



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, March 23, 2016**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance (Rear Yard)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 1948 Pacific Avenue	Case No.: 2014-002072VAR
Cross Street(s): Octavia and Gough Streets	Building Permit: 2015.05.19.6679
Block /Lot No.: 0577 / 004	Applicant (agent): John Duffy
Zoning District(s): RH-2 / 40-X	Telephone: (415) 309-8896
Area Plan: N/A	E-Mail: jduffyarchitect@gmail.com

PROJECT DESCRIPTION

The proposal is to construct a two-story horizontal addition with deck above (approximately 26 feet wide by 16 feet deep by 24 feet high) at the rear of the basement and first floor levels of the three-story, single-family dwelling. The proposal will include constructing exterior stairs (with a fire-rated guardrail wall) which will abut the east side property line.

SECTION 134 OF THE PLANNING CODE requires the subject property to maintain a rear yard of approximately 60 feet 6 inches. The proposed rear addition would extend entirely within the required rear yard; therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2014-002072VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Sharon M. Young** Telephone: **(415) 558-6346** E-Mail: sharon.m.young@sfgov.org

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311 or 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. The mailing of such notification will be performed separately.

APPEAL INFORMATION

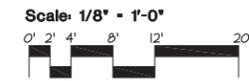
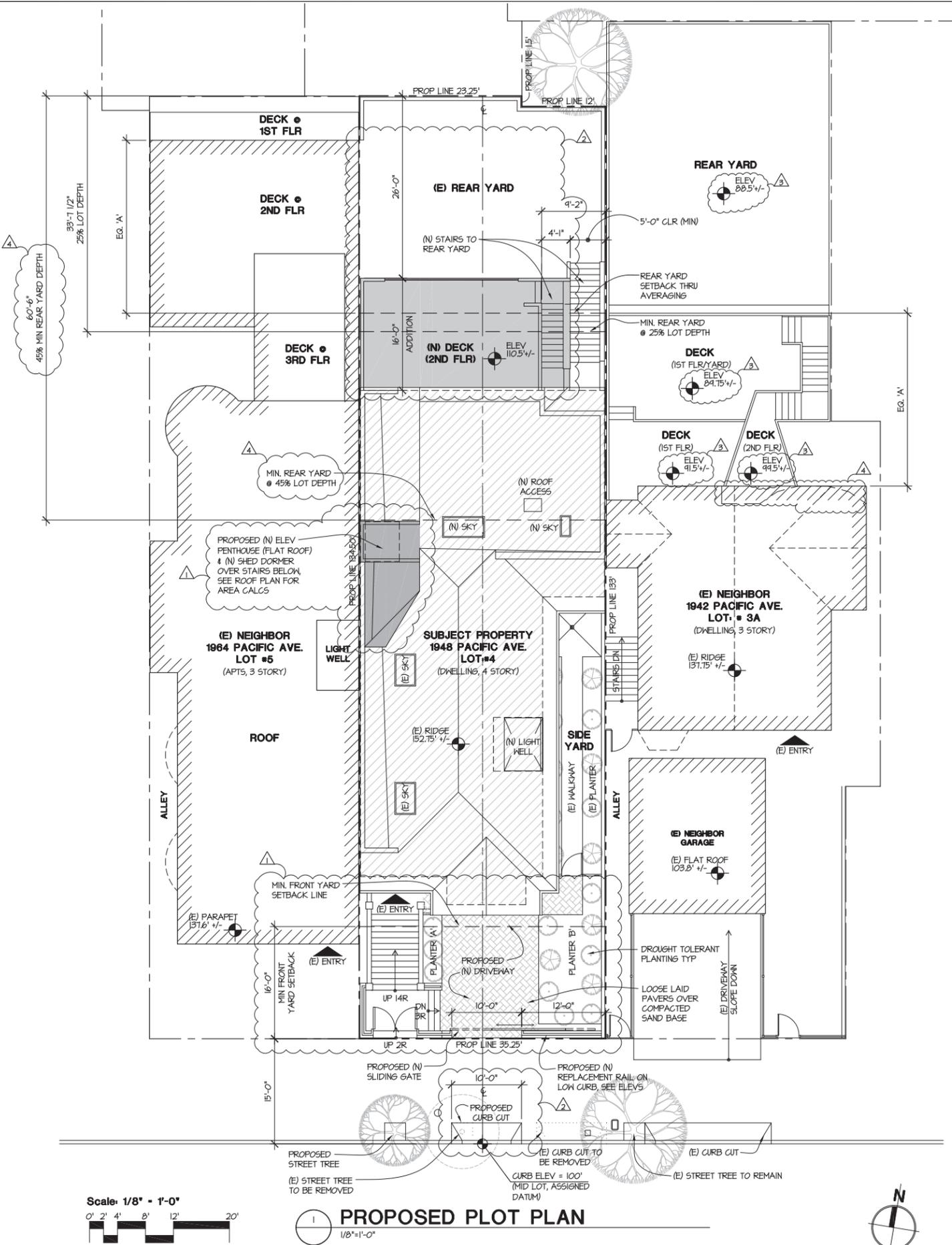
An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010



PROPOSED PLOT PLAN
1/8"=1'-0"



AREA CALCULATIONS (NOTES 1, 2)

	EXISTING	PROPOSED	DIFF
BSMT	0	1128	1128
FIRST	1923	1540	-383
SECOND	2031	2080	49
THIRD	1795	2025	230
FOURTH	2015	1498	-517
TOTAL	7764	8271	507

MISC AREAS			
GARAGE	N/A	1026	N/A

- (1) AREAS INDICATED ARE TO OUTSIDE FACE OF STUD WALLS TYP
- (2) STAIRS COUNTED ONCE, AT FLOOR OF ORIGIN

FRONT SETBACK PERMEABILITY CALCS
 REQD FRONT YARD AREA: 564 SF
 PERM AREA REQD: 564 @ 50% = 282 SF
 (INCL PLANT AREA: 564 @ 20% = 113 SF)
 PROVIDED:
 LOOSE LAID PAVING = 214 SF (38%)
 PLANTERS: (A) 22 + (B) 125 = 147 SF (26%)
 TOTAL = 366 SF (64%)

CONSTRUCTION LEGEND

	SUBJECT PROPERTY (NEW CONST)
	SUBJECT PROPERTY
	ADJACENT PROPERTY

PROJECT INFORMATION:

DRAWINGS INDEX

ARCHITECTURAL DRAWINGS

- A1.0 COVER SHEET - PROPOSED PLOT PLAN, PROJECT INFORMATION
- A1.1 PROPOSED BSMT FLOOR PLAN
- A1.2 PROPOSED FIRST FLOOR PLAN
- A1.3 PROPOSED SECOND FLOOR PLAN
- A1.4 PROPOSED THIRD FLOOR PLAN
- A1.5 PROPOSED FOURTH FLOOR PLAN
- A1.6 PROPOSED ROOF PLAN
- A1.7 PROPOSED DEMOLITION PLANS
- A2.1 PROPOSED ELEVATIONS: SOUTH
- A2.2 PROPOSED ELEVATIONS: WEST
- A2.3 PROPOSED ELEVATIONS: NORTH
- A2.4 PROPOSED ELEVATIONS: EAST
- A2.5 PROPOSED LONG SECTION (MID LOT)
- A2.6 PROPOSED LONG SECTION
- A2.7 PROPOSED CROSS SECTIONS
- A3.0 EXISTING PLOT PLAN
- A3.1 EXISTING PLANS: BSMT & FIRST
- A3.2 EXISTING PLANS: SECOND & THIRD
- A3.3 EXISTING PLANS: FOURTH & ROOF
- A3.4 EXISTING ELEVATIONS: SOUTH
- A3.5 EXISTING ELEVATIONS: WEST & EAST
- A3.6 EXISTING ELEVATION: NORTH & LONG SECTION (MID LOT)
- A4.1 STREETScape PHOTOS

BUILDING DATA

BLOCK 0577
 LOT 004
 ZONING RH-2
 HT LIMIT 40'

