



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

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Information:
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**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 28, 2017**
 Time: **Not before 9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 17 Grace Street	Case No.: 2014-002016VAR
Cross Streets: Howard St & Mission St	Building Permit: 2016.01.12.6879
Block /Lot No.: 3509/026	Applicant: Juancho Isidoro
Zoning District: RED-MX / 45-X	Telephone: (415) 747-4776
Area Plan: Western SoMa	E-Mail: i.DesignArch8@gmail.com

PROJECT DESCRIPTION

The proposed project is to construct a four-story, 45-foot tall residential building on an approximately 2,831 square-foot lot. The proposed 10,463 gross square foot building includes 11 dwelling units, 11 Class 1 and two Class 2 bicycle parking spaces, and no automobile parking. This Project is located adjacent to another proposal for the development of a similar four-story, 45-foot tall residential building located at 15 & 23 Grace Street (lots 024 & 025).

PER PLANNING CODE SECTION 134, the subject property is required to maintain a rear yard setback of 28 feet, 4 inches as measured from the rear property line. Though the proposal includes an inner courtyard of 35 feet, 2 inches in length and 20 feet, 4 inches in width, the building is proposed to be built to the rear property line within the rear yard setback; therefore, a variance is required.

PER PLANNING CODE SECTION 140, all dwelling units must face directly on a qualifying open area in order to meet exposure. A total of two proposed dwelling units face onto an open area that is only 20 feet, 4 inches wide, which is not a qualifying open area; therefore a variance is required.

ADDITIONAL INFORMATION

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2014-002016VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:
 Planner: **Jonathan DiSalvo** Telephone: **(415) 575-9182** E-Mail: **jonathan.disalvo@sfgov.org**

GENERAL INFORMATION ABOUT PROCEDURES

HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 312, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. The mailing of such notification will be performed separately.

APPEAL INFORMATION

An appeal of the approval (or denial) of a **Variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

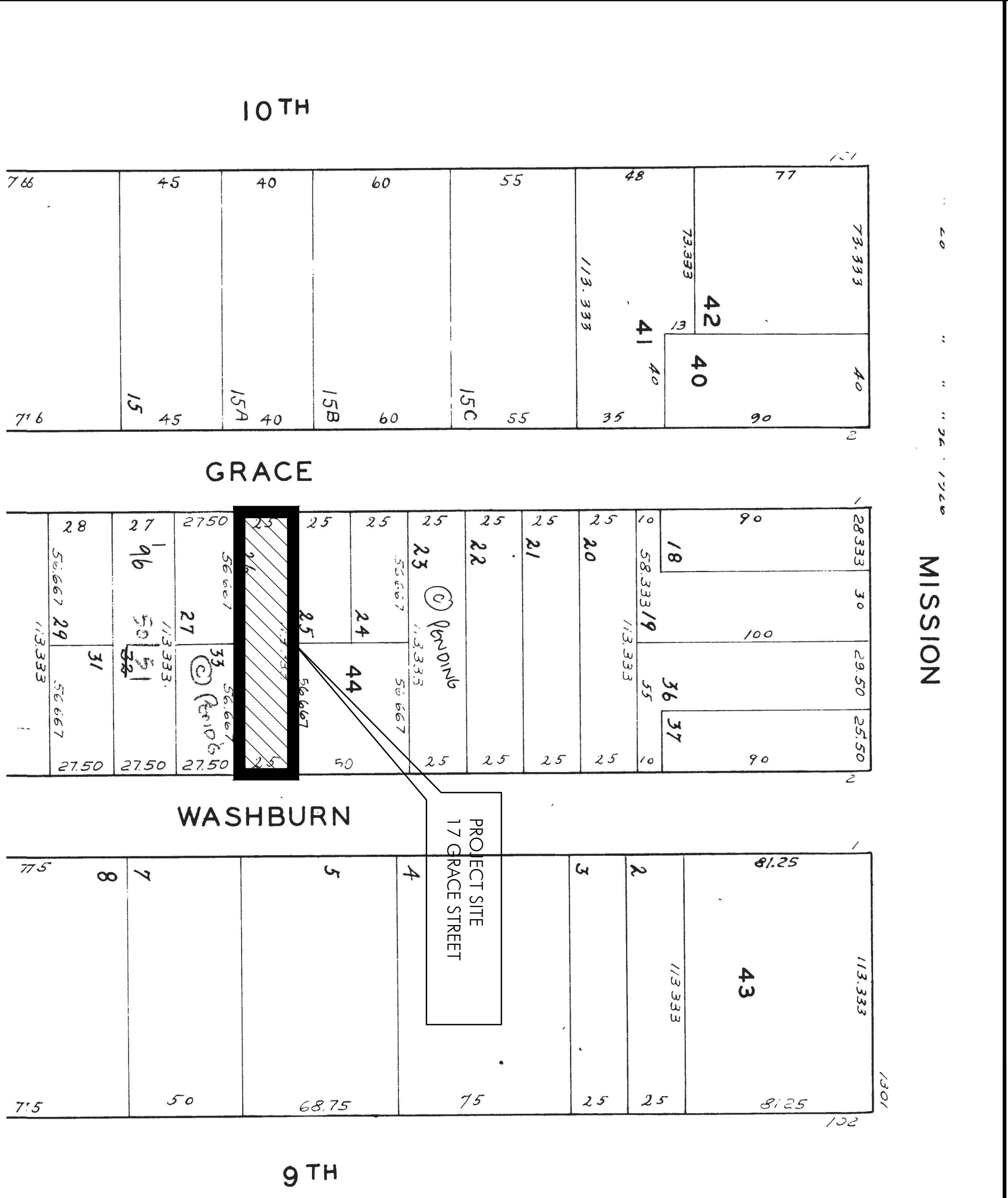
An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

