4.02



GENERAL NOTES



SHEET NOTES

ID	DESCRIPTION
00	ADJACENT BUILDING
01	POWDER COATED ALUMINUM WINDOW
02	CONCRETE
03	POWDER COATED ALUMINIUM
04	MARINE PLYWOOD @ BLIND WALL
05	STANDING SEAM METAL
06	METAL PRIVACY SCREEN
07	POWDER COATED ALUMINIUM LOUVRES
08	SMALL SCALE ZINC CORRUGATED SIDING
09	METAL PANNELLING JOINTS
10	METAL GUARDRAIL PAINTED
11	PROPERTY LINE WINDOW
12	DECORATIVE METAL REVEAL
13	CEMENT BOARD LAP SIDING
14	PLANTER
15	GLASS RAILING

REVISIONS

NO.	DATE	ISSUE
05/24/16		LARGE PROJECT AUTHORIZATION
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12/20/16		LPA - MINOR REVISIONS

ISSUE
12/20/16 LPA- MINOR REVISIONS

OWNER
1228 Folsom St. LLC

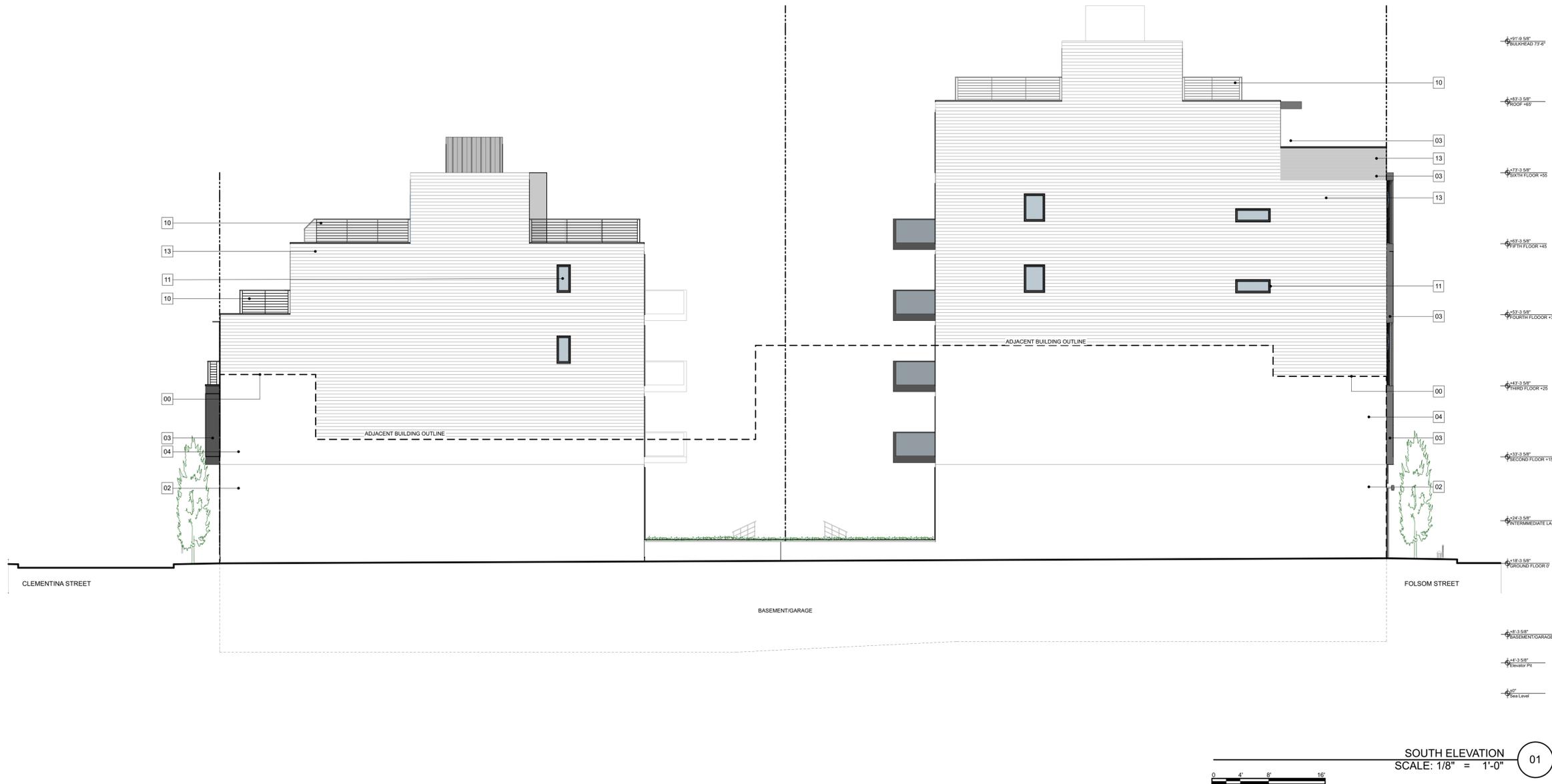
1228 Folsom Street
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San Francisco, CA 94103