OCCUPANCY:
 HOUSE R3
 GARAGE U

CONST TYPE 5B
 STORIES 4
 BLDG AREA *T164 SF
 LOT AREA **4123 SF

* CALC'D FROM FLR PLANS
 **CALC'D FROM PLOT PLAN

REVISION LOG

REV# SUMMARY / DATE

- Δ GENERAL PLANNING / HISTORIC COMMENTS 08-28-15
- Δ RDT & GEN PLANNING REVISIONS 10-30-15 (REMOVAL OF PROPOSED 1ST FLR REAR DECK)
- Δ 01-22-16 2A CLARIFICATION
- Δ 02-24-16 2A CLARIFICATION

CONTACT INFORMATION

ARCHITECT
 JOHN DUFFY, ARCHITECT
 4620 BEN HUR RD
 MARIPOSA, CA 95338

CONTACT: JOHN DUFFY
 TEL: 415 304-8846

OWNER
 GIRISH & FIONA PANCHA
 2154 BAY ST
 SAN FRANCISCO, CA 94123

CONTACT: FIONA MCGRATH-PANCHA

OWNERS REP
 MODERN ART CONSTRUCTION
 1426 7TH AVE
 SAN FRANCISCO, CA 94122

CONTACT: BRENDAN MCGRATH
 TEL: 415 675-8465

STRUCTURAL ENGINEER
 ONE DESIGN

CONTACT: EREVAN O'NEILL
 TEL: 415 828-4412

SCOPE OF WORK*

ADD (N) BSMT LEVEL, AT 1ST FLR - ADD NEW GARAGE & HORIZ ADDITION AT 2ND FLR - ADD DECK AT REAR OVER HORIZ ADDITION AT 4TH FLR - CONSTRUCT REAR DECK WITHIN (E) BLDG FOOTPRINT. RECONFIGURE MISC INT PARTITION LAYOUTS.

*THE ABOVE IS A SUMMARY ONLY AND IS FOR THE PURPOSE OF OBTAINING THE BUILDING PERMIT. IT SHALL IN NO WAY SUPERCEDE THE DETAILED INFORMATION CONTAINED WITHIN THE CONTRACT DOCUMENTS.)

CODE NOTES

ALL CONSTRUCTION AND INSTALLATION SHALL CONFORM TO THE CURRENT EDITIONS OF ALL STATE AND LOCAL REGULATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING CALIFORNIA CODES: BUILDING (2013 CBC & SF BUILDING CODE), MECHANICAL (2013 CMC), PLUMBING (2013 CFC), ELECTRICAL (2013 CEC), ENERGY (2013 CALIF ENERGY CODE)

VICINITY MAP (NOT TO SCALE)

Project Location:
 1948 Pacific Ave.
 San Francisco

ARCHITECTURAL SYMBOLS

	BUILDING ELEVATION NUMBER SHEET NUMBER		DETAIL NUMBER SHEET NUMBER
	BUILDING SECTION NUMBER SHEET NUMBER		WALL RATING SHEET NUMBER
	INTERIOR ELEVATION NUMBERS SHEET NUMBER		REFERENCE NOTE
	FLOOR ELEVATION OR DIMENSION POINT		REVISION

LICENSED ARCHITECT
 JOHN J. DUFFY
 C-28303
 09/17
 RENEWAL DATE
 STATE OF CALIFORNIA
 11-03-15

THE BUILDING DESIGN GROUP
 4620 BEN HUR ROAD
 MARIPOSA, CA 95338
 T. 209 966 5000 F. 966 5959

BDG

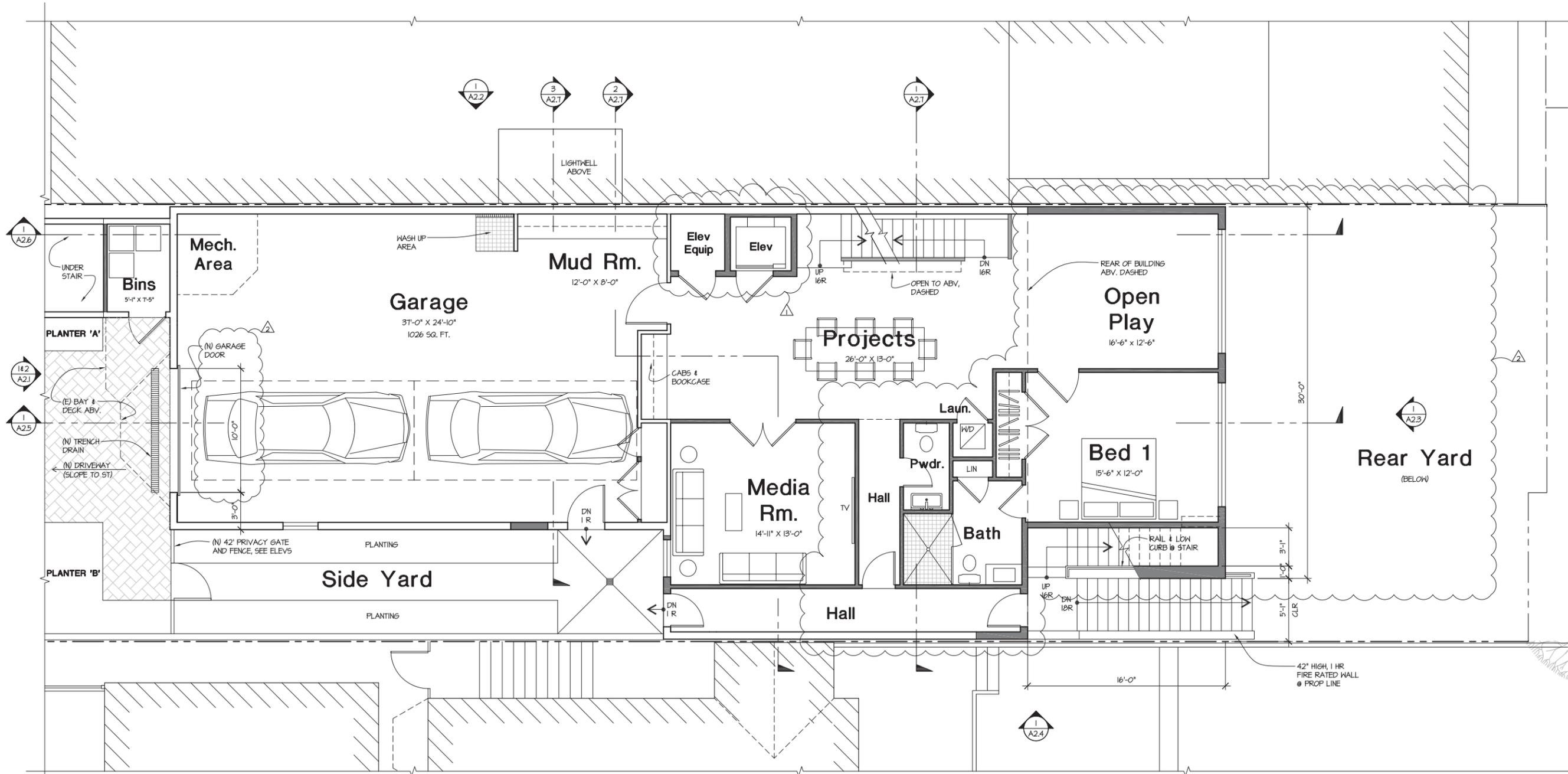
LICENSED ARCHITECT
 JOHN J. DUFFY
 C-28303
 09/17
 RENEWAL DATE
 STATE OF CALIFORNIA
 11-03-15

Project: Pancha-McGrath Residence
 1948 Pacific Ave.
 San Francisco, CA 94109
 Block # 0577 Lot # 004

Contents: PROPOSED PLOT PLAN, PROJECT INFORMATION

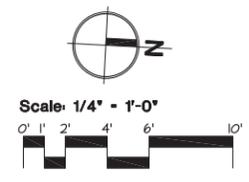
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© 2012 - John Duffy, Architect