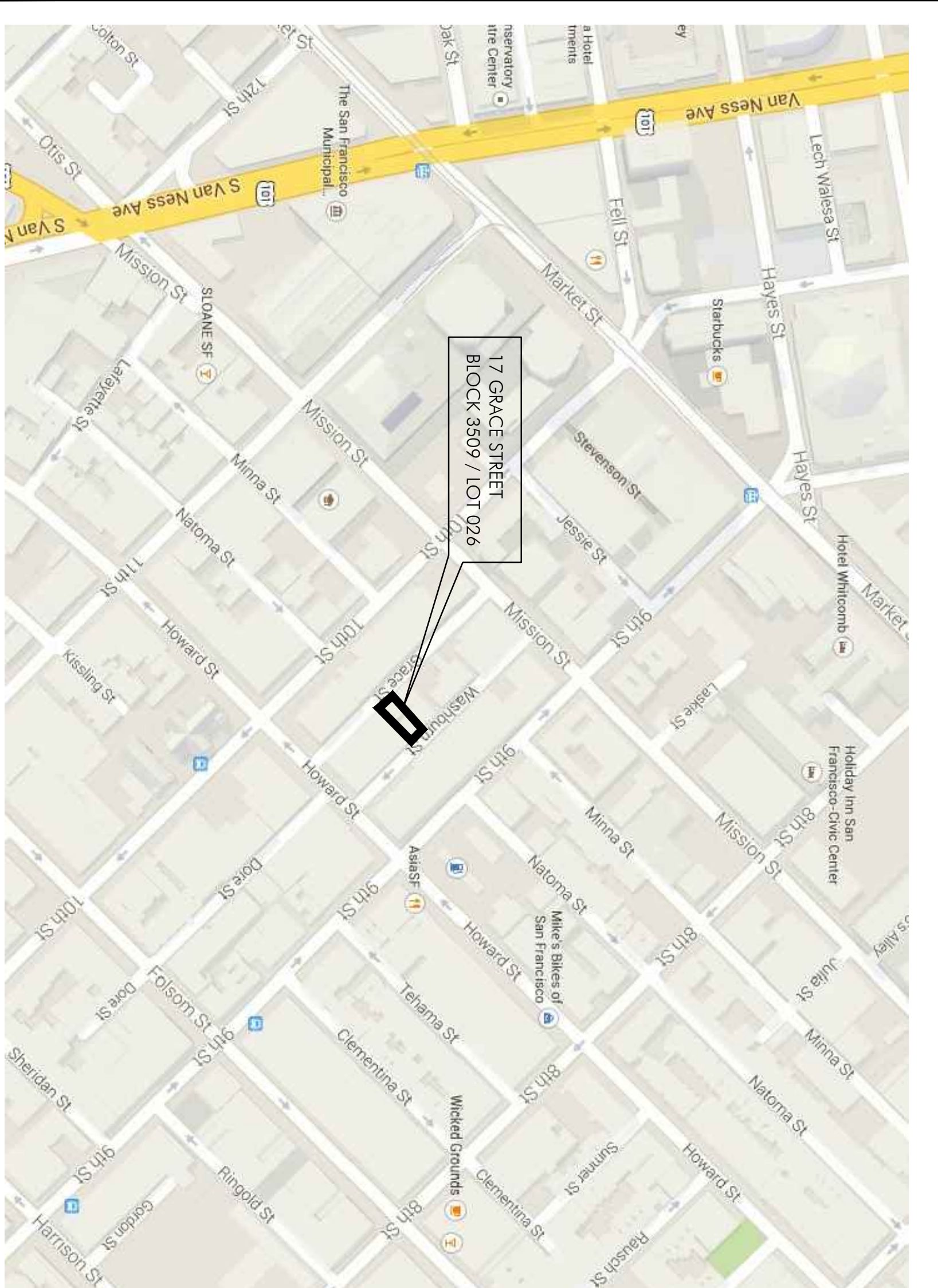
17 GRACE STREET

SAN FRANCISCO, CALIFORNIA 94103

ASSESSOR MAP



VICINITY MAP



PLANNING DATA

BLOCK / LOT NOS:	BLOCK 3509 / LOT 026				
LOT AREA:	2,839.25 S.F.				
ZONING DISTRICT:	RD-MX - RESIDENTIAL ENCLAVE - MIXED				
HEIGHT LIMIT:	45 X				
NUMBER OF RESIDENTIAL UNITS PROPOSED:	11 UNITS				
GROSS SQUARE FOOTAGE					
FLOOR	OCCUPANCY	AREA (G.S.F.)			
GROUND FLOOR	R-2	1,904 G.S.F.			
2ND FLOOR	R-2	2,168 G.S.F.			
3RD FLOOR	R-2	2,168 G.S.F.			
4TH FLOOR	R-2	2,148 G.S.F.			
ROOF	R-2	0 G.S.F.			
TOTAL GROSS RESIDENTIAL AREA: 8,388 G.S.F.					
RESIDENTIAL UNIT MIX / TABLE FOR INCLUSIONARY AFFORDABLE HOUSING					
FLOOR	UNIT NO.	AREA	STUDIO	1-BEDROOM	2-BEDROOM
GROUND FLOOR	101	464 G.S.F.		■	
	102	298 G.S.F.	■		
	103 (BMR)	396 G.S.F.		■	
2ND FLOOR	201	452 G.S.F.		■	
	202	283 G.S.F.			■
	203	689 G.S.F.			■
3RD FLOOR	301	452 G.S.F.		■	
	302	283 G.S.F.			■
	303	689 G.S.F.			■
4TH FLOOR	401	714 G.S.F.			■
	402	689 G.S.F.			■
TOTAL UNITS			3	4	4
TOTAL AREA OF 1-BEDROOM UNITS = 1,298 G.S.F. 1,298 G.S.F. / 4 UNITS = 440 G.S.F. X 90% = 396 G.S.F. BMR UNIT 103 = 396 G.S.F. = AVERAGE UNIT SIZE					

BUILDING DATA

PROJECT ADDRESS:	17 GRACE STREET SAN FRANCISCO, CA 94103		
PROJECT DESCRIPTION:	CONSTRUCT A NEW 4-STORY RESIDENTIAL BUILDING W/ 11 RESIDENTIAL UNITS		
CONSTRUCTION TYPE:	TYPE III-A (@ 2ND-4TH FLOORS) OVER TYPE I-B		
SPRINKLER PROTECTION:	YES FULLY AUTOMATIC SPRINKLERS		
<p>THE DEPARTMENT NOTES: SPRINKLERS AND STANDPIPE REQUIRED PER NFPA 13, 14 AND 24 2013 EDITIONS. FIRE ALARM AND SPRINKLER MONITORING SYSTEM REQUIRED PER NFPA 72 THROUGHOUT. THE SPRINKLER AND FIRE ALARM SYSTEMS WILL NEED TO PROVIDE SPRINKLER WATER FLOW AND MONITORING VALVES ON EACH FLOOR. ELEVATOR RECALL DOORS AT ELEVATOR AND FIRE SMOKE DUMPERS ARE REQUIRED TO BE CONNECTED TO THE ALARM SYSTEM.</p> <p>PROVIDE WIRE TO MAKE ALL UNITS ADAPTABLE FOR HANDICAPPED ALARM</p>			
GROSS FLOOR AREA			
FLOOR	CONSTRUCTION TYPE	OCCUPANCY	GROSS AREA
GROUND FLOOR	I-B	R-2 (RESID)	1,904 S.F.
SECOND FLOOR	III-A	R-2 (RESIDENTIAL)	2,168 S.F.
THIRD FLOOR	III-A	R-2 (RESIDENTIAL)	2,168 S.F.
FOURTH FLOOR	III-A	R-2 (RESIDENTIAL)	2,148 S.F.
ROOF DECK FLOOR	III-A	R-2 (RESIDENTIAL)	0 S.F.
GROSS BUILDING AREA			8,388 S.F.
BASE ALLOWABLE AREA PER FLOOR PER CBC TABLE 503 FOR TYPE I-A	BASIC	INCREASE ALLOWABLE PER SEC. 506.3	72,000
R-2	24,000		
BASE ALLOWABLE HEIGHT & STORES PER CBC TABLE 503 FOR TYPE I-A	BASIC	INCREASE ALLOWABLE PER SEC. 506.3	
R-2	65 FEET HEIGHT / 4 STORES	85 FEET HEIGHT / 5 STORES	
<p>FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS FOR TYPE I-A CONSTRUCTION PER TABLE 601:</p> <p>PRIMARY STRUCTURAL FRAME 1-HR INTERIOR BEARING WALLS 2-HR INT. NON-BEARING WALLS 1-HR FLOOR CONSTRUCTION 1-HR ROOF CONSTRUCTION 1-HR</p> <p>*TABLE 601, FOOT NOTE D: AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 SHALL BE ALLOWED TO BE SUBSTITUTED FOR 1-HOUR FIRE RESISTANCE-RATED CONSTRUCTION, PROVIDED SUCH SYSTEM IS NOT OTHERWISE REQUIRED BY OTHER PROVISIONS OF THE CODE OR USED FOR AN ALLOWABLE AREA INCREASE IN ACCORDANCE WITH SECTION 506.3 OF AN ALLOWABLE HEIGHT INCREASE IN ACCORDANCE WITH SECTION 504.2. THE 1-HOUR SUBSTITUTION FOR THE FIRE RESISTANCE OF EXTERIOR WALLS SHALL NOT BE PERMITTED.</p> <p>THE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE FOR TYPE I-B CONSTRUCTION PER TABLE 602:</p>			