SCALE
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DATE
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ELEVATIONS

DRAWING NO. 20 of 24

A4.03



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



01

GENERAL NOTES



SHEET NOTES

ID	DESCRIPTION
00	ADJACENT BUILDING
01	POWDER COATED ALUMINUM WINDOW
02	CONCRETE
03	POWDER COATED ALUMINIUM
04	MARINE PLYWOOD @ BLIND WALL
05	STANDING SEAM METAL
06	METAL PRIVACY SCREEN
07	POWDER COATED ALUMINIUM LOUVRES
08	SMALL SCALE ZINC CORRUGATED SIDING
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12	DECORATIVE METAL REVEAL
13	CEMENT BOARD LAP SIDING
14	PLANTER
15	GLASS RAILING

REVISIONS

NO.	DATE	ISSUE
05/24/16		LARGE PROJECT AUTHORIZATION
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12/20/16		LPA - MINOR REVISIONS

ISSUE

12/20/16 LPA- MINOR REVISIONS

OWNER

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1228 Folsom Street

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201310

DATE

12/20/16

ELEVATIONS

DRAWING NO. 21 of 24

A4.04



NORTH ELEVATION
SCALE: 1/8" = 1'-0" 01

KEY

+91'-9 5/8" BULKHEAD 73'-6"

+83'-3 5/8" ROOF +65"

+73'-3 5/8" SIXTH FLOOR +55"

+63'-3 5/8" FIFTH FLOOR +45"

+53'-3 5/8" FOURTH FLOOR +35"

+43'-3 5/8" THIRD FLOOR +25"

+33'-3 5/8" SECOND FLOOR +15"

+24'-3 5/8" PRIVATE LANDING +6"

+18'-3 5/8" GROUND FLOOR 0"

+8'-3 5/8" BASEMENT/GARAGE -10"



COURTYARD ELEVATION (FOLSOM STREET)
SCALE: 1/4" = 1'-0" 01

GENERAL NOTES

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428 SOUTH VAN NESS AVENUE
SAN FRANCISCO, CA 94103
415.649.6202
mail@rg-architecture.com



SHEET NOTES

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REVISIONS

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ISSUE

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OWNER

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COURTYARD ELEVATIONS

DRAWING NO. 22 of 24

A4.05

KEY

+91'-9 5/8"
BULKHEAD 73'-6"

+83'-3 5/8"
ROOF +65'

+73'-3 5/8"
SIXTH FLOOR +55'

+63'-3 5/8"
FIFTH FLOOR +45'

+53'-3 5/8"
FOURTH FLOOR +35'

+43'-3 5/8"
THIRD FLOOR +25'

+33'-3 5/8"
SECOND FLOOR +15'

+24'-3 5/8"
INTERMEDIATE LANDING +6'

+18'-3 5/8"
GROUND FLOOR 0'

+8'-3 5/8"
BASEMENT/GARAGE -10'