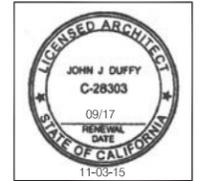
Proposed First Floor Plan - (1540 sf)
1/4"=1'-0"

CONSTRUCTION LEGEND	
	(E) ITEMS / WALLS TO REMAIN
	(N) ITEMS / WALL CONSTRUCTION



DATE: 02-15-15
JOB: 1504 - PACHEA MGR
DRAWN: J. DUFFY
REVISED: 02-15-15

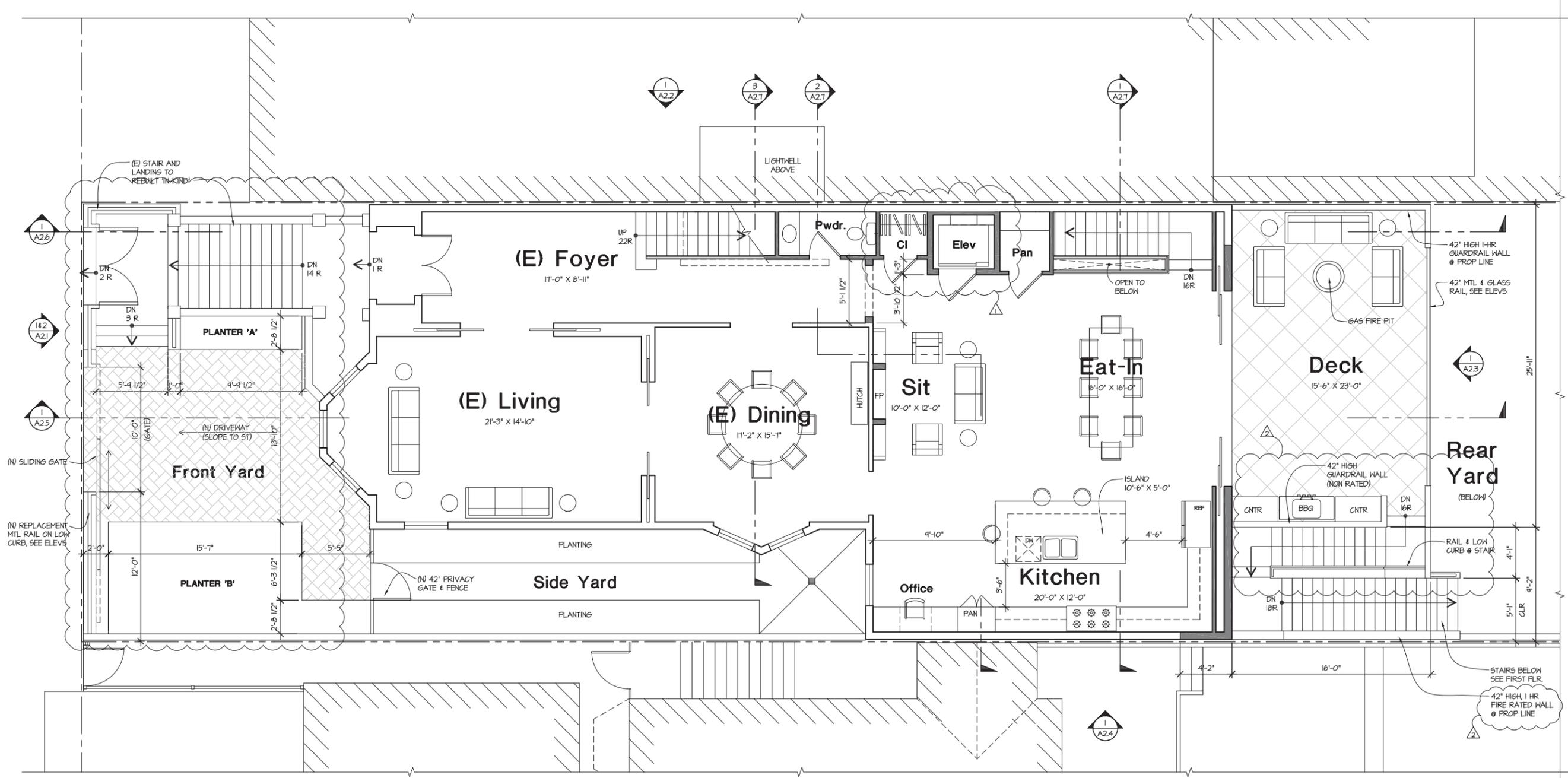
THE BUILDING DESIGN GROUP
4620 BEN HUR ROAD
MARIPOSA, CA 95338
T. 209.966.5000 F. 966.5959



Project: Pancha-McGrath Residence
1948 Pacific Ave.
San Francisco, CA 94109
Block # 0577 Lot # 004

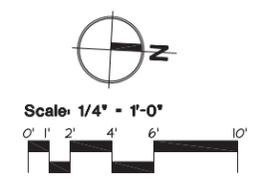
Contents:
PROPOSED FLOOR PLAN: FIRST FLOOR

Sheet #
A1.2
© 2012 - John Duffy, Architect



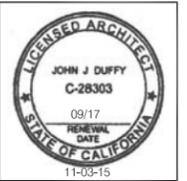
1 Proposed Second Floor Plan - (2080 sf)
1/4"=1'-0"

CONSTRUCTION LEGEND	
	(E) ITEMS / WALLS TO REMAIN
	(N) ITEMS / WALL CONSTRUCTION



DATE: 02-15-15
JOB: 0004 - PACIFIC AVE.
DRAWN: J. DUFFY
REVISED: 02-15-15

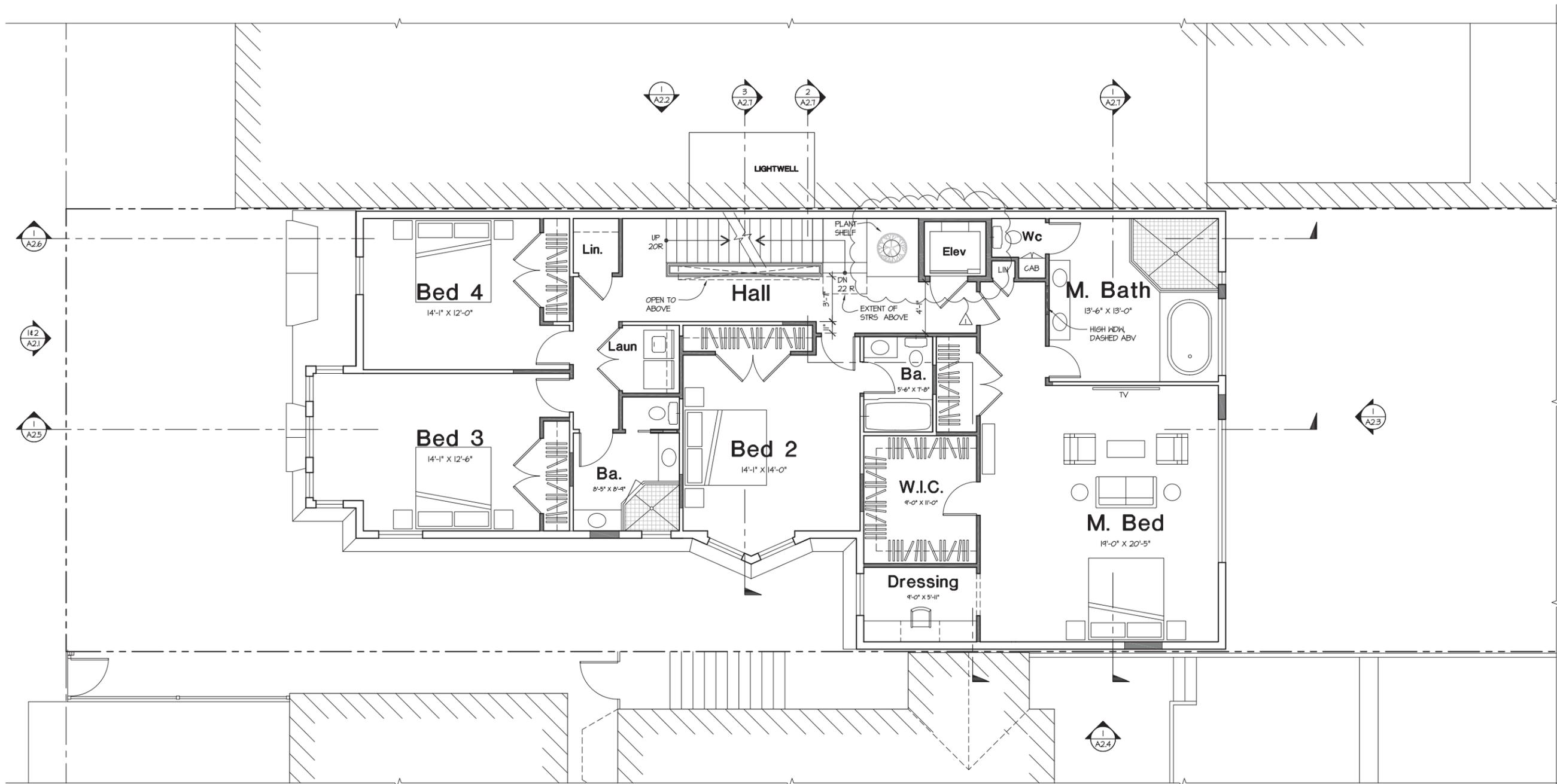
THE BUILDING DESIGN GROUP
4620 BEN HUR ROAD
MARIPOSA, CA 95338
T. 209.966.5000 F. 966.5959