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A0.01	ARCHITECTURAL
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A0.02	COVER SHEET 2 - GENERAL NOTES / TYPICAL SYMBOLS / ABBREVIATIONS
A0.03	ADMINISTRATIVE BULLETIN AB-009 - PROPERTY LINE WINDOWS
A0.04	GREEN BUILDING ATTACHMENT C-2
A0.05	TYPICAL ACCESSIBILITY DETAIL & NOTES
A0.06	TYPICAL ACCESSIBILITY DETAIL & NOTES
A0.07	TYPICAL ACCESSIBILITY DETAIL & NOTES
A0.08	TYPICAL ACCESSIBILITY DETAIL & NOTES
A0.09	TYPICAL ACCESSIBILITY DETAIL & NOTES
A0.10	EXIT / ACCESSIBLE PATH OF TRAVEL / OCCUPANCY LOAD CALCULATIONS
A0.11	PROP. M. FININGS, & TREE PLANTING AND PROTECTION CHECKLIST
A0.12	BICYCLE STORAGE / NOTES & DETAILS
A0.13	GROSS SQUARE FOOTAGE CALCULATION
1 OF 1	ARCHITECTURAL SITE SURVEY
A1.0	EXISTING SITE PLAN
A1.1	PROPOSED SITE PLAN
A1.2	PROPOSED GROUND & SECOND FLOOR PLANS
A1.3	PROPOSED THIRD & FOURTH FLOOR PLANS
A1.4	PROPOSED ROOF PLAN
A2.0	PROPOSED NORTH & EAST ELEVATION
A2.1	PROPOSED SOUTH & WEST ELEVATION
A3.0	PROPOSED BUILDING SECTION

PROJECT TEAM

PROJECT SPONSOR:	15-23 GRACE STREET, LLC P.O. BOX 1610 SAN BRUNO, CA 94066 CONTACT: SYVESTER CAVALAN cavalan@pmail.com
DESIGNER:	LIJIANCHO C. RIBORO, JR. 1230 HOWARD STREET SAN FRANCISCO, CA 94103 T: (415) 747-4776 l.riboroch@pmail.com
STRUCTURAL ENGINEER:	ENERGIA STRUCTURAL ENGINEERS 1167 MISSION STREET, FLOOR 1 SAN FRANCISCO, CA 94103 CONTACT: JEFFERSON CHEN, M.S., P.E. jchen@energiasd.com
SUPERVISOR:	LANFORD LAND SUPERVISING 4203 MACARTHUR BLVD. OAKLAND, CA 94610 CONTACT: RICHARD L. LANGFORD rlangford@slgglobal.net
MECHANICAL/TITLE 24 ENERGY:	T.B.D.
GENERAL CONTRACTOR:	T.B.D.

SCOPE OF WORK

CONSTRUCT A NEW 4-STORY RESIDENTIAL BUILDING W/ 11 RESIDENTIAL UNITS

PERMITS TO BE ISSUED SEPARATELY

- ELECTRICAL
- PLUMBING
- FIRE SPRINKLER SYSTEM/STANDPIPE
- FIRE ALARM SYSTEM
- SIDEWALK IMPROVEMENT

17 GRACE STREET

SAN FRANCISCO, CA 94103

01.11.16	SITE PERMIT
06.14.16	REVISION PER NODPR #1
12.06.16	PLANNING DEPT. DESIGN REVIEW
03.02.17	VARIANCE APP. SUBMITTAL
04.28.17	PLANNING DEPT. SUBMITTAL
05.16.17	UNIT AREA REVISIONS
06.07.17	CONFIRM BMR UNIT

DESIGNER:

DATE: _____ CHECKED BY: _____

SCALE: _____

SHEET TITLE: COVER SHEET 1
PLANNING DATA / BUILDING DATA

SHEET NUMBER: _____

A0.01

VARIANCE

JOB NUMBER: _____ DRAWN BY: _____

DATE: _____ CHECKED BY: _____

SCALE: _____

SHEET TITLE: COVER SHEET 1
PLANNING DATA / BUILDING DATA

SHEET NUMBER: _____

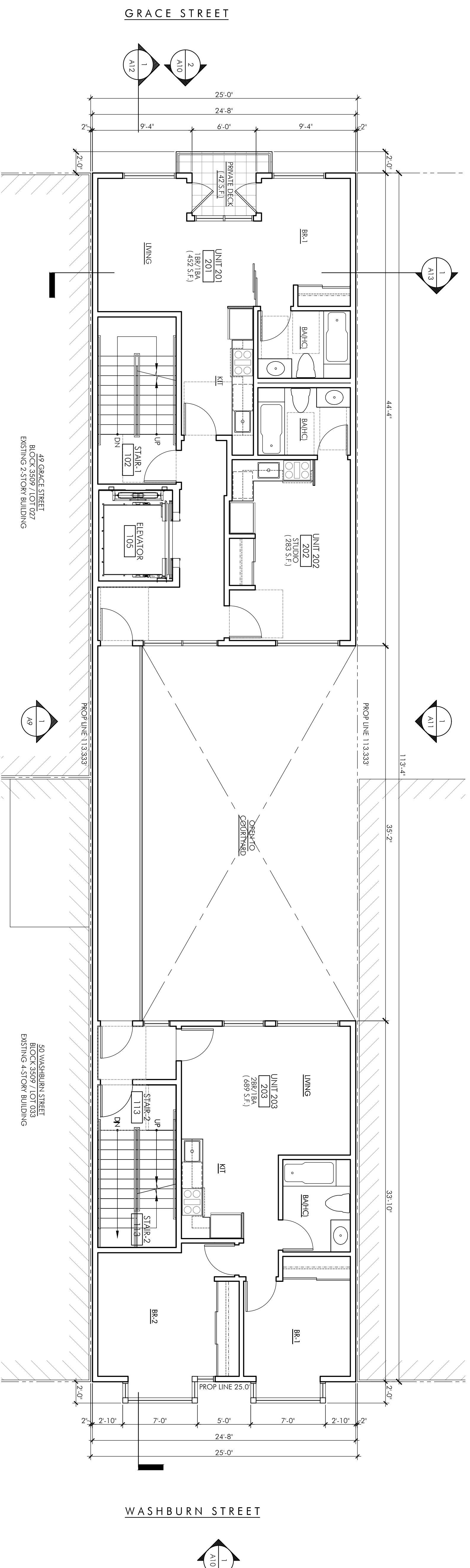
A0.01

GENERAL NOTES

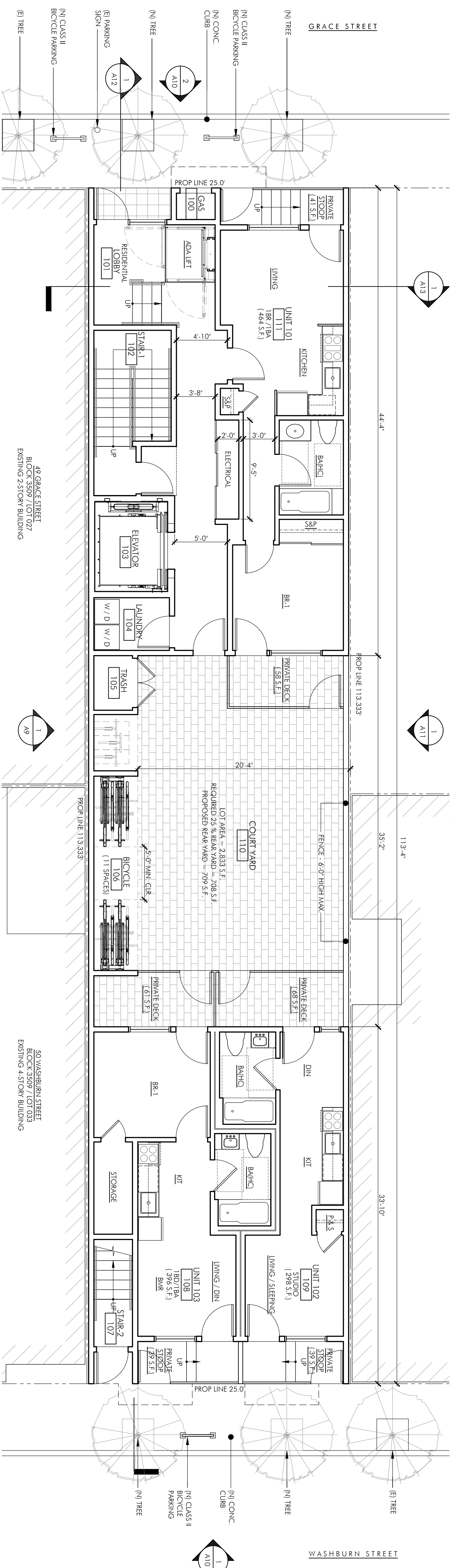
1. ONLY ONE BATHROOM IN EACH RESIDENTIAL UNIT SHALL BE ADAPTABLE (DESIGNATED BY SYMBOL "HC") TYP. OF ALL UNITS. SEE FASTEST PROJECTION OF STAIRS SHALL NOT ENCKOACH INTO THE MIN. EXIT CLEARANCE WIDTH - SEE ENLARGED STAIR PLANS A4.0
2. PERFORATED DRAINERS SHALL BE INSTALLED AT THE BOTTOM OF ALL RETAINING WALLS & FOUNDATION PERIMETER WALLS. DRAINERS SHALL BE SLOPED TO DRAIN TO THE CITY SEWER SYSTEM FOR KITCHEN & BATHW. (SOP) SPECIFICATIONS. SEE APPLIANCE SCHEDULE.
3. GENERAL KITCHENS SHALL COMPLY WITH CBC SECTION 1133A. SEE SHEET I/A0.3D.
4. ALL OUTLETS ON BEDROOM SHALL PROVIDE AFCI RECEPTIONAL OUTLET.

PARTITION LEGEND

- 1-HR FIRE RESISTIVE CORRIDOR WALL, FIRE PARTITION, FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MIN. FIRE PROTECTION RATING OF 90 MIN.
- 2-HR FIRE RESISTIVE EXT. STAIR, ELEVATOR & HORIZONTAL EXT. WALL FIRE BARRIER/FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MIN. FIRE PROTECTION RATING OF 90 MIN.
- 1-HR EXTERIOR WALL CONSTRUCTION
- 1-HR PARTY WALL

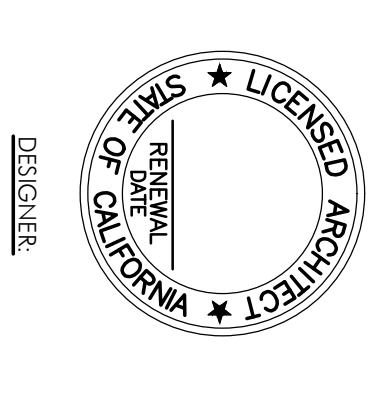


2 | PROPOSED SECOND FLOOR PLAN
3/16"=1'-0"



1 | PROPOSED GROUND / FIRST FLOOR PLAN
3/16"=1'-0"

01.11.16	SITE PERMIT
06.14.16	REVISION PER NOPDR #1
12.06.16	PLANNING DEPT. DESIGN REVIEW
03.02.17	VARIANCE APP. SUBMITTAL
04.28.17	PLANNING DEPT. SUBMITTAL
05.16.17	UNIT AREA REVISIONS
06.07.17	CONFIRM. BMR UNIT



