



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.  
Suite 400  
San Francisco,  
CA 94103-2479

Reception:  
**415.558.6378**

Fax:  
**415.558.6409**

Planning  
Information:  
**415.558.6377**



**SAN FRANCISCO  
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

# NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, June 24, 2020**  
 Time: **Not before 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408,  
 or Remote Hearing if Shelter in Place is Extended**  
 Case Type: **Variance**  
 Hearing Body: **Zoning Administrator**

PROJECT INFORMATION	APPLICANT INFORMATION
Project Address: <b>140 - 142 Jasper Place</b> Cross Street(s): <b>Filbert and Union Streets</b> Block /Lot No.: <b>0103 / 032</b> Zoning District(s): <b>RM-2 Telegraph Hill-North            Beach Residential SUD/40-X</b> Area Plan: <b>N/A</b> Record No.: <b>2013.0846VAR</b>	Applicant: <b>Peter Wilson</b> Company: <b>Wilson Associates</b> Applicant Address: <b>1224 Kearny Street</b> City, State: <b>San Francisco, CA</b> Telephone: <b>(415) 543-5111</b> E-Mail: <a href="mailto:peter@wilson-associates.net">peter@wilson-associates.net</a>

## PROJECT DESCRIPTION

The subject property contains a 2-story over-basement building with two dwelling units. The proposal is to construct a vertical, one-story addition to expand the top unit, retrofit the basement level to expand the lower unit, and reconfigure the rear wall.

**PLANNING CODE SECTION 134** requires the subject property to maintain a rear yard equal to 45% of the lot depth, or the average depth of adjacent buildings. However, the rear yard may not be less than 15 feet pursuant to averaging. Additionally, the building height can be no more than 30 feet within the last 10 feet of averaging. The subject property's required rear yard gains an additional 12 feet through averaging, and the proposed vertical addition is greater than 30 feet in height and extends into the last 10 feet gained by averaging. Therefore, a variance is required.

## ADDITIONAL INFORMATION

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://notice.sfplanning.org/2013.0846VAR.pdf>

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

Planner: **Linda Ajello Hoagland** Telephone: **415-575-6823** E-Mail: [Linda.AjelloHoagland@sfgov.org](mailto:Linda.AjelloHoagland@sfgov.org)

# GENERAL INFORMATION ABOUT PROCEDURES

## HEARING INFORMATION

You are receiving this notice because you are either a property owner or resident that is adjacent to the proposed project or are an interested party on record with the Planning Department. **You are not required to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and/or neighborhood association, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Planner listed on the front of this notice, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00 pm the day before the hearing. These comments will be made a part of the official public record and will be brought to the attention of the person or persons conducting the public hearing.

Comments that cannot be delivered by 5:00 pm the day before the hearing may be taken directly to the hearing at the location listed on the front of this notice. Comments received at 1650 Mission Street after the deadline will be placed in the project file, but may not be brought to the attention of the Zoning Administrator at the public hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Pursuant to Planning Code Section 311, the Building Permit Application for this proposal may also be subject to notification of property owners and residents within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## APPEAL INFORMATION

An appeal of the Zoning Administrator's action on a **Variance** may be made to the **Board of Appeals within 10 calendar days** after the Variance Decision Letter is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Commission may be made to the **Board of Appeals within 15 calendar days** after the building permit is issued (or denied) by the Director of the Department of Building Inspection.

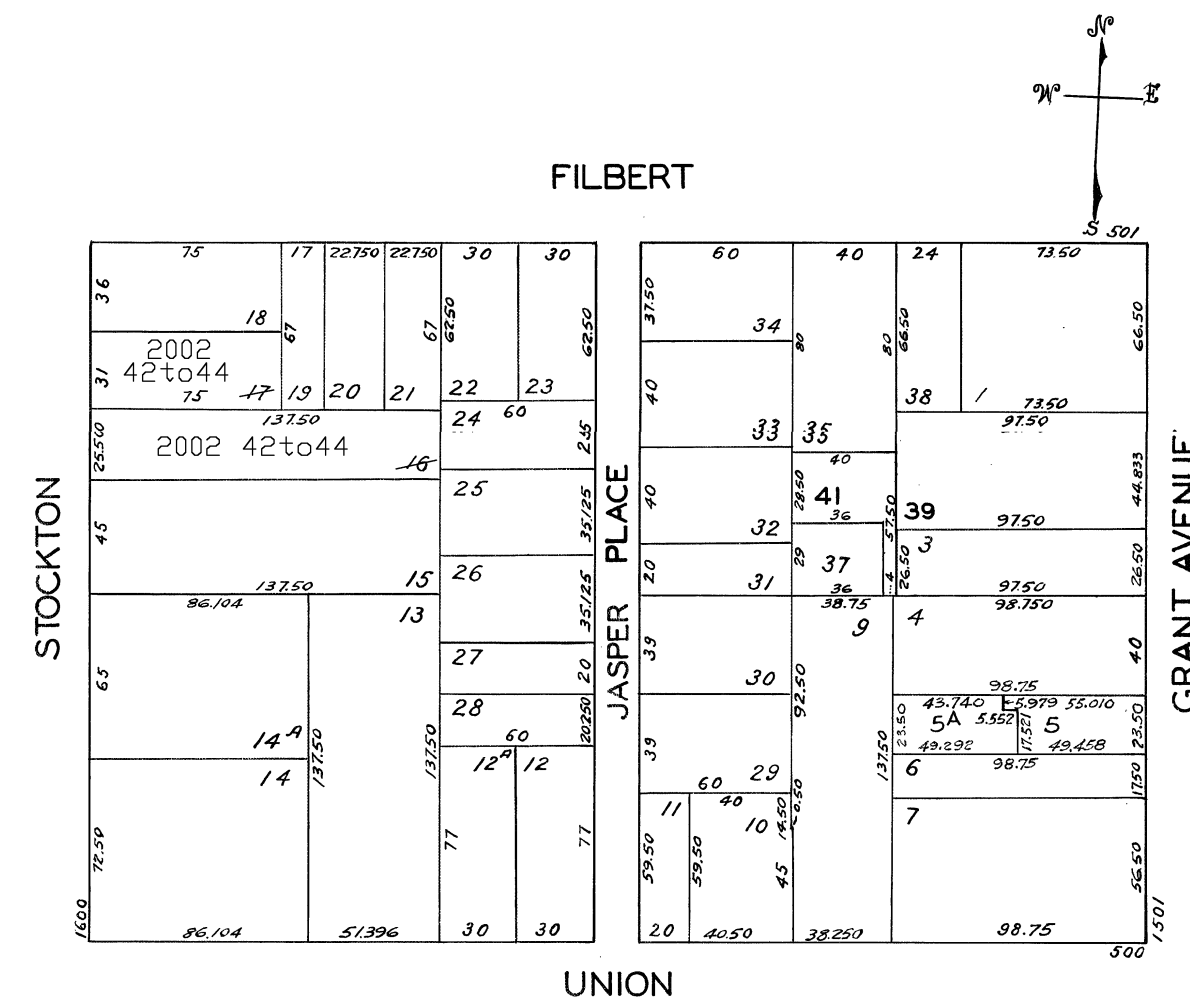
Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.



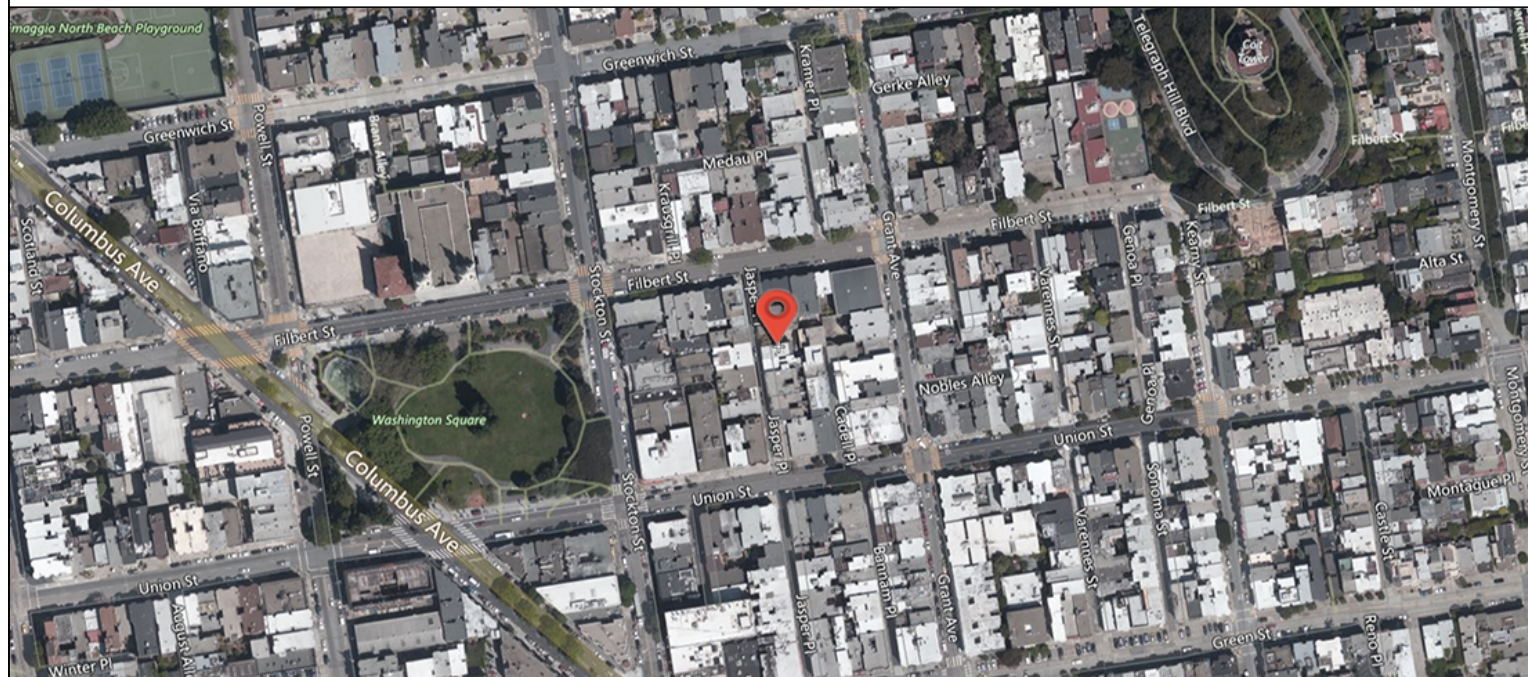
**SITE IMAGE**



**ASSESSOR'S MAP**



**VICINITY MAP**



**CONTACTS**

**OWNER/BUILDER:**  
 WILSON ASSOCIATES  
 6451 BENVENUE AVE.  
 OAKLAND, CA, 94618  
 P: 510 654-9311

**STRUCTURAL:**  
 DENNIS GILLESPIE  
 631 TARRAGON DRIVE  
 SAN RAFAEL, CA 94603  
 P: 415-847-0500

**ARCHITECT:**  
 PETER WILSON  
 WILSON ASSOCIATES  
 5651 KEITH AVE.  
 OAKLAND, CA. 94618  
 P: 510-654-0001



**WILSON ASSOCIATES**  
 5651 Keith Avenue  
 Oakland, CA 94618  
 P. 510.654.0001  
 F. 510.654.0002

**140-142 Jasper**

Site Permit  
 2014-0627-9672

140 Jasper Place  
 San Francisco, CA 94133

**5/22/2020**

**GENERAL NOTES**

Scope Documents: These drawings indicate the general scope of the project in terms of the overall concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. On the basis of the general scope indicated or described, the contractor shall furnish all items required for the proper execution and completion of the work. Approval by the city inspector does not constitute authority to deviate from the plans and specifications.