Project:
Pancha-McGrath Residence
1948 Pacific Ave.
San Francisco, CA 94109
Block # 0577 Lot # 004

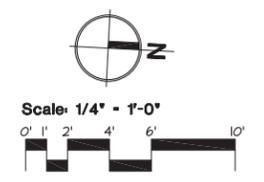
Contents:
PROPOSED FLOOR PLAN:
SECOND FLOOR

Sheet #
A1.3



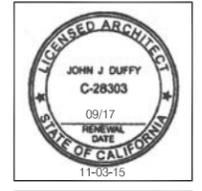
1 Proposed Third Floor Plan - (2025 sf)
1/4"=1'-0"

CONSTRUCTION LEGEND	
	(E) ITEMS / WALLS TO REMAIN
	(N) ITEMS / WALL CONSTRUCTION



DATE	12-24-14	PLANNING APP
JOB	25-1615	SITE PERMIT APP
DRAWN	10004	PROJ. ENG. AVE.
REVISED	1002-28-15	PLAN / DIST. REV'S

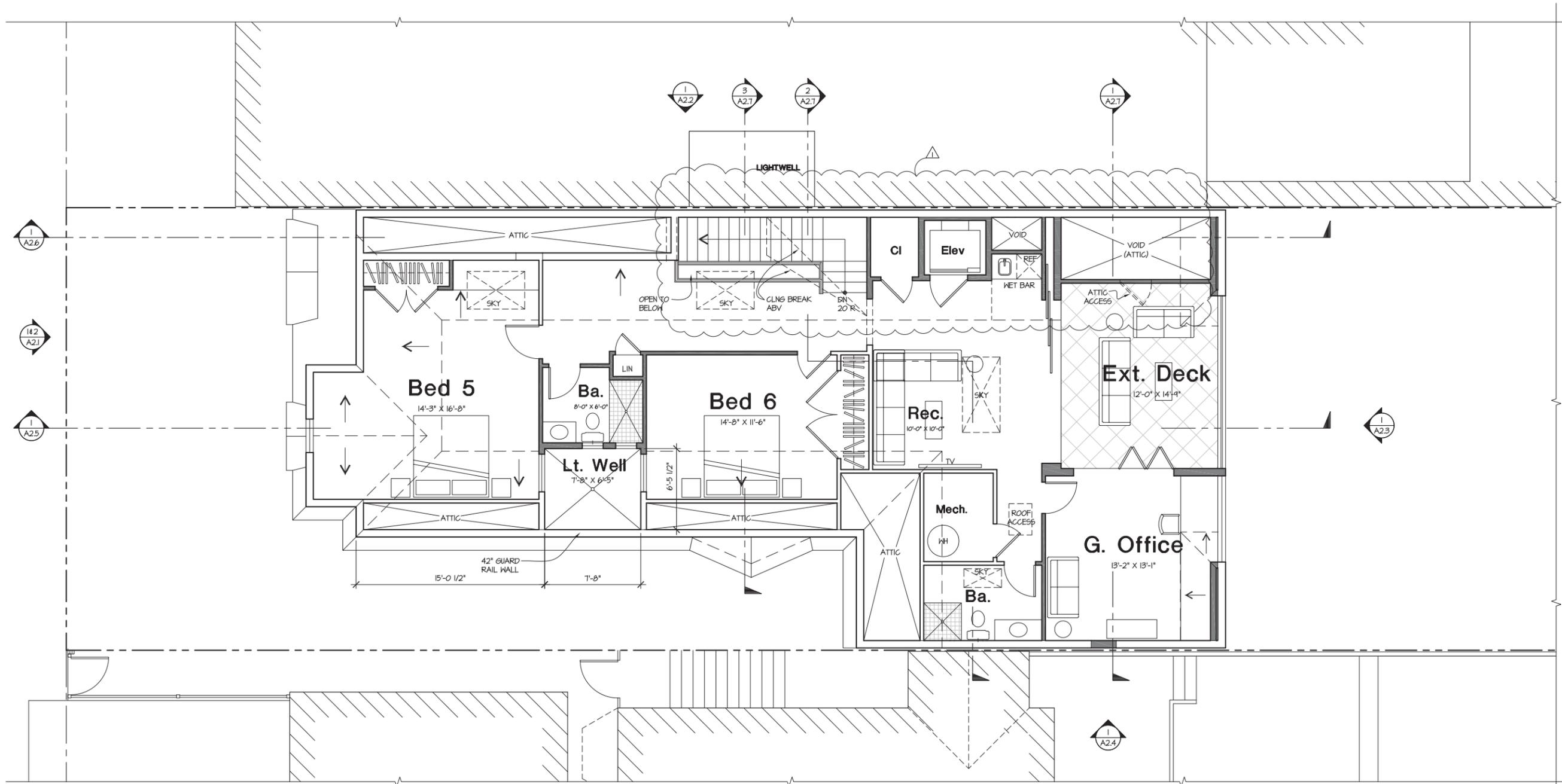
THE BUILDING DESIGN GROUP
4620 BEN HUR ROAD
MARIPOSA, CA 95338
T. 209.966.5000 F. 966.5959



Project:
Pancha-McGrath Residence
1948 Pacific Ave.
San Francisco, CA 94109
Block # 0577 Lot # 004

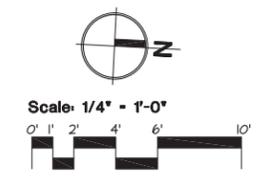
Contents:
PROPOSED FLOOR
PLAN: THIRD FLOOR

Sheet #
A1.4
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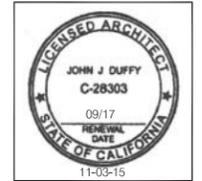
1 Proposed Fourth Floor Plan - (1498 sf)
1/4"=1'-0"