VARIANCE

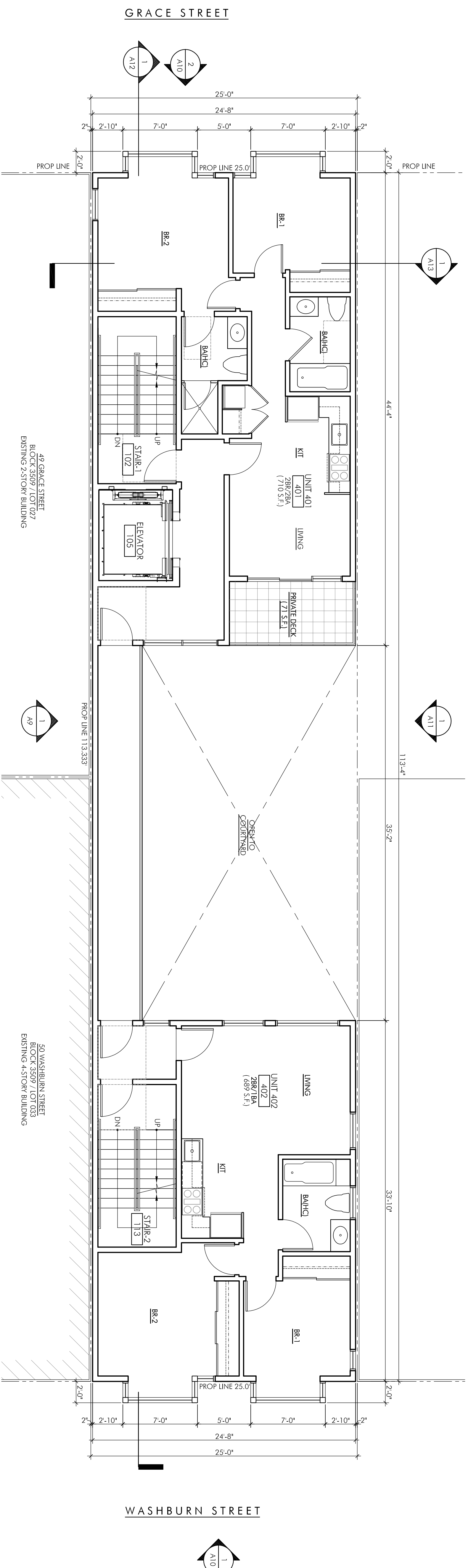
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 DATE: _____ CHECKED BY: _____
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 SHEET TITLE: PROPOSED GROUND / FIRST SECOND FLOOR PLANS
 SHEET NUMBER: A1.2

GENERAL NOTES

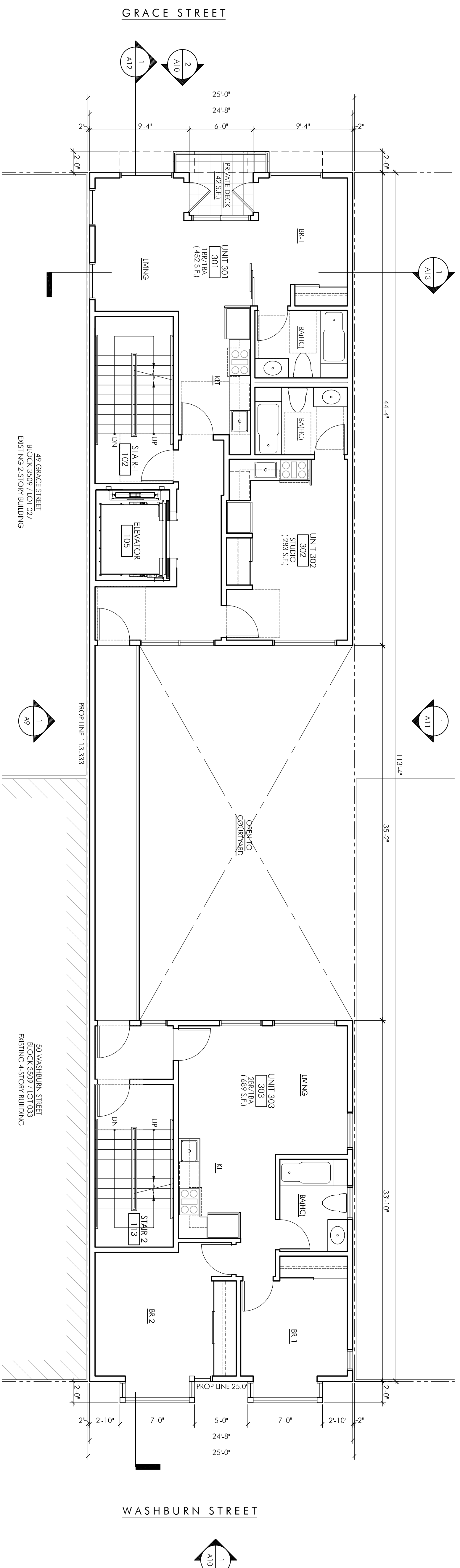
1. ONLY ONE BATHROOM IN EACH RESIDENTIAL UNIT SHALL BE ADAPTABLE DESIGNATED BY SYMBOL "HC". THE OF ALL UNITS. SEE GENERAL NOTES FOR FURTHER INFORMATION.
2. FARTHEST PROJECTION OF STAIRS SHALL NOT ENCRUSCH INTO THE MIN. EXIT CLEARANCE WIDTH - SEE ENGAGED STAIR PLANS A4.0.
3. PERFORATED DRAINERS SHALL BE INSTALLED AT THE BOTTOM OF ALL RETAINING WALLS & FOUNDATION PERIMETER WALLS. DRAINERS SHALL BE SLOPED TO DRAIN TO THE CITY SEWER SYSTEM.
4. GENERAL KITCHEN & BATHN. EQUIP. SPECIFICATIONS. SEE APPLIANCE SCHEDULE.
5. GENERAL KITCHENS SHALL COMPLY WITH CBC SECTION 11.33A. SEE SHEET I/A0.3D.
6. ALL OUTLETS ON BEDROOM SHALL PROVIDE AFRCI RECEPTACLE OUTLET.

PARTITION LEGEND

- 1-1R FIRE-RESISTIVE CORRIDOR WALL, FIRE PARTITION, FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MIN. FIRE PROTECTION RATING OF 60 MIN.
- 2-1R FIRE RESISTIVE EXT. STAIR, ELEVATOR & HORIZONTAL EXT. WALL FIRE BARRIER FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MIN. FIRE PROTECTION RATING OF 90 MIN.
- 1-1R EXTERIOR WALL CONSTRUCTION
- 1-1R PARTY WALL

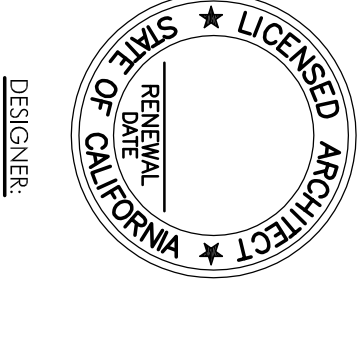


2 | PROPOSED FOURTH FLOOR PLAN
3/16"=1'-0"



1 | PROPOSED THIRD FLOOR PLAN
3/16"=1'-0"