The following notes and typical details apply to all drawings unless otherwise noted, and shall take precedence over these general notes. See also notes, abbreviations, drawing legends and symbols, structural drawings.

Drawings indicate general and typical details of construction. Where conditions are not specifically indicated but are of similar character to details shown, details of construction shall be used subject to the review and approval of the architect.

Responsibility: The contractor shall verify all dimensions and site conditions before starting work. Should a discrepancy appear in the specifications or drawings, or in the work done by others from the contract documents that affect any work, notify the architect and owner in writing at once for instructions to proceed. If the contractor proceeds with the work affected without written instructions from the architect, the contractor shall make good any resulting damage or defect to the satisfaction of the owner with no resulting cost to the owner. Should a conflict occur in or between the drawings and specifications, or where detail references on the contract drawing have been omitted, the contractor is deemed to have estimated the most expensive material and construction methods involved, unless a written decision from the architect/owner has been obtained which describes an alternate method and/or materials or unless the original bid is appropriately qualified.

The contractor shall confine his/her operations on the site to areas permitted by the owner. The job site shall be maintained in a clean, orderly condition free of debris and litter, and shall not be unreasonably encumbered with any materials or equipment. Each subcontractor immediately upon completion of each phase of his/her work shall remove all trash and debris and a result of his/her operation.

All materials stored on the site shall be properly stacked and protected to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.

Provide all necessary blocking, backing and framing for light fixtures, electrical units, panels, HVAC equipment and all other items requiring same.

All material shall be handled and installed per the manufacturer's specifications and recommendations.

Storage & dispensing or use of any flammable or combustible liquids, flammable gases and hazardous chemical shall comply with the Uniform Fire Code regulations. No materials shall be stored on public property unless and encroachment permit is first obtained from the Public Work Department.

Dimensions:  
 a. All dimensions shall be verified in the field.  
 b. All dimensions shown are to the center of columns and beams, face of concrete/conc. block walls, edge of slab, face of finish unless otherwise noted.  
 c. Ceiling height dimensions are from finished floor or slab to the finished face of ceiling.

d. Dimensions and elevations are to the top of concrete block or other hard surface materials, not to the top of floor coverings or roofing U.O.N.  
 e. Do not scale drawings, follow dimensions.

The contractor shall be responsible for coordinating the work of all the trades.

The building inspector shall be notified prior to start of construction.

The contractor shall do all cutting, fitting, or patching of his/her work that may be required to make its several parts fit together properly and shall not endanger any other work by cutting, excavating, or otherwise altering the total work or any part of it. All patching, repairing and replacing of materials and surfaces, cut or damaged in execution of work, shall be done with applicable materials so that surfaces replaced will upon completion match surrounding similar surfaces.

The contractor shall provide temporary exit signs to assure a means of egress during construction.

At least one fire extinguisher with a minimum rating of 2-A-10B:C shall be provided within 75 feet maximum travel distance for each 6,000 SF or portion thereof on each floor.

**140-142 Jasper SITE PERMIT SET**

**PROJECT INFORMATION**

**Project Address** 140 Jasper Pl. San Francisco, CA 94133  
**APN** 0103-032  
**Lot Area** Approx. 2,400 SF

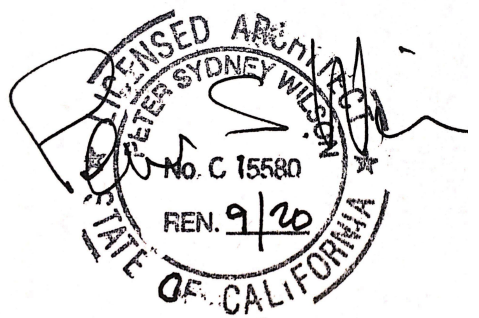
**Zoning** RM-2  
**Project Type** Residential  
**Occupancy Group** R-3  
**Construction Type** V-B

**# of Units:** 2  
**# of Stories:** 2  
**Building Height:** 36'-8 1/2"

AREA OF WORK	EXISTING	PROPOSED	ADDITIONAL	% CHANGE
BASEMENT	835 SF	620 SF	-215 SF	-26%
1ST FLOOR	807 SF	852 SF	45 SF	6%
2ND FLOOR	835 SF	888 SF	53 SF	6%
3RD FLOOR	0 SF	606 SF	606 SF	100%
TOTAL SF	2,477 SF	2,966 SF	489 SF	19.7%

**SHEET INDEX**

- A0.1 PROJECT INFORMATION
- A1.1 SITE SURVEY
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- A1.6 SECOND FLOOR PLANS
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- A3.1 WEST & EAST ELEVATIONS
- A3.2 SOUTH & NORTH ELEVATIONS
- A4.1 WINDOW & DOOR SCHEDULE



#	date	issues / revisions
0	9/27/12	SITE PERMIT
1	11/12/13	SP REVISIONS
2	4/14/14	SP REVISIONS
3	11/14/14	SP REVISIONS #1
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS #2

**PROJECT INFORMATION**

project no. : 140JA

drawn by : JH

scale : (as noted)

**A0.1**

**SYMBOLS**

- ① DOOR NUMBER
- ◊ WINDOW NUMBER
- ⊖ ELEVATION REFERENCE
- ⊕ SHEET NUMBER
- ⊖ SHEET NUMBER
- ⊖ SECTION REFERENCE
- ⊖ REVISION
- ⊖ DISCONTINUITY

**ABBREVIATIONS**

# & @	Pound OR Number And At	CPT	Carpet	FLR	Floor	MTL	Metal	SSTL	Stainless Steel
ACT	Acoustic Ceiling Tile	CT	Ceramic Tile	FM	Filled Metal	NIC	Not in Contract	STC	Sound Transmission Coefficient
AD	Area Drain	CTYD	Courtyard	FO	Face Of	NTS	Not to Scale	STL	Steel
AFF	Above Finished Floor	DBL	Double	FOP	Face Of Plywood	NO	Number	STRUC	Structure or Structural
ALUM	Aluminum	DEMO	Demolish or Demolition	FND	Foundation	NOM	Nominal	T&G	Tongue And Groove
ANOD	Anodized	DIA	Diameter	GA	Galvanized	OC	On Center	TELE	Telephone
BSMT	Basement	DIM	Dimensions	GWB	Gypsum Wall Board	OH	Opposite Hand	TLT	Toilet
B'ND	Beyond	DN	Down	HC	Hollow Core	OZ	Ounce	TOC	Top Of Concrete
BOT	Bottom	DR	Door	HI	High	PLUMB	Plumbing	TOS	Top Of Steel
CLP	Cast In Place	DWG	Drawing	HM	Hollow Metal	PLYD	Plywood	TPD	Toilet Paper Dispenser
CHNL	Channel	EA	Each	HP	High Point	PT	Pressure Treated	T/D	Telephone/Data
CJ	Control Joint	EJ	Expansion Joint	HR	Hour	PNT	Paint or Painted	TYP	Typical
CLG	Center Line	EL	Elevation	ILO	In Lieu Of	PVC	Polyvinyl Chloride	UON	Unless Otherwise Noted
CLG	Ceiling	ELEC	Electrical	INSUL	Insulated or Insulation	RBR	Rubber	UIS	Underlaid
CLR	Clear	ELEV	Elevator or Elevation	INT	Interior	RCP	Reflected Ceiling Plan	VF	Verify In Field
CMU	Concrete Masonry Unit	EQ	Equal	LO	Low	RD	Roof Drain	VP	Vision Panel
COL	Column	EXIST	Existing	MAX	Maximum	REQD	Required	W/	With
COMPR	Compressible	EXT	Exterior	MO	Masonry Opening	RM	Room	WD	Wood
CONC	Concrete	FD	Floor Drain	MECH	Mechanical	SIM	Similar		
CONT	Continuous	FEC	Fire Extinguisher Cabinet	MEMBR	Membrane	SPEC	Specified OR Specification		
		FIXT	Fixture	MIN	Minimum	SPK	Sprinkler or Speaker		

**APPLICABLE CODES**

- A. California Code of Regulations, Title 24
  - 2019 California Building Code (2018 IBC)
  - 2019 California Mechanical Code (2018 UMC)
  - 2019 California Plumbing Code (2018 UPC)
  - 2019 California Electrical Code (2018 NEC)
  - 2019 California Energy Code
  - 2019 California Fire Code (2018 IFC)
- B. San Francisco Municipal Code

**SCOPE OF WORK**

Renovation of existing two unit residential building.