CONSTRUCTION LEGEND	
	(E) ITEMS / WALLS TO REMAIN
	(N) ITEMS / WALL CONSTRUCTION



DATE	12-24-14	PLANNING APP
JOB	05-16-15	SITE PERMIT APP
DRAWN	1004	PACIFIC AVE.
REVISED	1008-28-15	PLAN / DIST REV'S

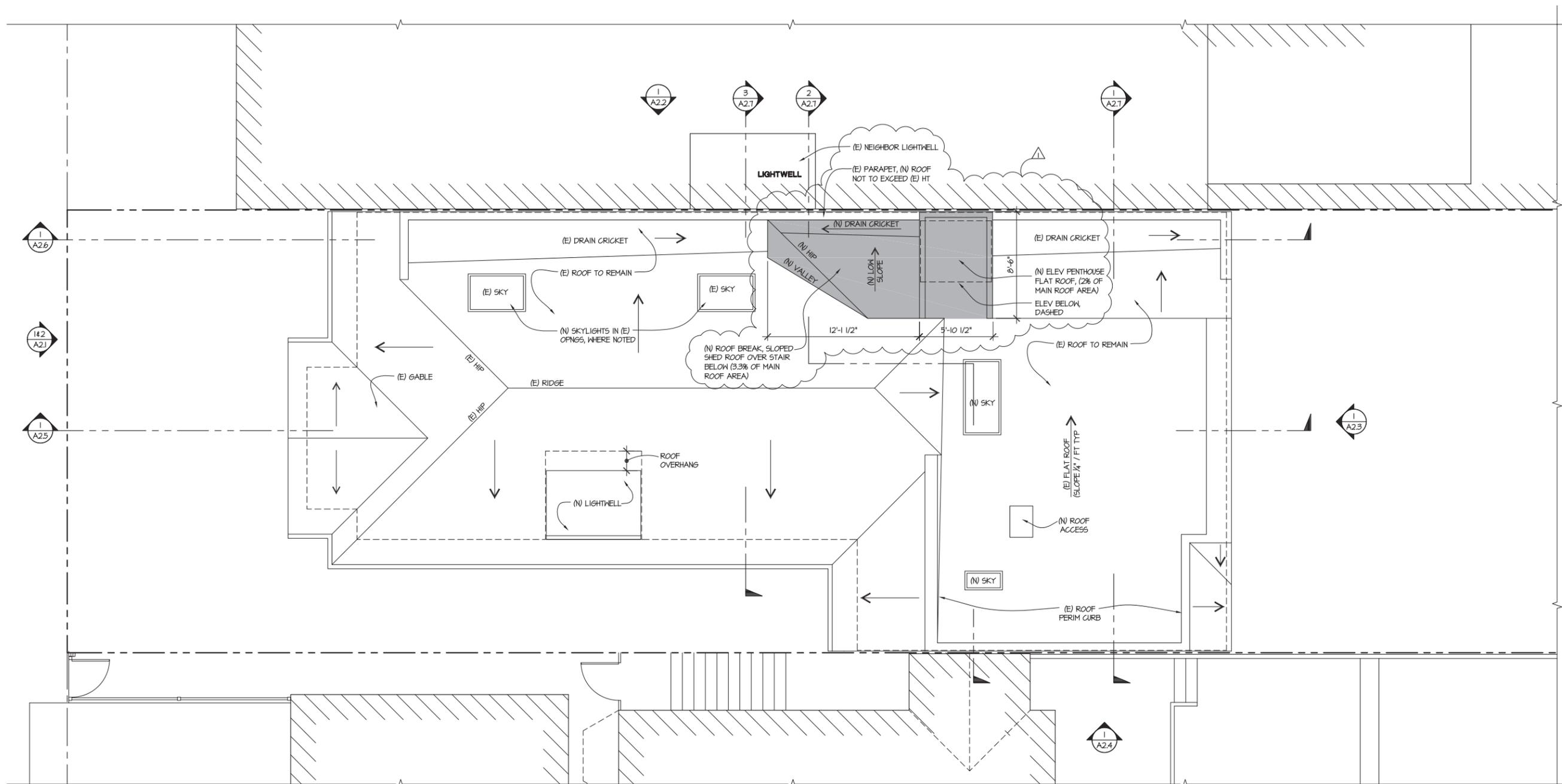
THE BUILDING DESIGN GROUP
 4620 BEN HUR ROAD
 MARIPOSA, CA 95338
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Project:
 Pancha-McGrath Residence
 1948 Pacific Ave.
 San Francisco, CA 94109
 Block # 0577 Lot # 004

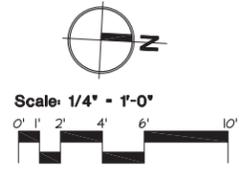
Contents:
 PROPOSED FLOOR
 PLAN: FOURTH
 FLOOR

Sheet #
 A1.5



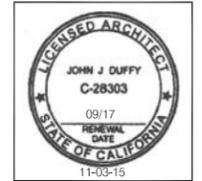
Proposed Roof Plan
1/4"=1'-0"

CONSTRUCTION LEGEND	
	(E) ITEMS / WALLS TO REMAIN
	(N) ITEMS / WALL CONSTRUCTION



DATE: _____
 JOB: _____
 DRAWN: _____
 REVISED: _____

THE BUILDING DESIGN GROUP
 4620 BEN HUR ROAD
 MARIPOSA, CA 95338
 T. 209 966 5000 F. 966 5959



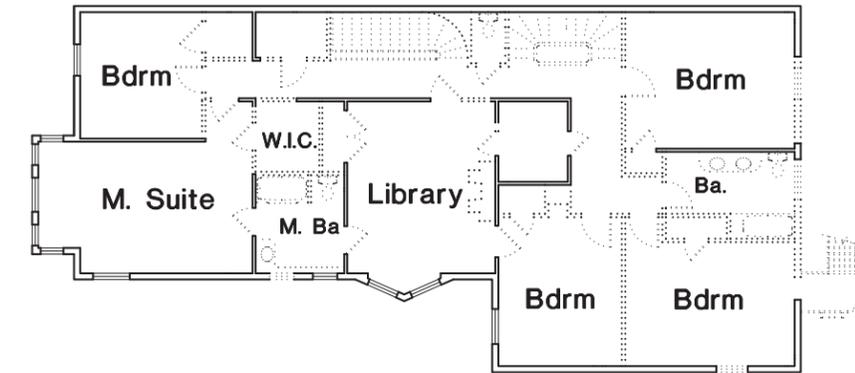
Project:
 Pancha-McGrath Residence
 1948 Pacific Ave.
 San Francisco, CA 94109
 Block # 0577 Lot # 004