VARIANCE





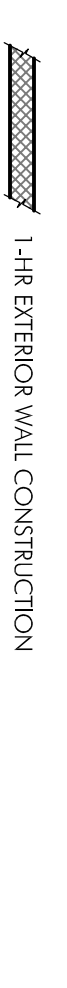

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 SHEET NUMBER: _____

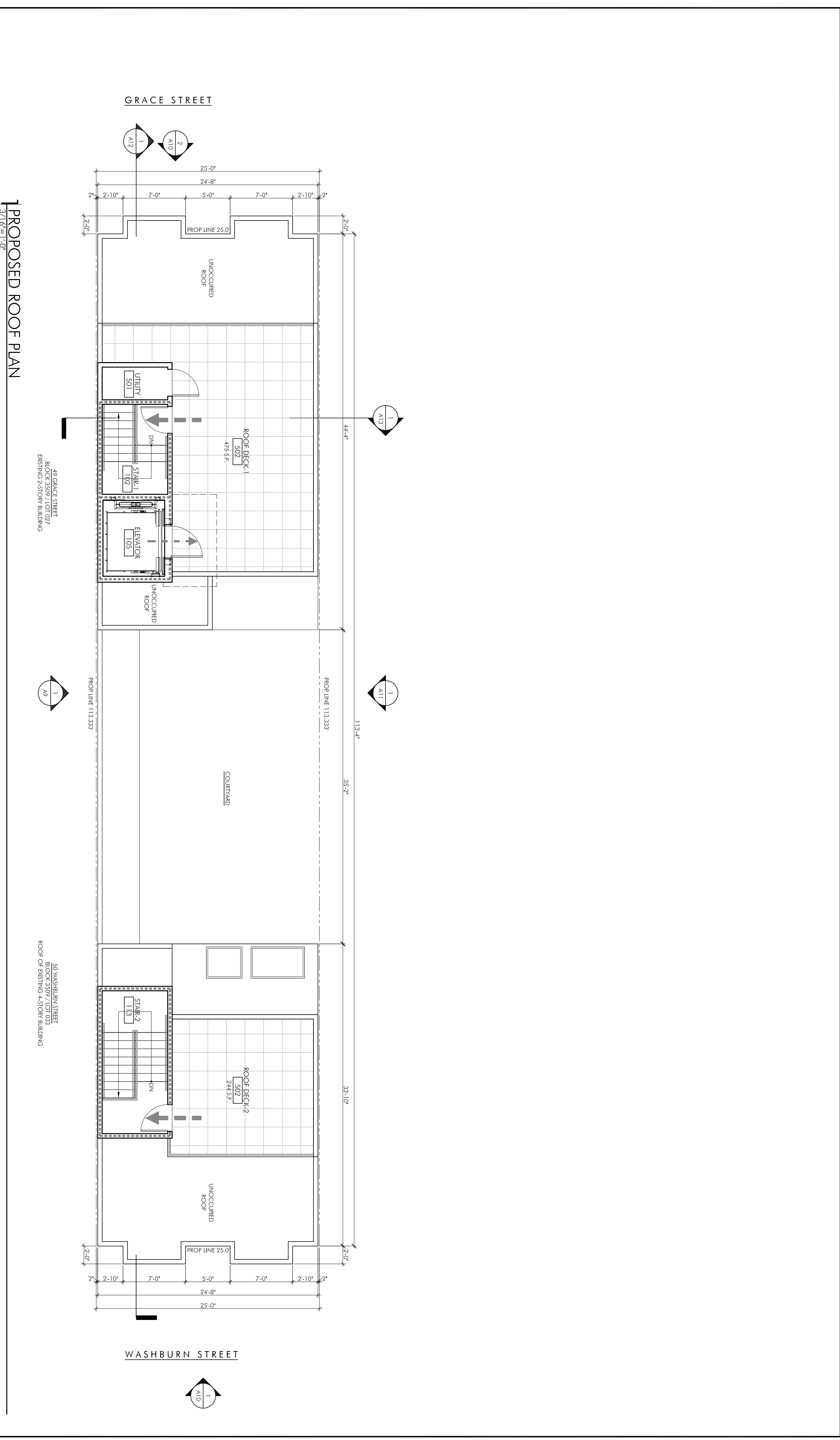
A1.3

GENERAL NOTES

1. ONLY ONE BATHROOM IN EACH RESIDENTIAL UNIT SHALL BE ADAPTABLE DESIGNATED BY SYMBOL "HC1" THRU "OF" ALL UNITS. SEE SCHEDULE FOR SPECIFICATIONS.
2. FARTHEST PROJECTION OF STAIRWELL SHALL NOT ENCRUSCH INTO THE MIN. EXIT CLEARANCE WIDTH - SEE ENLARGED STAIR PLANS A4.0.
3. PERFORATED DRAINERS SHALL BE INSTALLED AT THE BOTTOM OF ALL RETAINING WALLS & FOUNDATION PERIMETER WALLS. DRAINERS SHALL BE SLOPED TO DRAIN TO THE CITY SEWER SYSTEM FOR KITCHEN & BATHWATER EQUIP. SPECIFICATIONS. SEE APPLIANCE SCHEDULE.
4. GENERAL KITCHENS SHALL COMPLY WITH CBC SECTION 11.33A, SEE SHEET I/A0.3D.
5. GENERAL KITCHENS SHALL COMPLY WITH CBC SECTION 11.33A, SEE SHEET I/A0.3D.
6. ALL OUTLETS ON BEDROOM SHALL PROVIDE AFCEI RECEPTACLE OUTLET.

PARTITION LEGEND

-  1-HR FIRE-RESISTIVE CORRIDOR WALL, FIRE PARTITION, FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MIN. FIRE PROTECTION RATING OF 60 MIN.
-  2-HR FIRE-RESISTIVE EXIT STAIR, ELEVATOR & HORIZONTAL EXIT WALL FIRE BARBERS FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MIN. FIRE PROTECTION RATING OF 90 MIN.
-  1-HR EXTERIOR WALL CONSTRUCTION
-  1-HR PARTY WALL

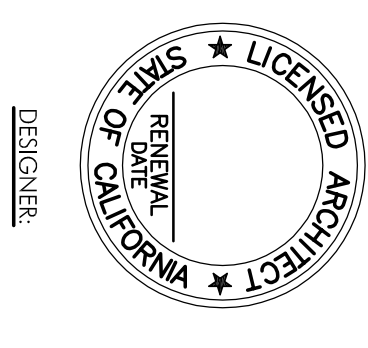


PROPOSED ROOF PLAN

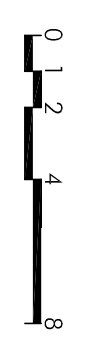

3/16"=1'-0"