**140-142 Jasper**  
 Site Permit  
 2014-0627-9672

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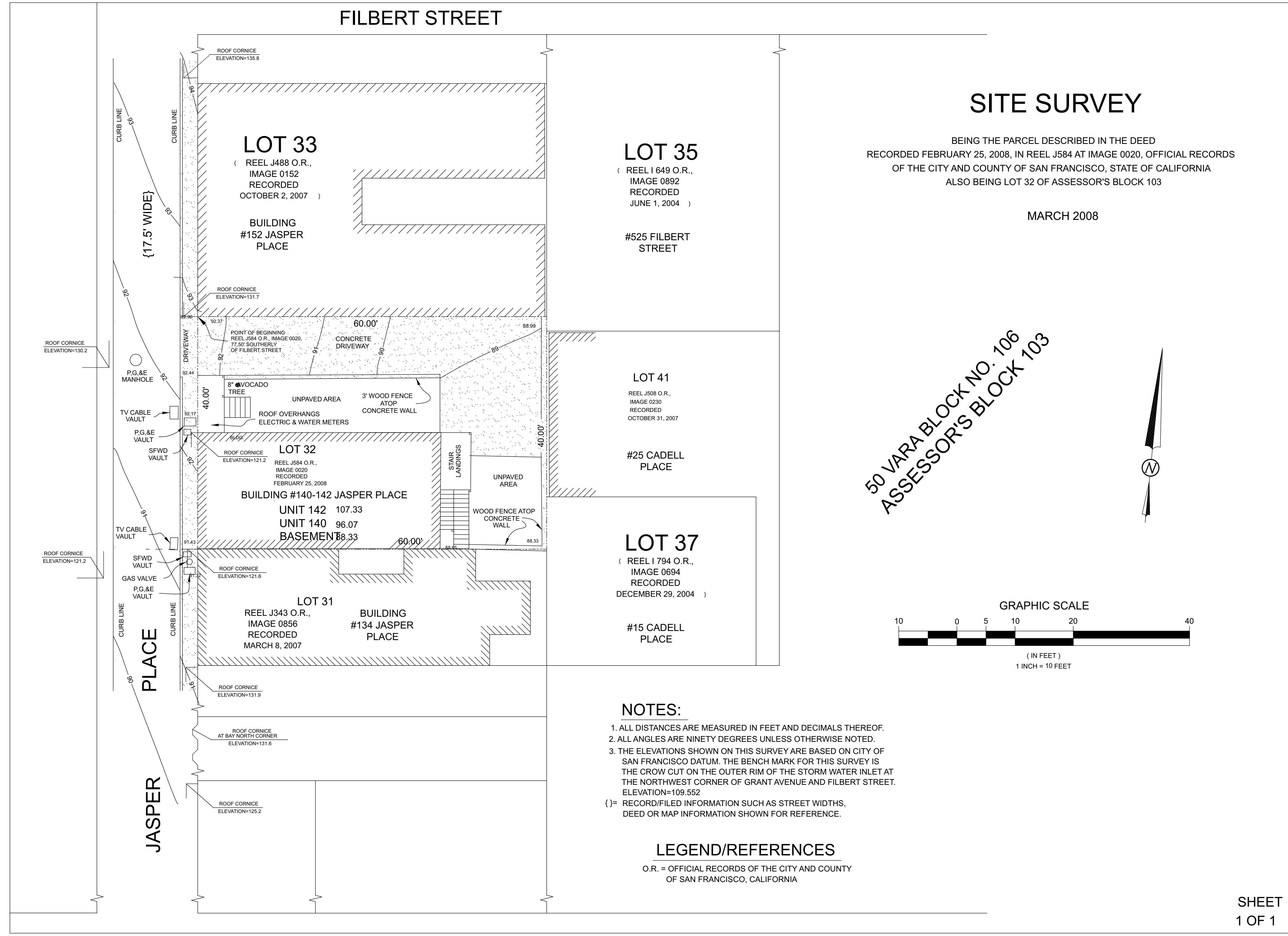
**SITE SURVEY**

project no. : 140JA

drawn by : JH

scale : (as noted)

**A1.1**

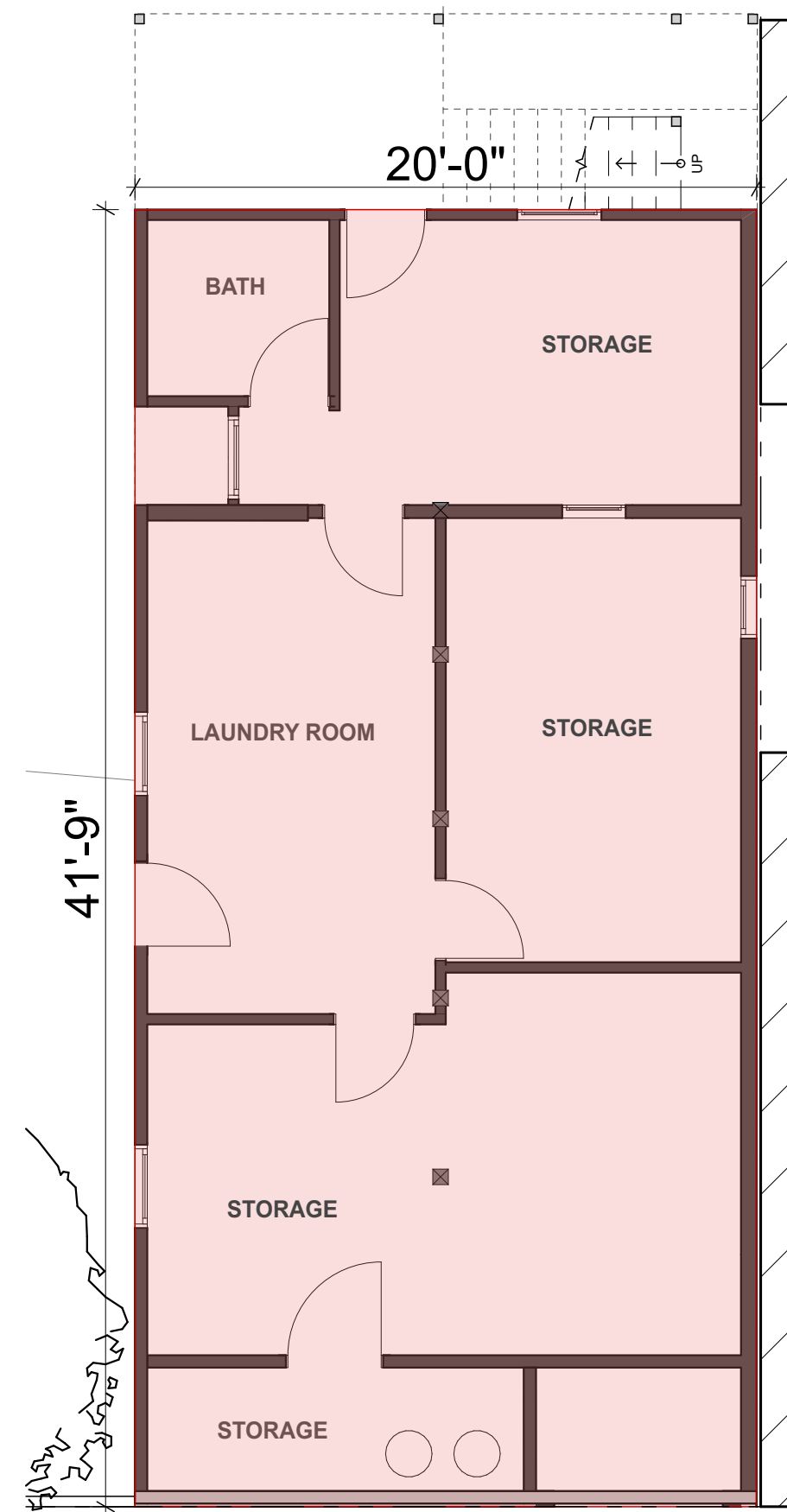


**1 SITE SURVEY**  
**A1.1 SCALE: 1" = 10'**

05/20/20 3:15 PM 140JA/140JA\_SITELINE.dwg - 140JA\_SITELINE.dwg - 140JA\_SITELINE.dwg



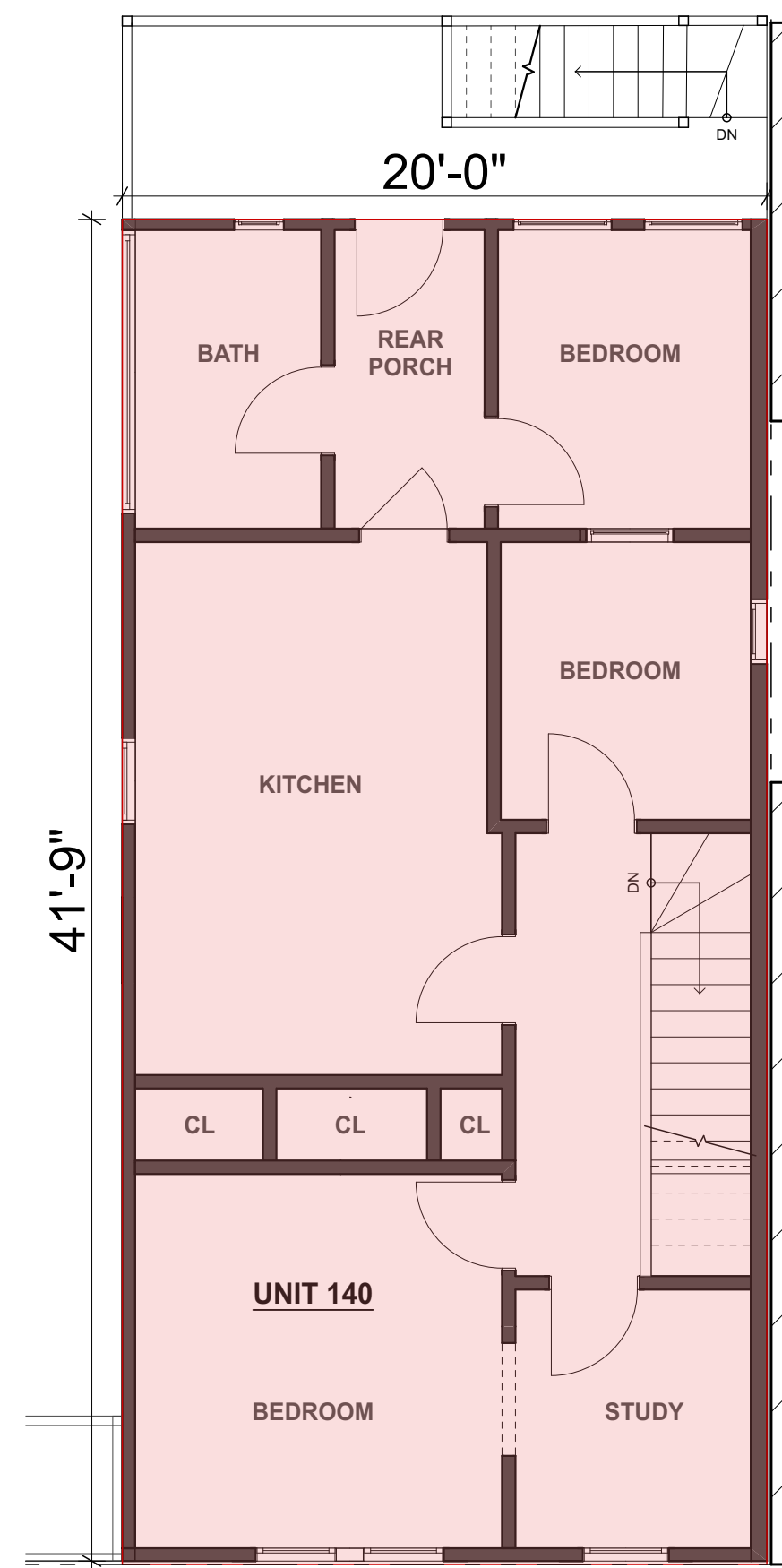
**EXISTING GROSS FLOOR AREA: 2477 SF**  
**41'-9" X 20' (FLOOR PLATE = 835 SF)**



(E) BASEMENT  
835 SF



(E) 1ST FLOOR  
807 SF



(E) 2ND FLOOR  
835 SF

**GROSS FLOOR AREA:**

	EXISTING		PROPOSED	
	INCLUDED SF	ADJUSTED SF	INCLUDED SF	ADJUSTED SF
<b>BASEMENT</b>	835 SF		620 SF	-250 SF
<b>1ST FLOOR</b>	807 SF	-28 SF	852 SF	-18 SF
<b>2ND FLOOR</b>	835 SF		888 SF	18 SF
<b>3RD FLOOR</b>			606 SF	-265 SF
<b>TOTAL:</b>	<b>2,477 SF</b>		<b>2,966 SF</b>	