Contents:
PROPOSED ROOF PLAN

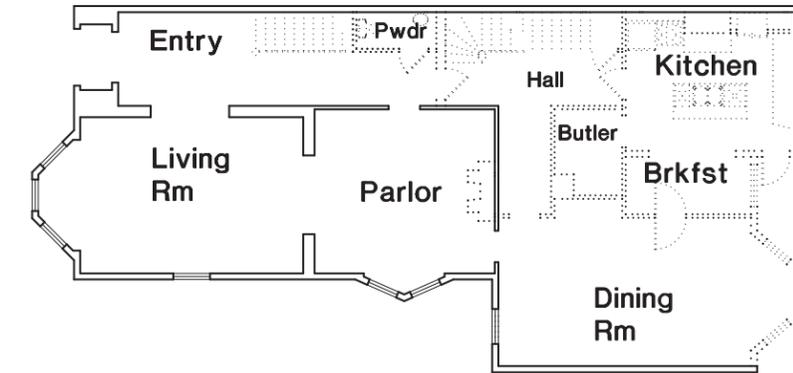
Sheet #
A1.6

PROPOSED DEMOLITION

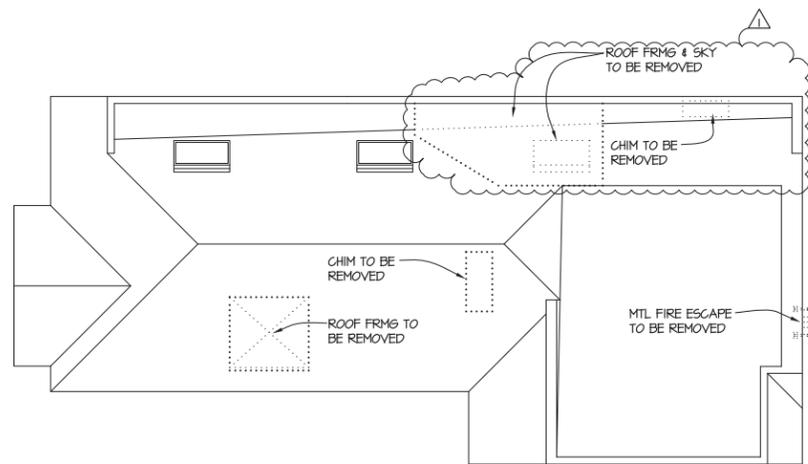
DEMO LEGEND	
	(E) ITEMS / WALLS TO BE REMOVED
	(E) ITEMS / WALLS TO REMAIN



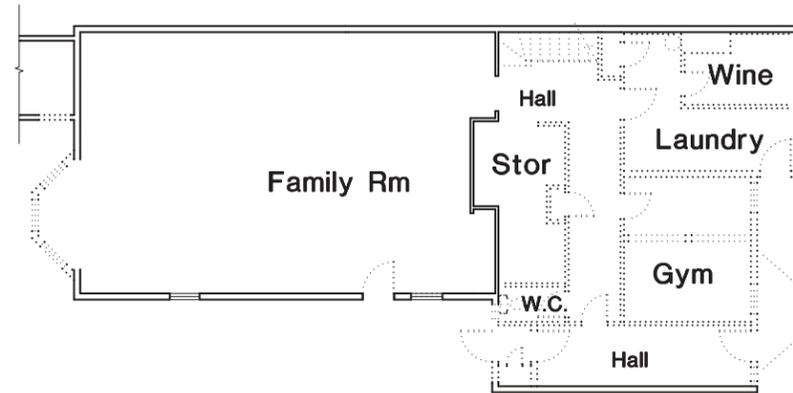
3 Demo Plan - Third Floor
1/8"=1'-0"



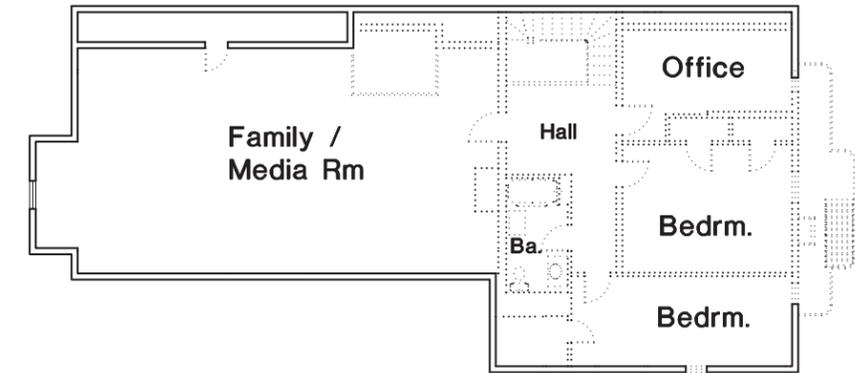
2 Demo Plan - Second Floor
1/8"=1'-0"



5 Demo Plan - Roof
1/8"=1'-0"



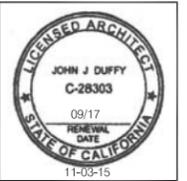
1 Demo Plan - First Floor
1/8"=1'-0"



4 Demo Plan - Fourth Floor
1/8"=1'-0"

DATE: 02-15-15
JOB: 1948 PACIFIC AVE.
DRAWN: J. DUFFY
REVISED: 02-28-15 PLAN / LIST REVS

THE BUILDING DESIGN GROUP
4620 BEN HUR ROAD
MARIPOSA, CA 95338
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Project: Pancha-McGrath Residence
1948 Pacific Ave.
San Francisco, CA 94109
Block # 0577 Lot # 004

Contents: DEMOLITION PLANS

Sheet # A1.7



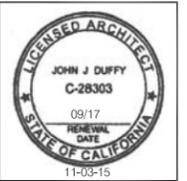
2 PROPOSED SOUTH ELEVATION (FRONT)
3/16"=1'-0"



1 PROPOSED SOUTH ELEVATION - STREETSCAPE
3/16"=1'-0"

DATE: 02-28-15
JOB: 0004 - PACIFIC AVE.
DRAWN: J. DUFFY
REVISED: 02-28-15 PLAN / DIST REVS

THE BUILDING DESIGN GROUP
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Project: Pancha-McGrath Residence
1948 Pacific Ave.
San Francisco, CA 94109
Block # 0577 Lot # 004

Contents: PROPOSED ELEV.: SOUTH & STREETSCAPE

Sheet # A2.1



1 PROPOSED NORTH ELEVATION (REAR)
3/16/11-07

LICENSE PLANNING APP
 05-1616 SITE PERMIT APP
 0004 - PACIFIC AVE.
 05-2015 PLANNING
 0004 - PACIFIC AVE.
 05-2015 PLANNING
 0004 - PACIFIC AVE.

Date:
 Job:
 Drawn:
 Revised:

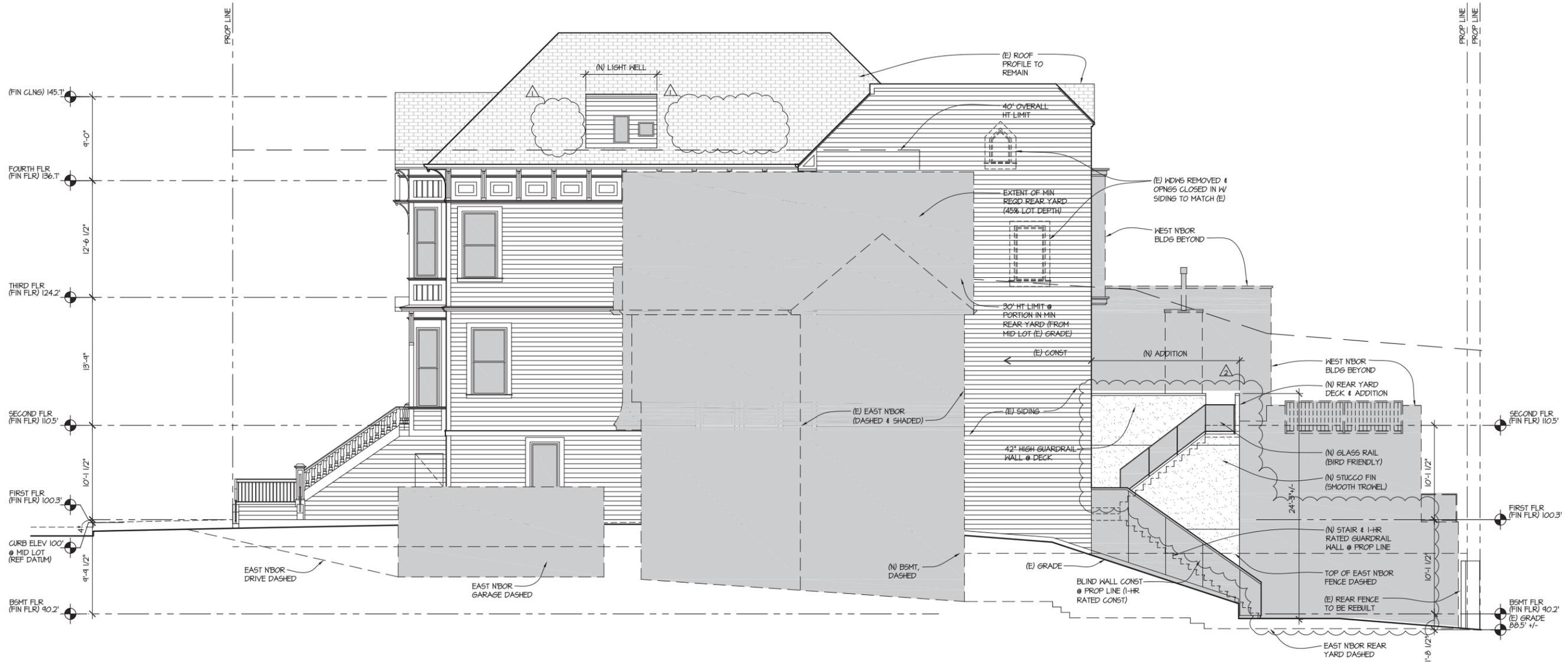
THE BUILDING DESIGN GROUP
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 T. 209.966.5000 F. 966.5959