17
GRACE STREET
 SAN FRANCISCO, CA 94103

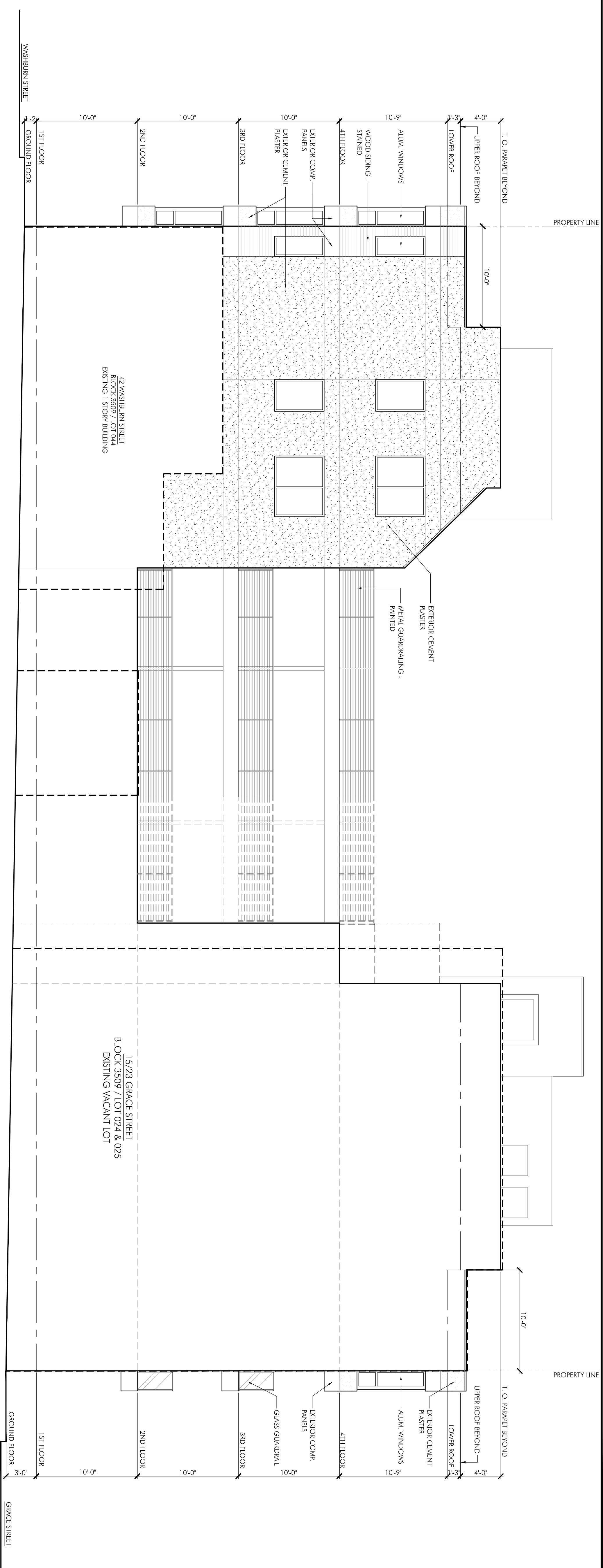
01.11.16	SITE PERMIT
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12.06.16	PLANNING DEPT. DESIGN REVIEW
03.02.17	VARIANCE APP. SUBMITTAL



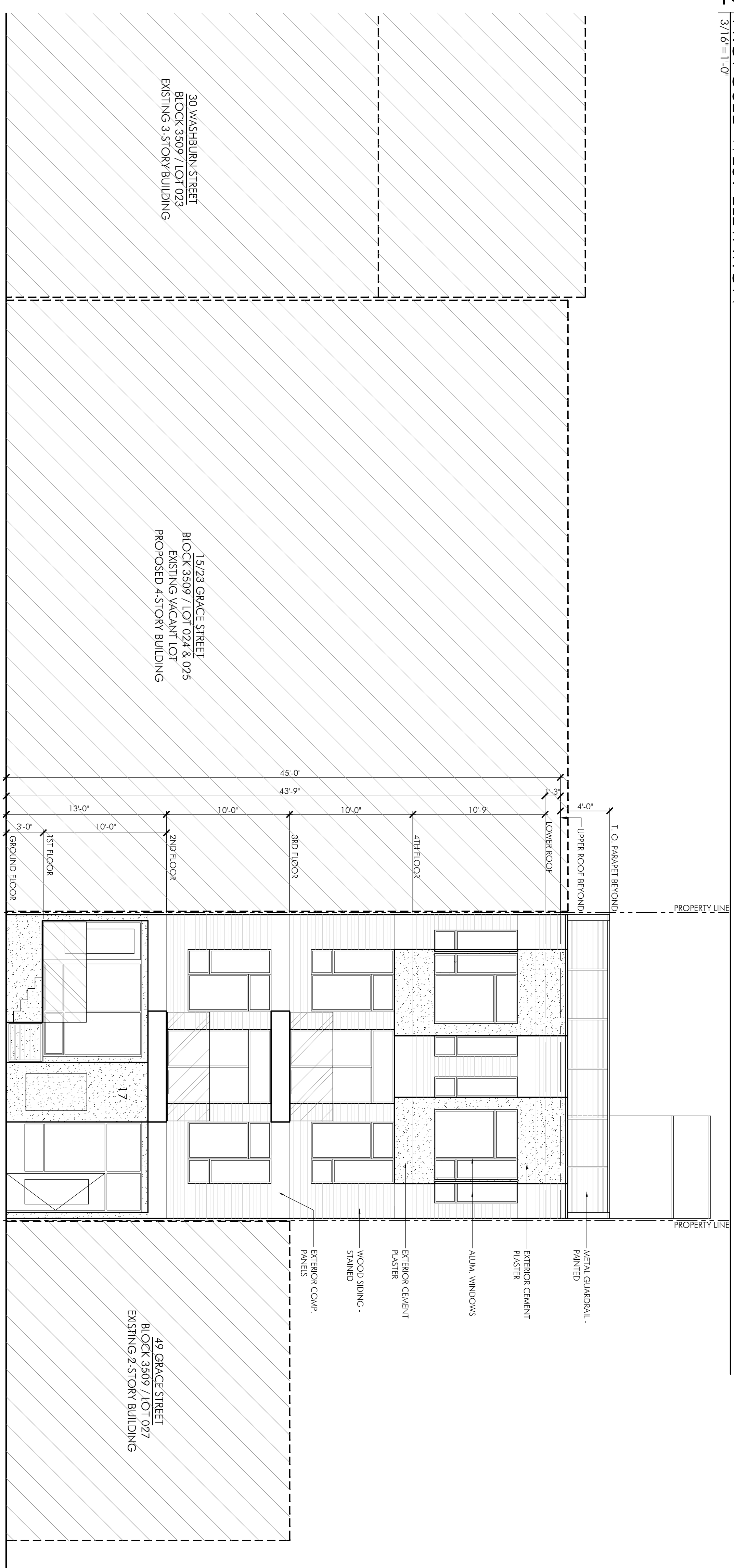
VARIANCE

JOB NUMBER: _____ DRAWN BY: _____
 DATE: _____ CHECKED BY: _____
 SCALE: 3/16"=1'-0"  
 SHEET TITLE: **PROPOSED ROOF PLAN**
 SHEET NUMBER: _____

A1.4



2 | PROPOSED WEST ELEVATION
3/16"=1'-0"



1 | PROPOSED SOUTH ELEVATION @ GRACE STREET
3/16"=1'-0"