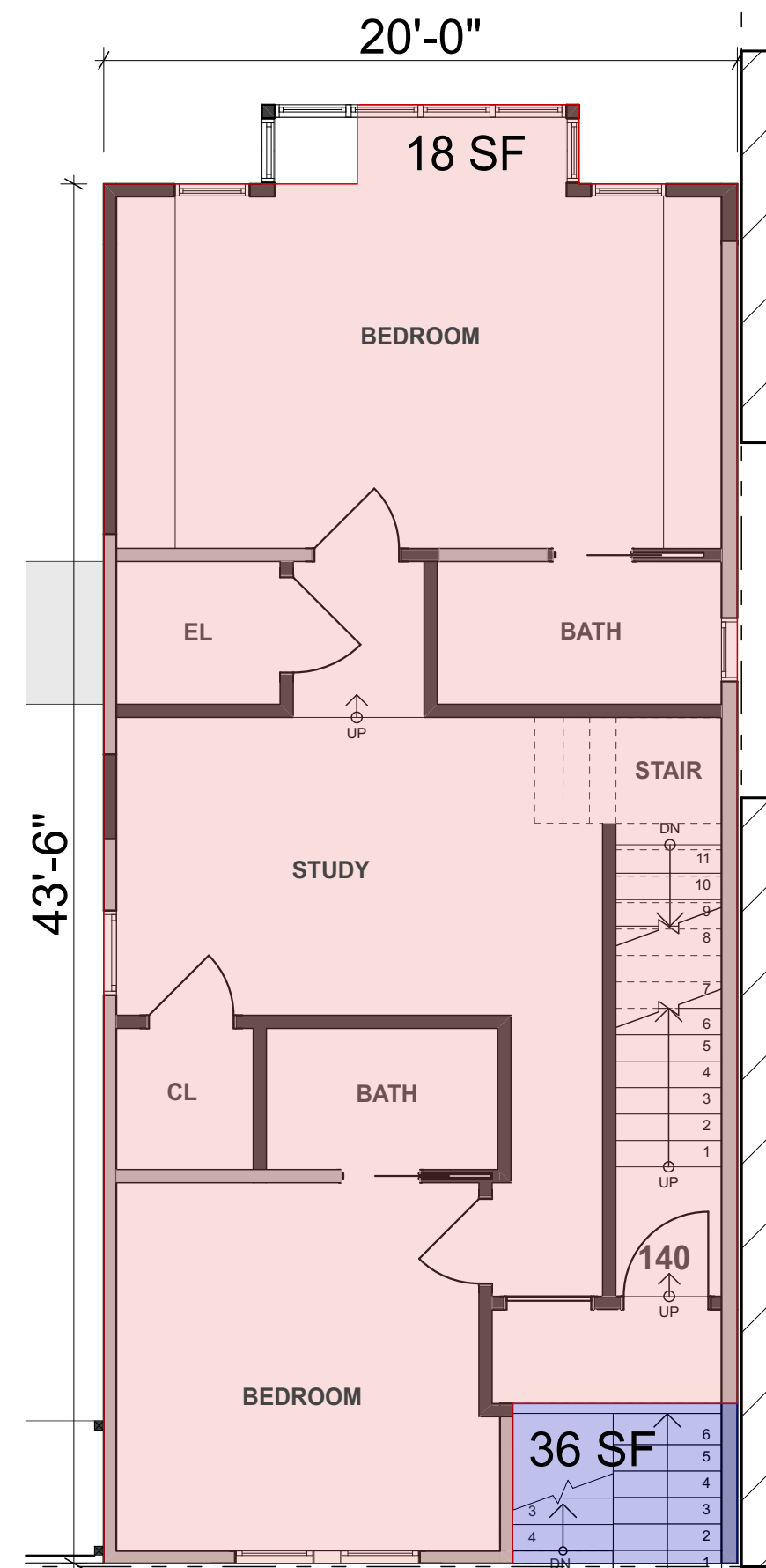
**19.7% ADDITIONAL SF**

\* BAY WINDOW:  
2'-6" X 10' = 25 SF - 7 = 18 SF

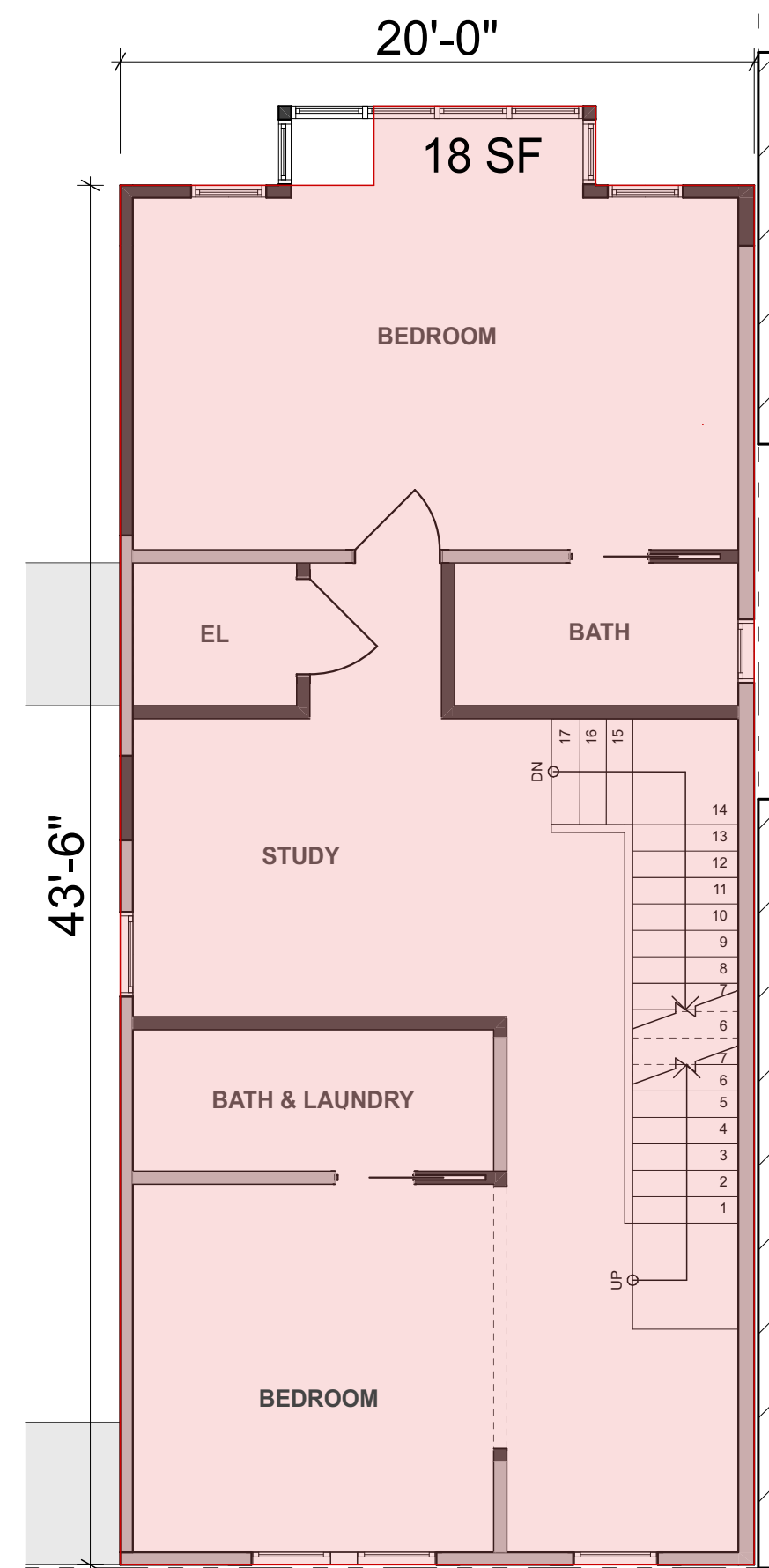
**PROPOSED GROSS FLOOR AREA: 2950 SF**  
**43'-6" X 20' (FLOOR PLATE = 870 SF)**