Project:
Pancha-McGrath Residence
 1948 Pacific Ave.
 San Francisco, CA 94109
 Block # 0577 Lot # 004

Contents:
**PROPOSED NORTH
 ELEVATION**

Sheet #
A2.3



1 PROPOSED EAST ELEVATION
3/16"=1'-0"

DATE	12-28-16	PLANNING APP
DATE	02-16-16	SITE PERMIT APP
DATE	10-04-16	PERMITS
DATE	02-28-17	FINAL PERMITS
DATE	02-28-17	FINAL PERMITS

Date:
Job:
Drawn:
Revised:

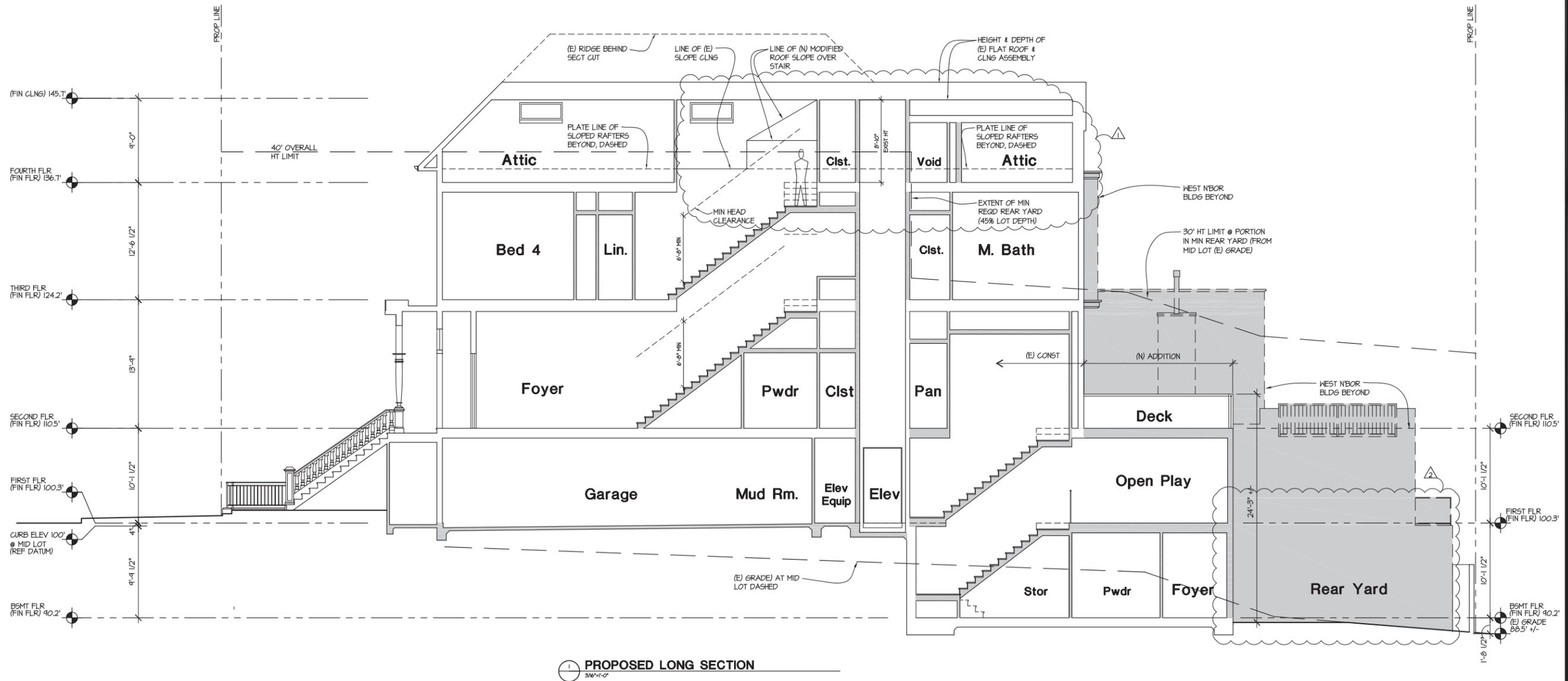
THE BUILDING DESIGN GROUP
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MARIPOSA, CA 95338
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Project:
Pancha-McGrath Residence
1948 Pacific Ave.
San Francisco, CA 94109
Block # 0577 Lot # 004

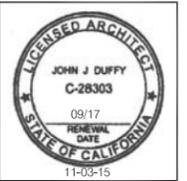
Contents:
PROPOSED EAST ELEVATION

Sheet #
A2.4



DATE	12-24-14
JOB	05-1616 SITE PERMIT APP
DRAWN	BDG - PACIFIC AVE.
REVISIONS	02-28-15 PLAN LIST REVISED
	03-02-15 PERMIT PLANING

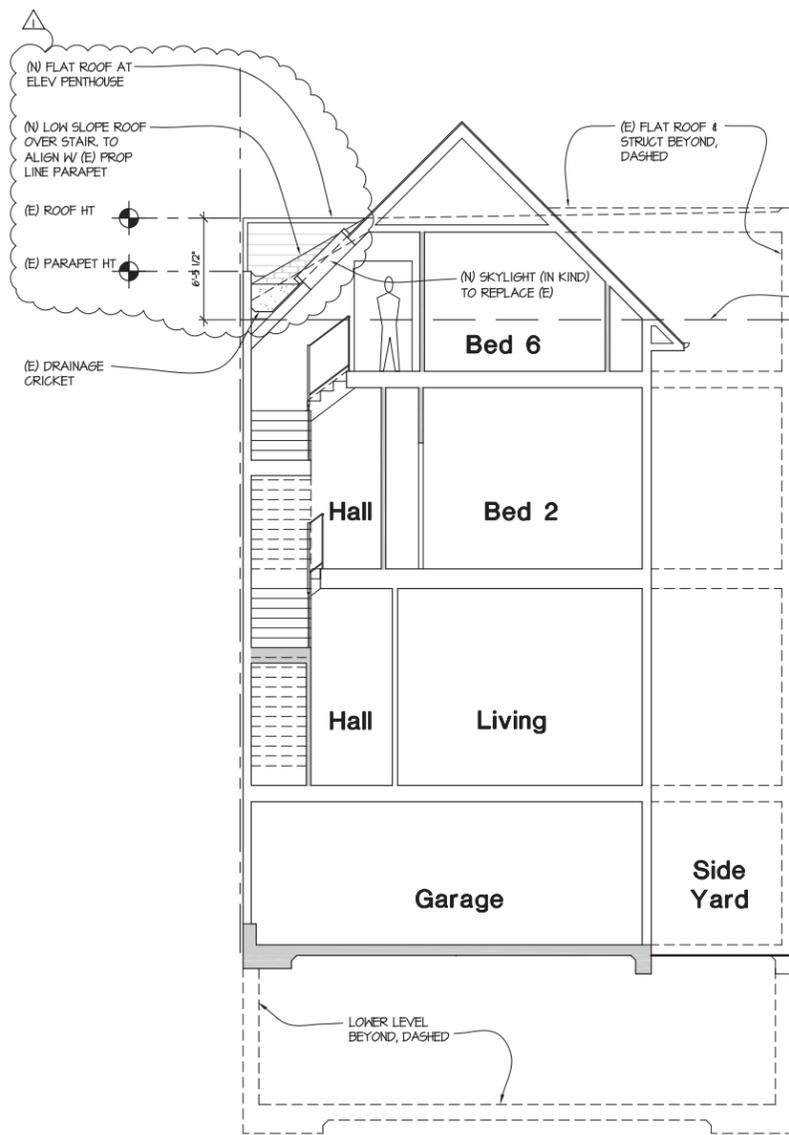
THE BUILDING DESIGN GROUP
 4620 BEN HUR ROAD
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 T. 209 966 5000 F. 966 5959