COURTYARD ELEVATION (CLEMENTINA STREET)
SCALE: 1/4" = 1'-0" 01

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COURTYARD ELEVATIONS

DRAWING NO. 23 of 24

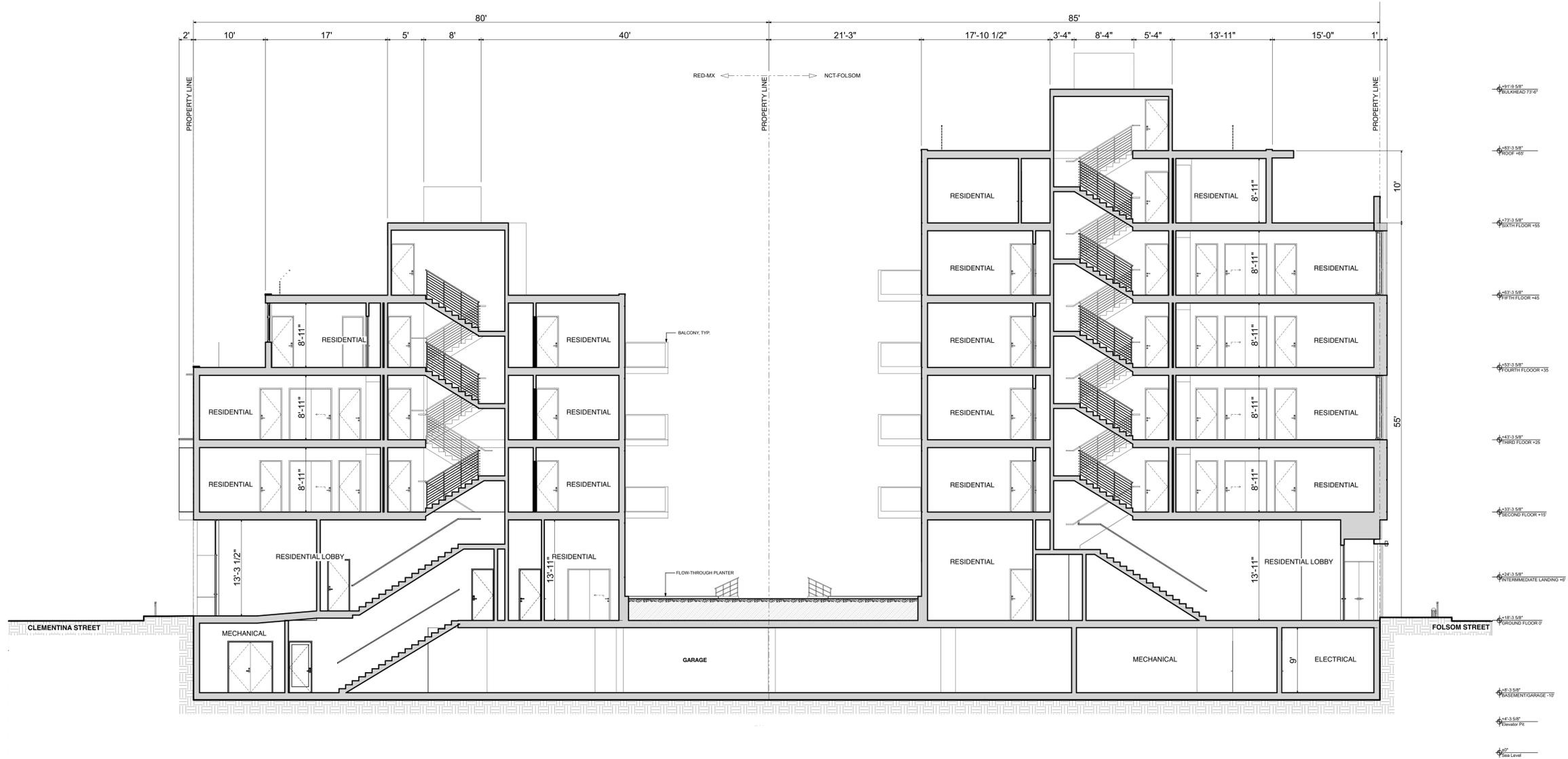
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KEY

GENERAL NOTES



SHEET NOTES



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BUILDING SECTION

SECTION
SCALE: 1/8" = 1'-0" 01

KEY