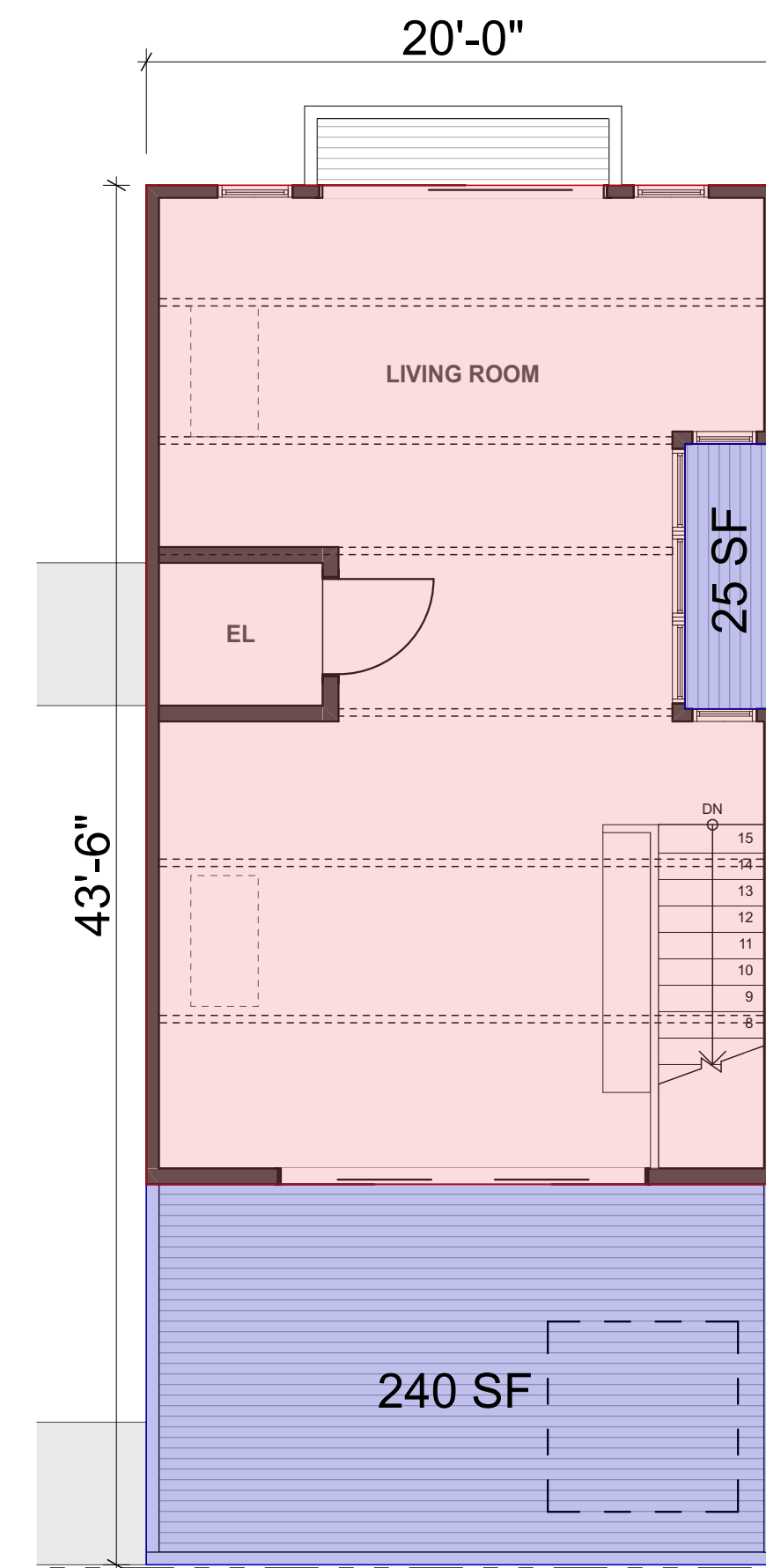
(N) BASEMENT  
620 SF



(N) 1ST FLOOR  
850 SF



(N) 2ND FLOOR  
886 SF



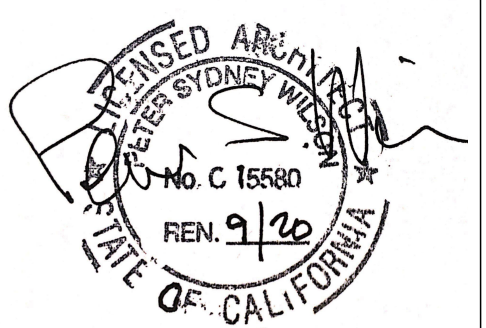
(N) 3RD FLOOR  
606 SF

**140-142 Jasper**

Site Permit  
2014-0627-9672

140 Jasper Place  
San Francisco, CA 94133

5/22/2020



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5	5/22/2020	SP REVISIONS #2

**GROSS SQUARE FOOT CALCULATIONS**

project no. : 140JA

drawn by : JH

scale : (as noted)

**A1.2**



CONTEXT PHOTOS:



FRONT



REAR



SIDE YARD VIEW W/ 152 JASPER PL & 25 CADELL PL



STREET VIEW



REAR YARD W/ VIEW OF 134 JASPER PL

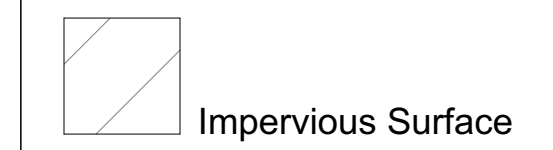
IMPERVIOUS SURFACE CALCULATIONS:

EXISTING AREAS	NEW AREAS	ADDITIONAL AREA
1,773 SF	870 SF	-903 SF

SHEET NOTES:

- ① All planting areas will be mulched.
- ② All planting will be drip-irrigated.
- ③ Minimum Class C Roofing over entirety of building per CBC 1505.1

LEGEND:



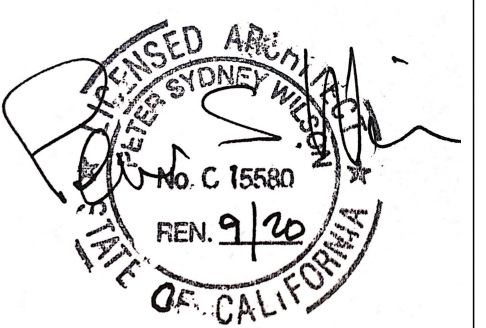
Impervious Surface

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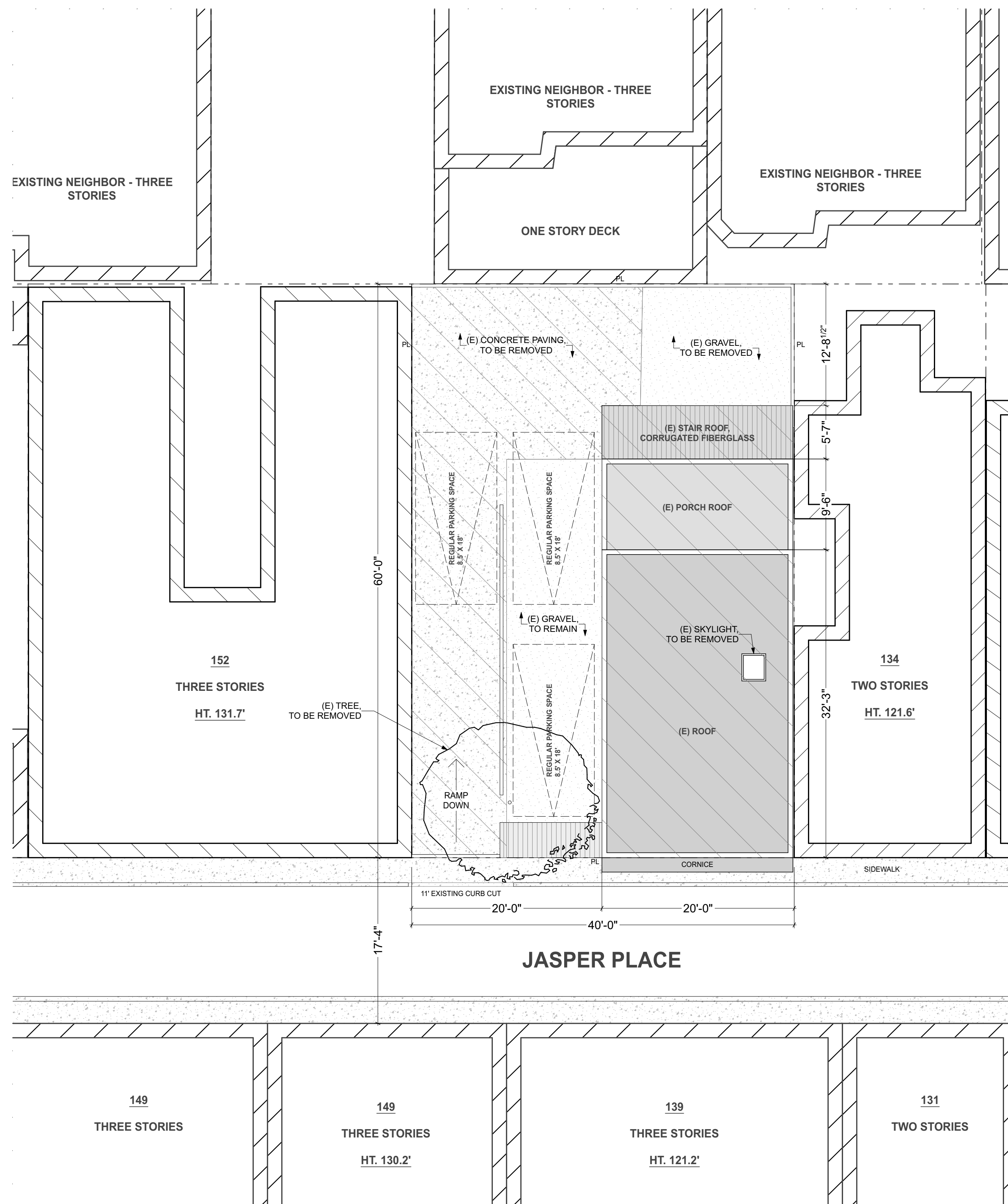
**SITE PLANS & CONTEXT PHOTOS**

project no. : 140JA

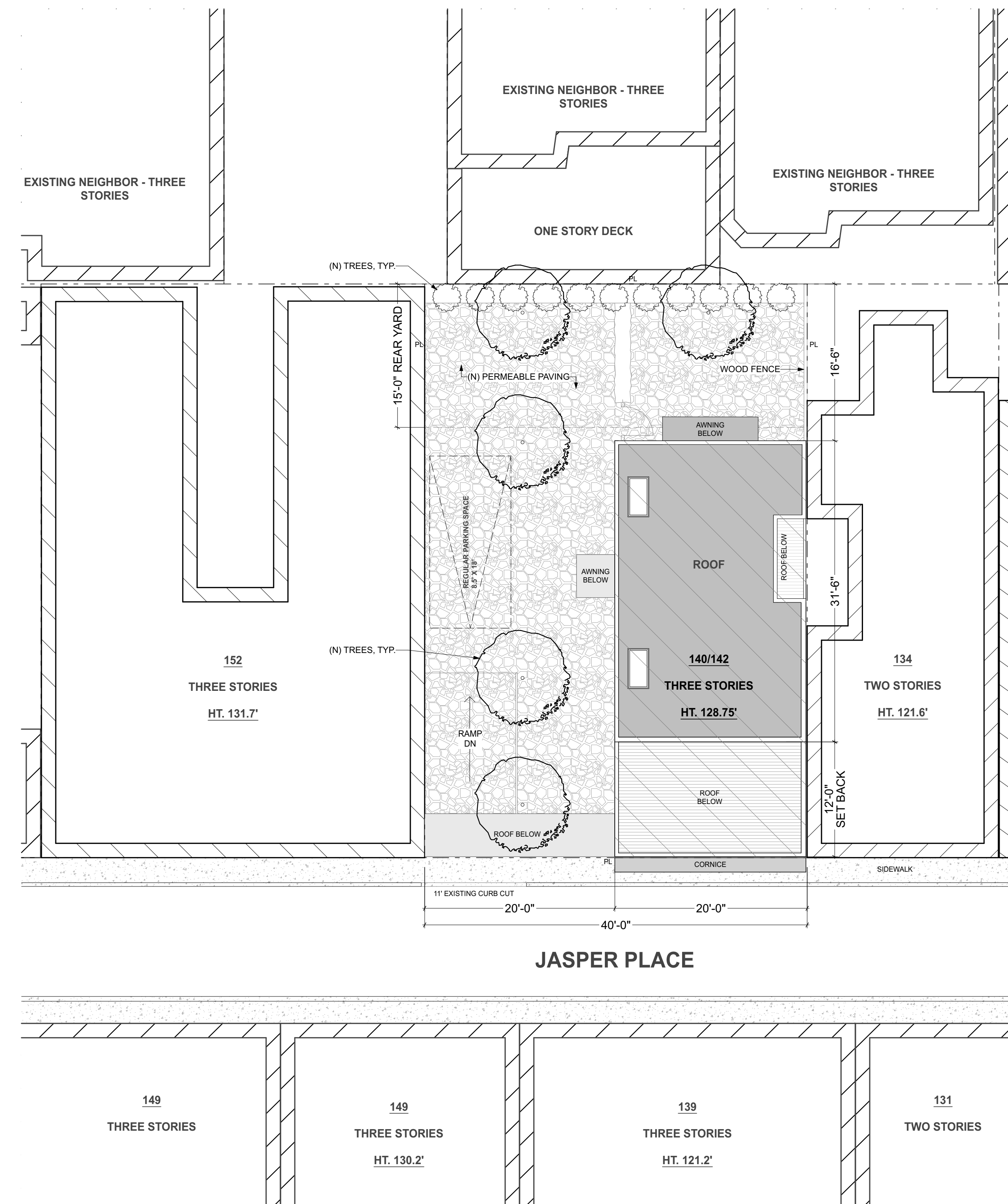
drawn by : JH

scale : (as noted)