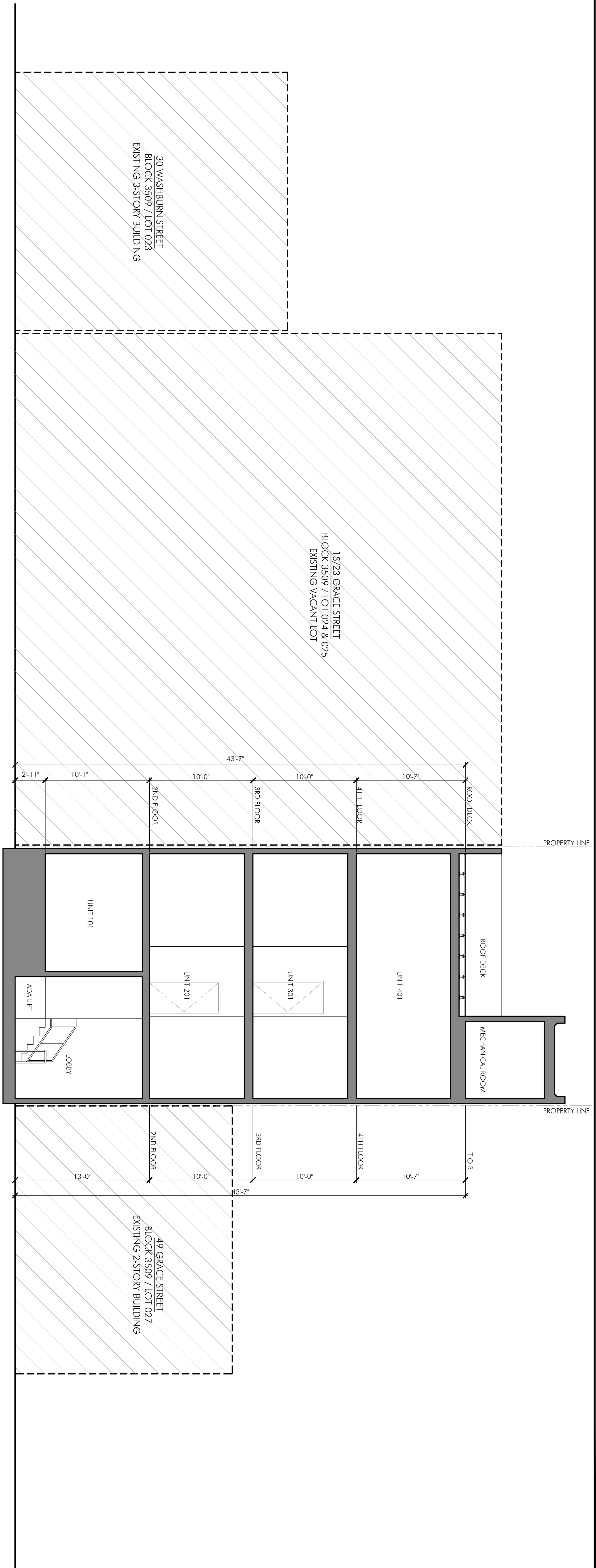
01.11.16	SITE PERMIT
06.14.16	REVISION PER NOPDR#1
12.06.16	PLANNING DEPT. DESIGN REVIEW
03.02.17	VARIANCE APP. SUBMITTAL
04.28.17	PLANNING DEPT. SUBMITTAL



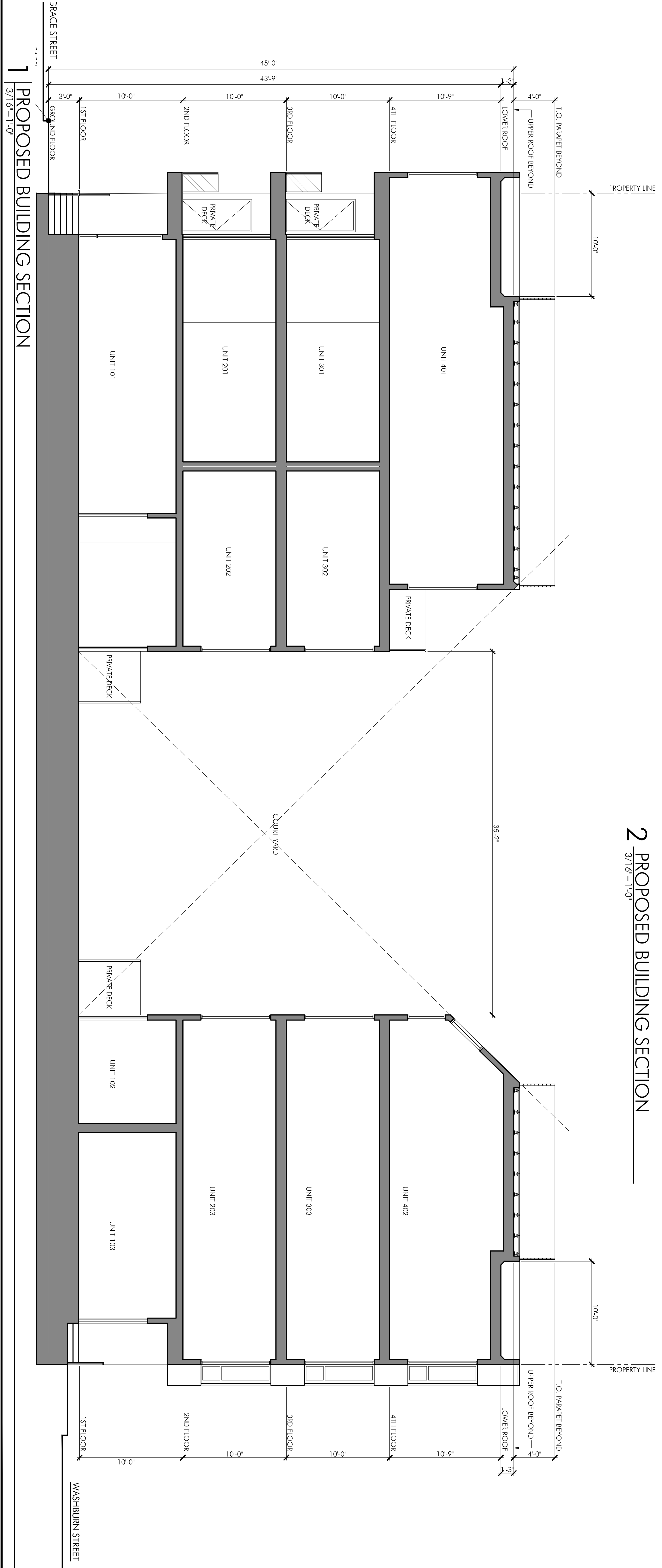
VARIANCE

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 SHEET TITLE: PROPOSED EXTERIOR ELEVATIONS
 SHEET NUMBER: _____

A2.0

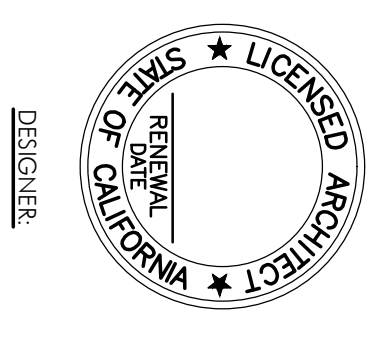


2 PROPOSED BUILDING SECTION
3/16" = 1'-0"



1 PROPOSED BUILDING SECTION
3/16" = 1'-0"

01.11.16	SITE PERMIT
06.14.16	REVISION PER NOPDR #1
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04.28.17	PLANNING DEPT. SUBMITTAL



VARIANCE

JOB NUMBER: _____ DRAWN BY: _____

DATE: _____ CHECKED BY: _____

SCALE: 3/16" = 1'-0"

SHEET TITLE: PROPOSED BUILDING SECTIONS

SHEET NUMBER: _____

A3.0