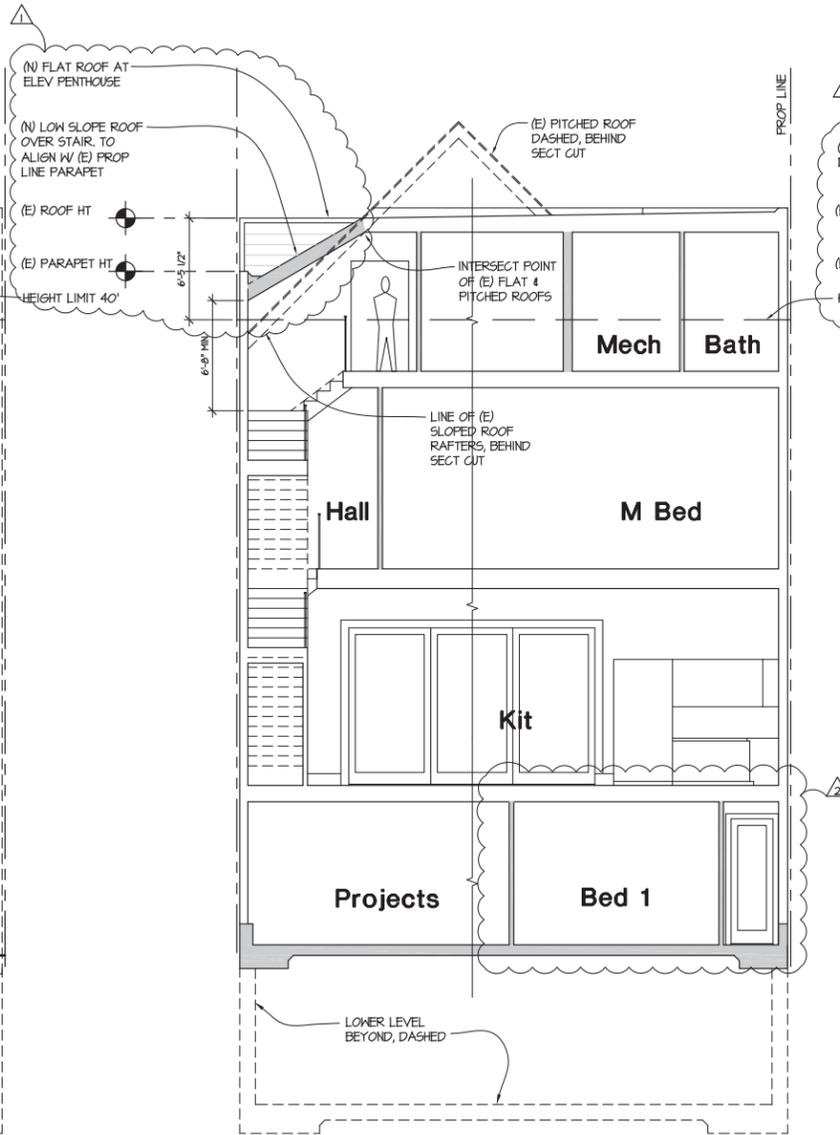
Project: Pancha-McGrath Residence
 1948 Pacific Ave.
 San Francisco, CA 94109
 Block # 0577 Lot # 004

Contents:
PROPOSED LONG SECTION

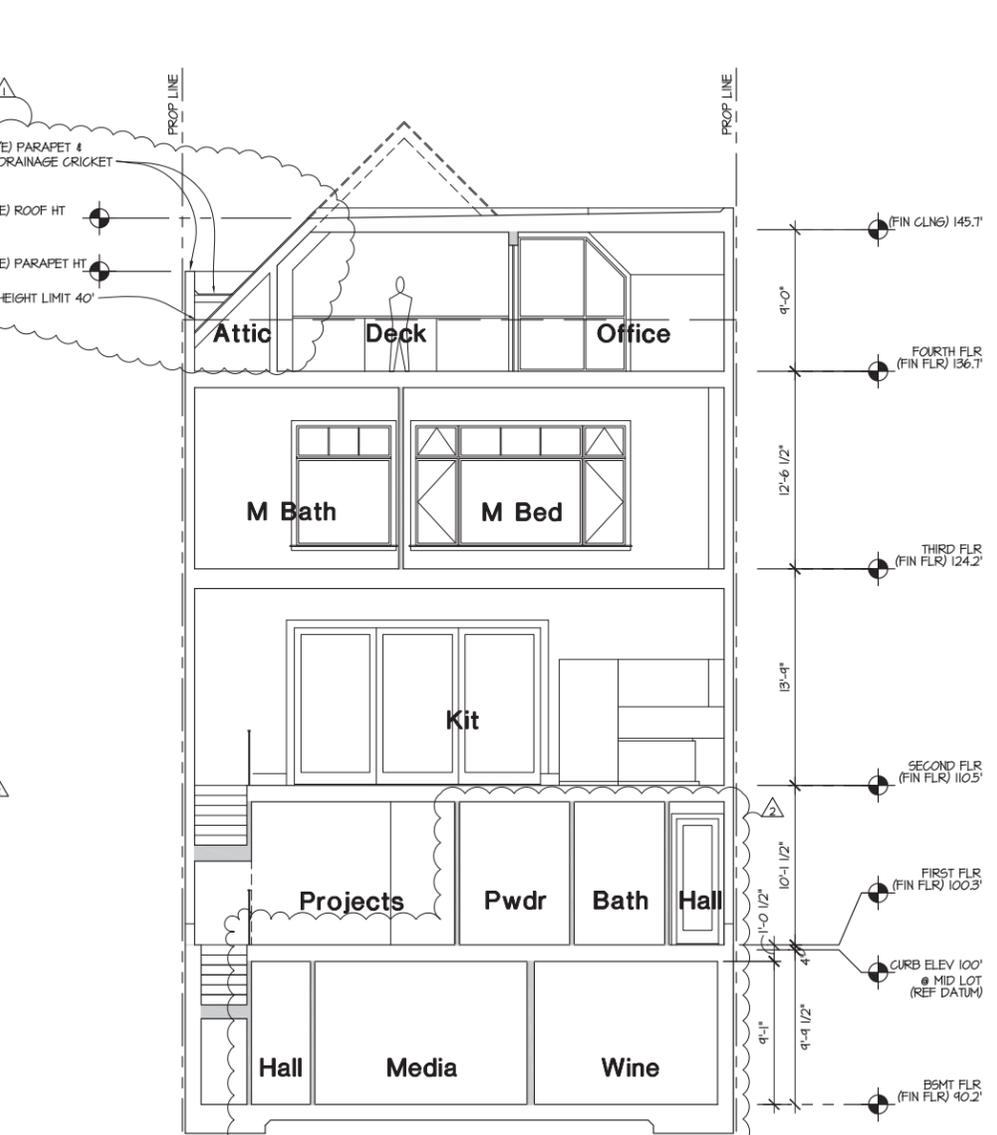
Sheet #
A2.6



3 PROPOSED CROSS SECTION
3/8"=1'-0"



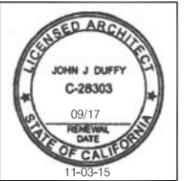
2 PROPOSED CROSS SECTION
3/8"=1'-0"



1 PROPOSED CROSS SECTION
3/8"=1'-0"

DATE: 02-15-15
JOB: 14004 - PACIFIC AVE.
DRAWN: J. DUFFY
REVISED: 02-25-15
SCALE: AS SHOWN

THE BUILDING DESIGN GROUP
4620 BEN HUR ROAD
MARIPOSA, CA 95338
T. 209.966.5000 F. 966.5959



Project:
Pancha-McGrath Residence
1948 Pacific Ave.
San Francisco, CA 94109
Block # 0577 Lot # 004

Contents:
PROPOSED CROSS SECTIONS

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