**A1.3**



**1**  
**A1.3**  
 EXISTING SITE PLAN  
 SCALE: 1/8" = 1'-0"



**2**  
**A1.3**  
 PROPOSED SITE PLAN  
 SCALE: 1/8" = 1'-0"

05/20/20 11:18 AM Wilson Associates - 140-142 Jasper - 140-142 Jasper



**LEGEND:**

- Above
- - - - - Demo
- ===== Existing
- ===== New Wall

**140-142 Jasper**  
 Site Permit  
 2014-0627-9672

140 Jasper Place  
 San Francisco, CA 94133

**5/22/2020**



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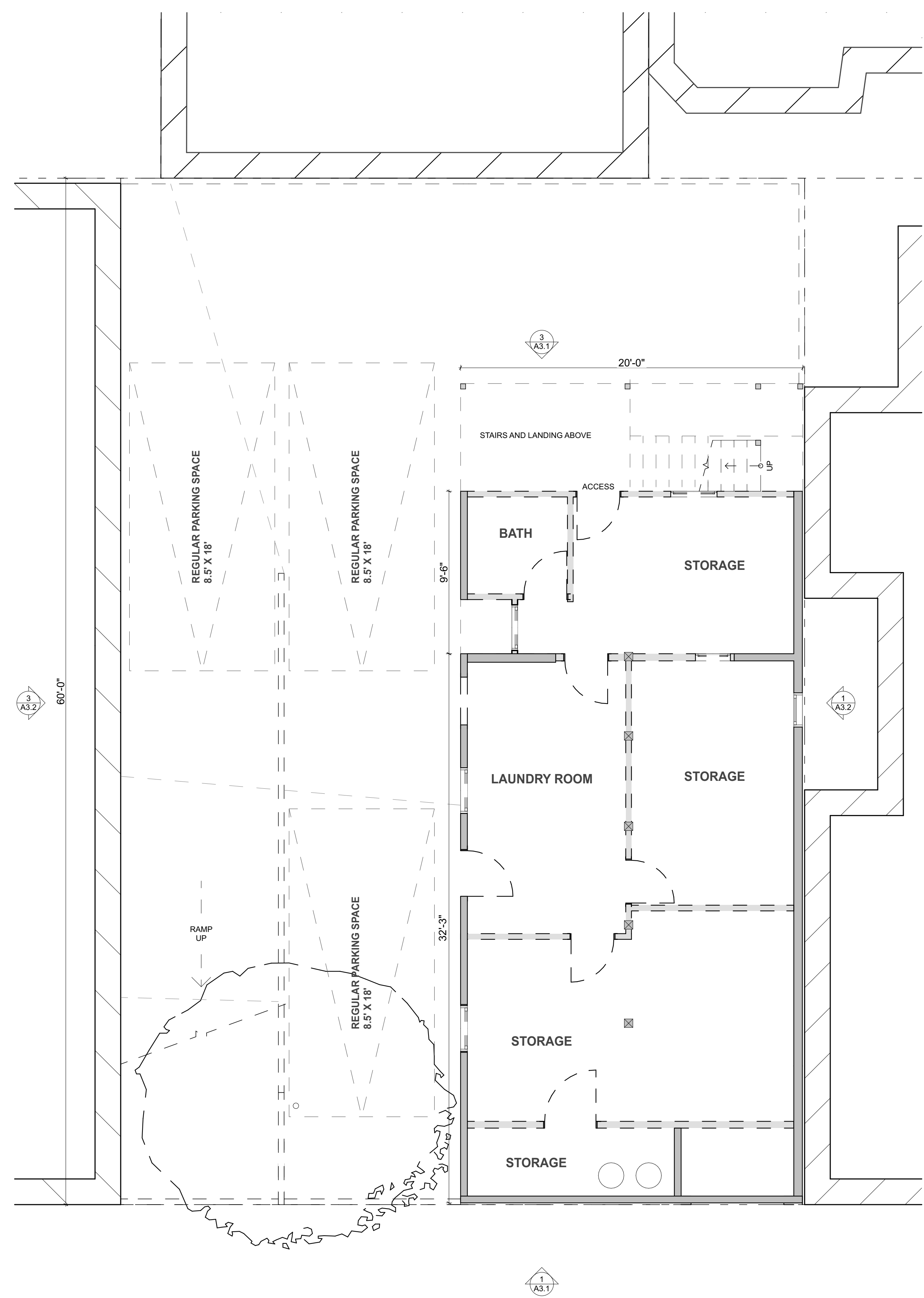
**BASEMENT PLANS**

project no. : 140JA

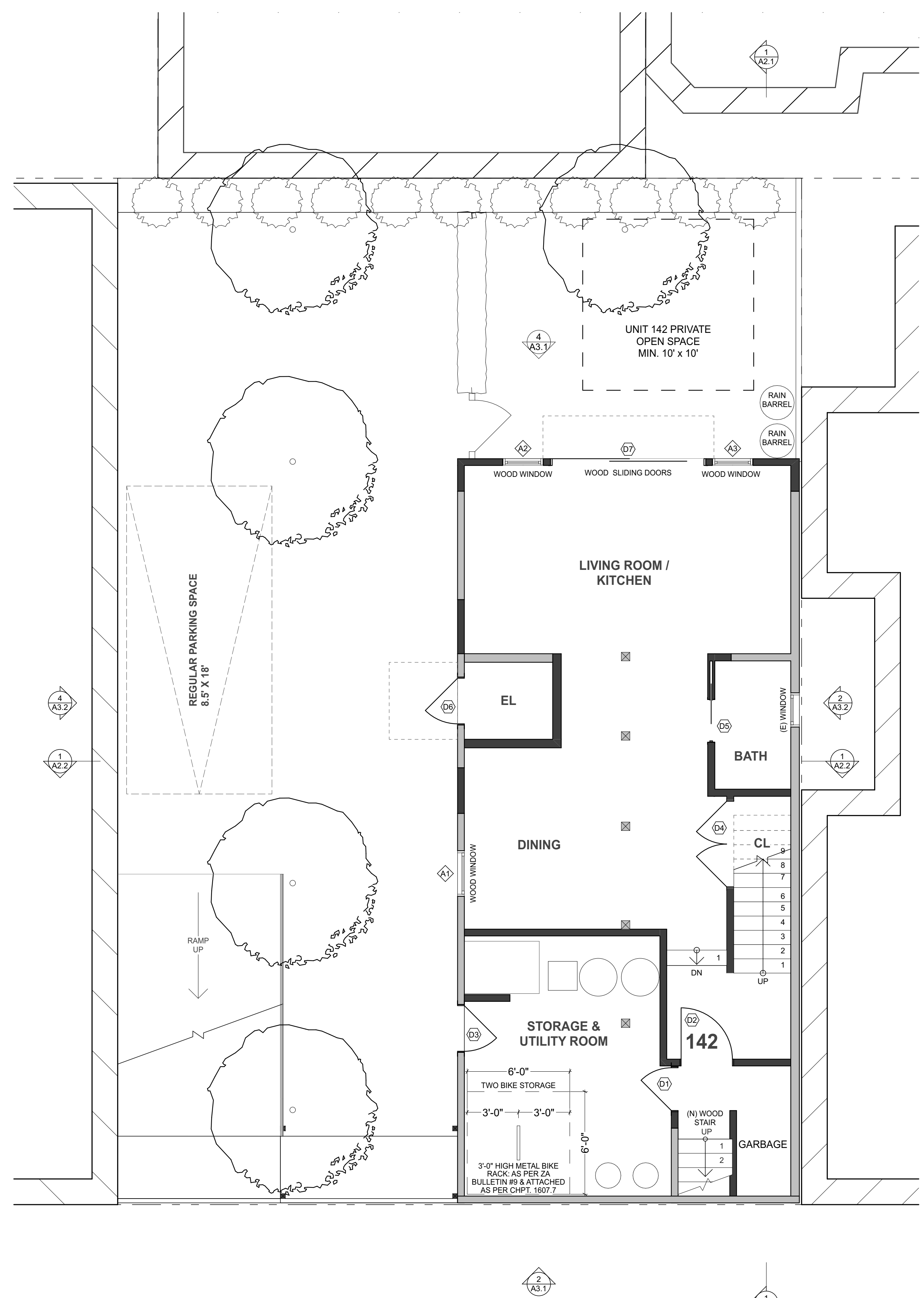
drawn by : JH

scale : (as noted)

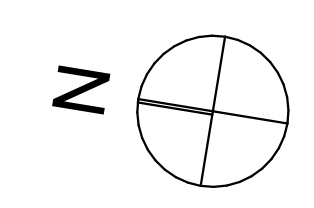
**A1.4**



**1**  
**A1.4** EXISTING BASEMENT PLAN  
 SCALE: 1/4" = 1'-0"



**2**  
**A1.4** PROPOSED BASEMENT PLAN  
 SCALE: 1/4" = 1'-0"



05/20/20 3:15 PM/10:00 AM WILSON ASSOCIATES - REMOVED FROM ARCHICAD 20/2004 - 140-142 Jasper



**140-142 Jasper**

Site Permit  
 2014-0627-9672

140 Jasper Place  
 San Francisco, CA 94133

5/22/2020



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**FIRST FLOOR PLANS**

project no. : 140JA

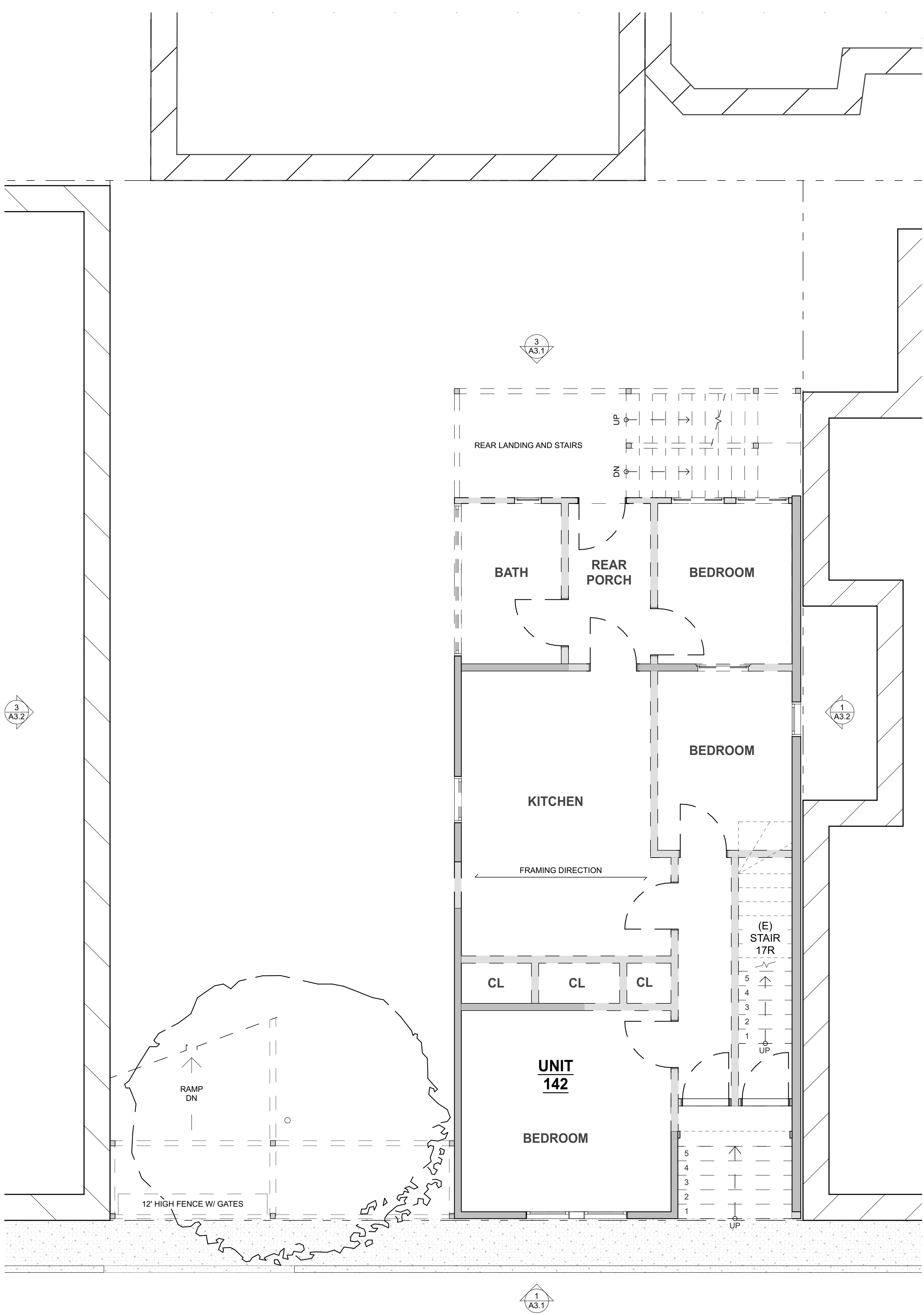
drawn by : JH

scale : (as noted)

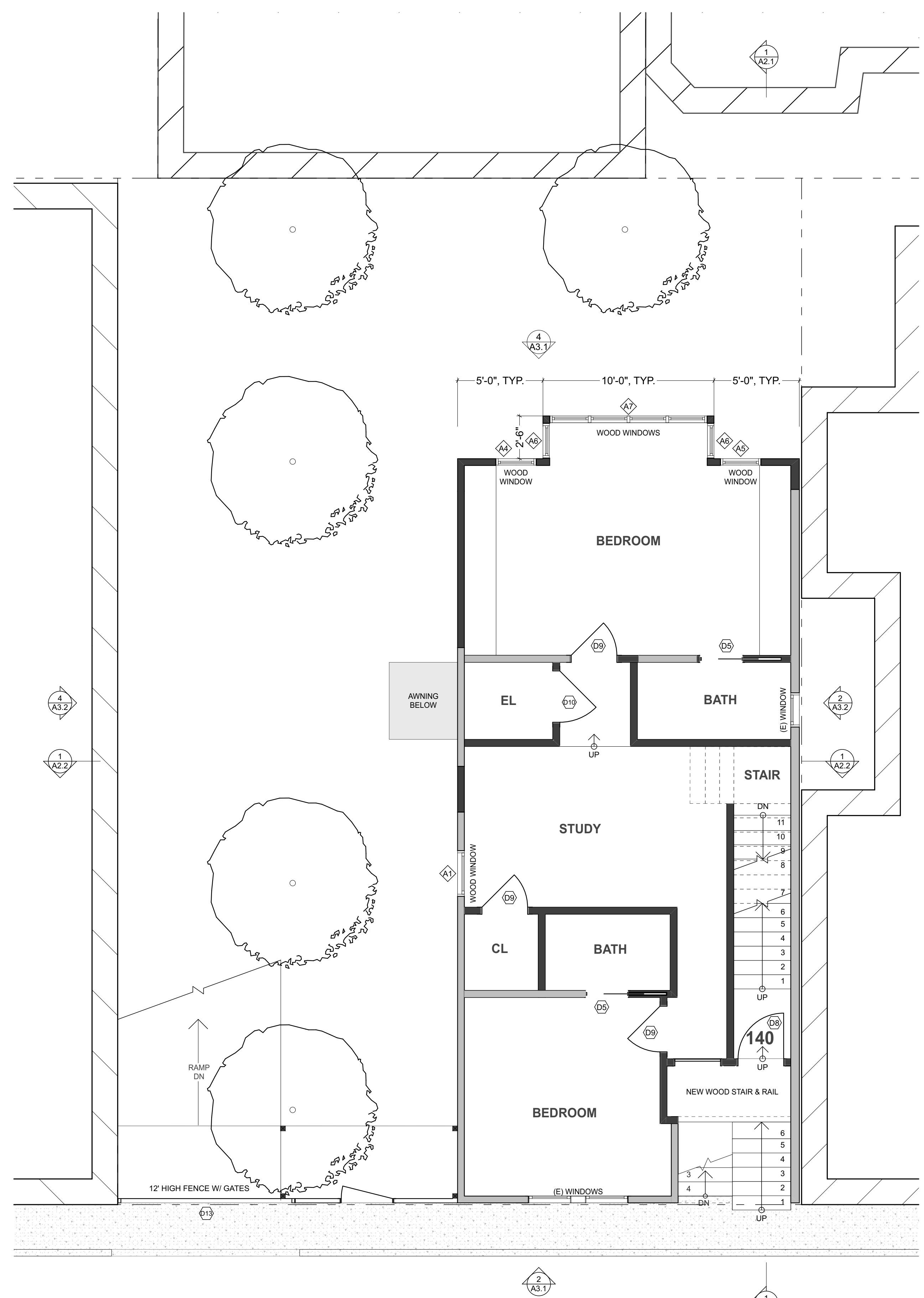
**A1.5**

**LEGEND:**

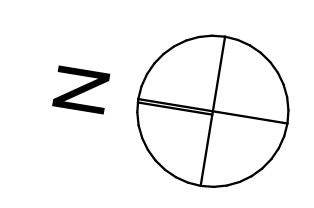
- Above
- - - - - Demo
- ===== Existing
- ===== New Wall



**1**  
**A1.5** EXISTING FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



**2**  
**A1.5** PROPOSED FIRST FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



05/20/20 11:15 AM/10:00 AM WILSON ASSOCIATES - REMOVED FROM ARCHICAD 20/2004 - 140-142 Jasper

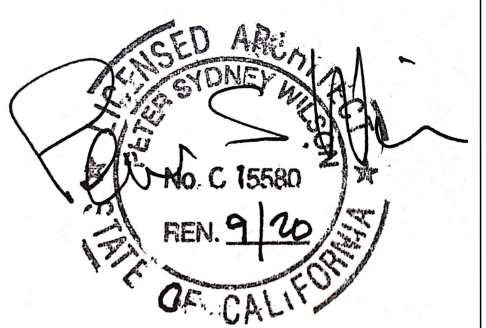


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**SECOND FLOOR PLANS**

project no. : 140JA

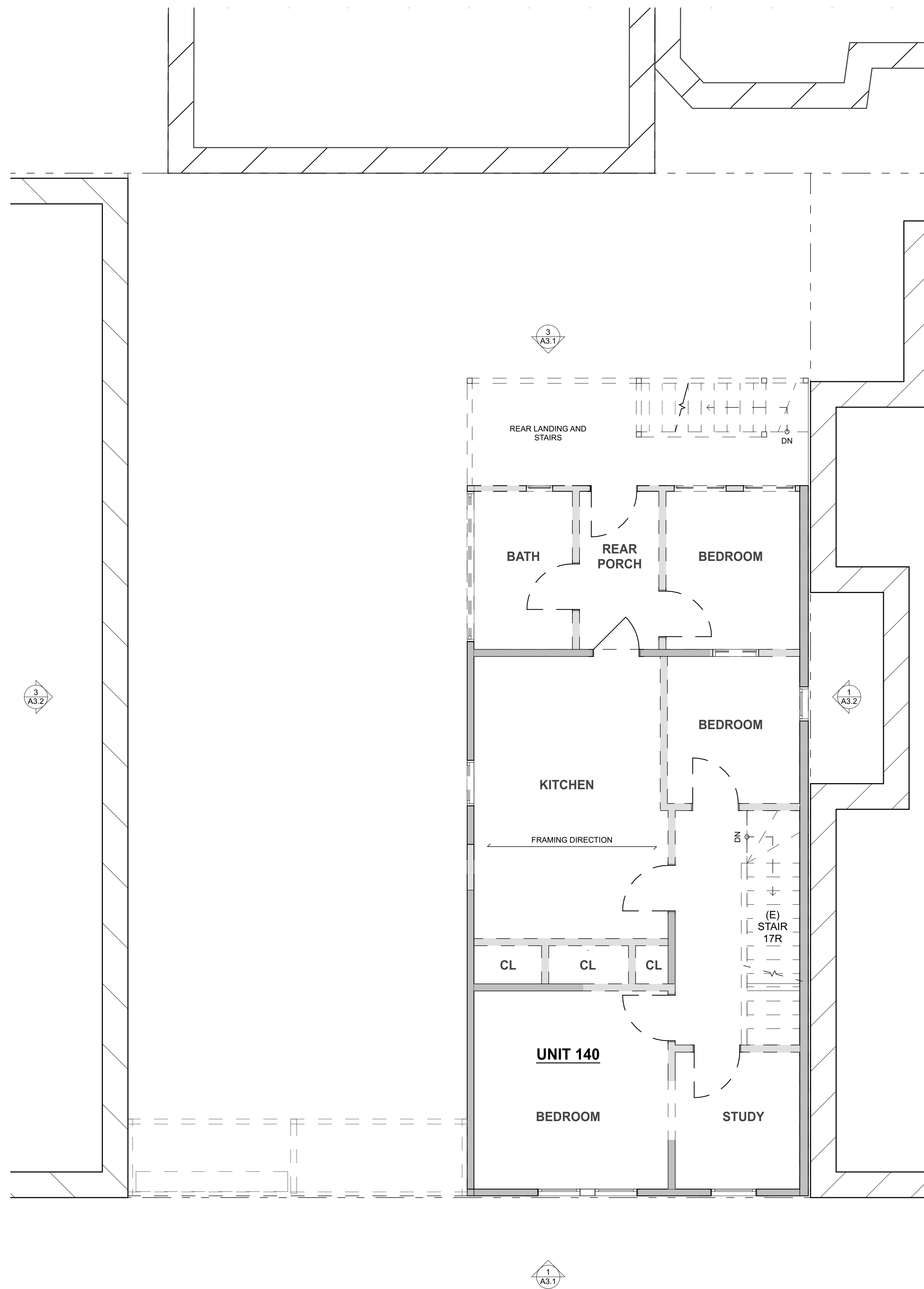
drawn by : JH

scale : (as noted)

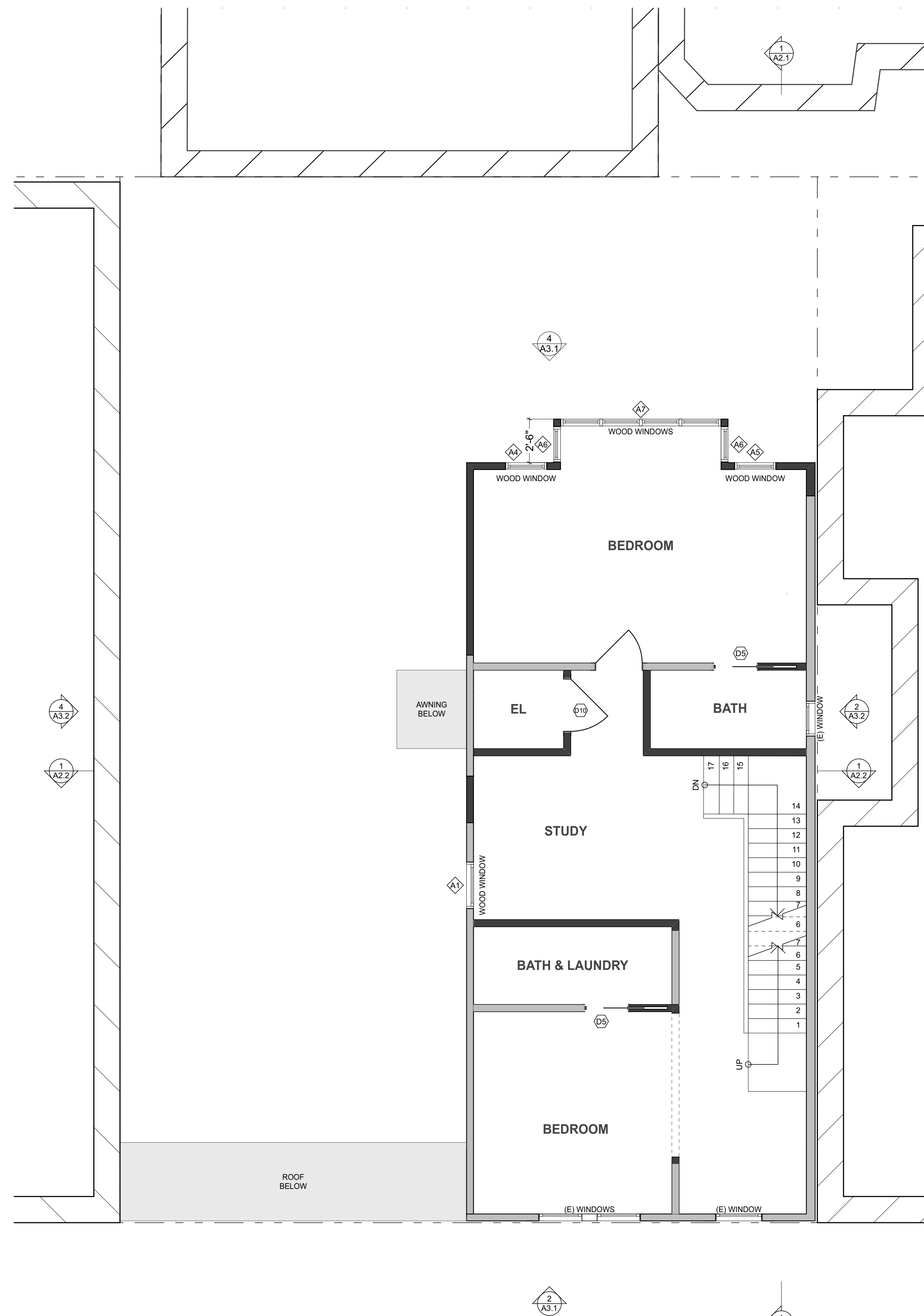
**A1.6**

**LEGEND:**

- Above
- - - - - Demo
- ===== Existing
- ===== New Wall



**1** EXISTING SECOND FLOOR PLAN  
**A1.6** SCALE: 1/4" = 1'-0"



**2** PROPOSED SECOND FLOOR PLAN  
**A1.6** SCALE: 1/4" = 1'-0"

05/20/20 11:15 AM W:\140-142\140-142\140-142.dwg - 140-142.dwg

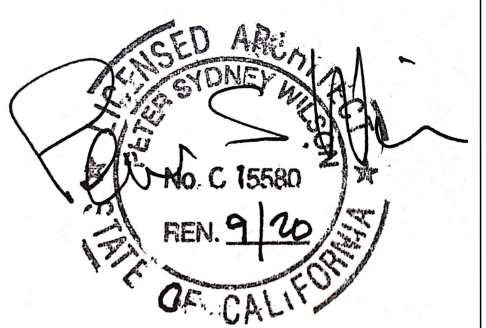


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5/22/2020



#	date	issues / revisions
0	9/27/12	SITE PERMIT
1	11/12/13	SP REVISIONS
2	4/14/14	SP REVISIONS
3	11/4/14	SP REVISIONS #1
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS #2

## THIRD FLOOR PLANS

project no. : 140JA

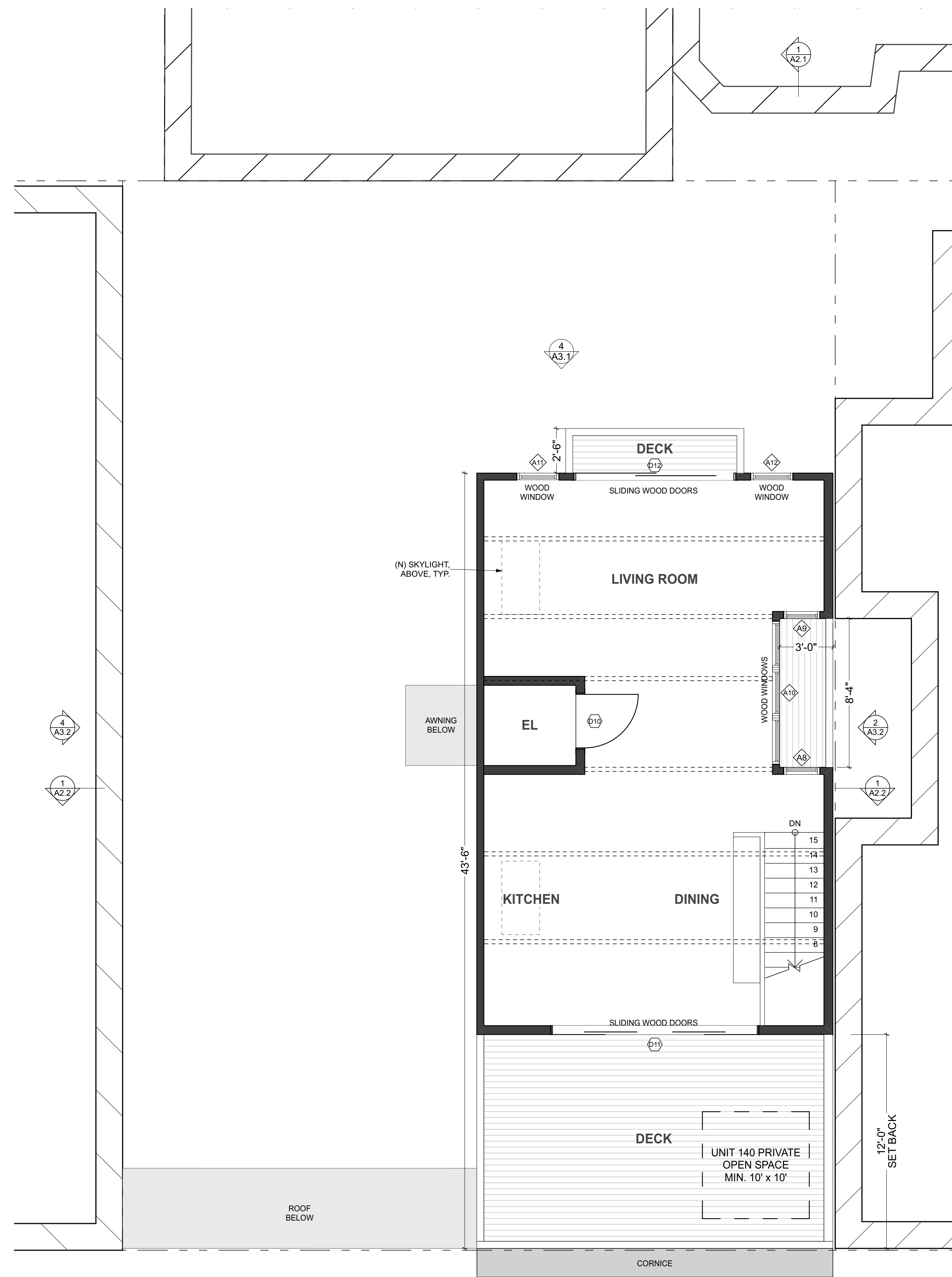
drawn by : JH

scale : (as noted)

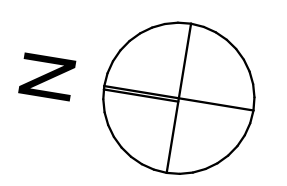
# A1.7

**LEGEND:**

- Above
- Demo
- Existing
- New Wall



**1** PROPOSED THIRD FLOOR PLAN  
 A1.7 SCALE: 1/4" = 1'-0"



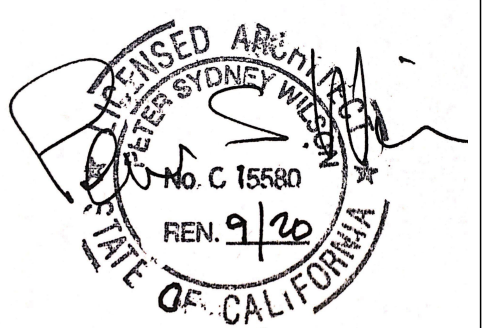


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3	11/4/14	SP REVISIONS #1
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS #2

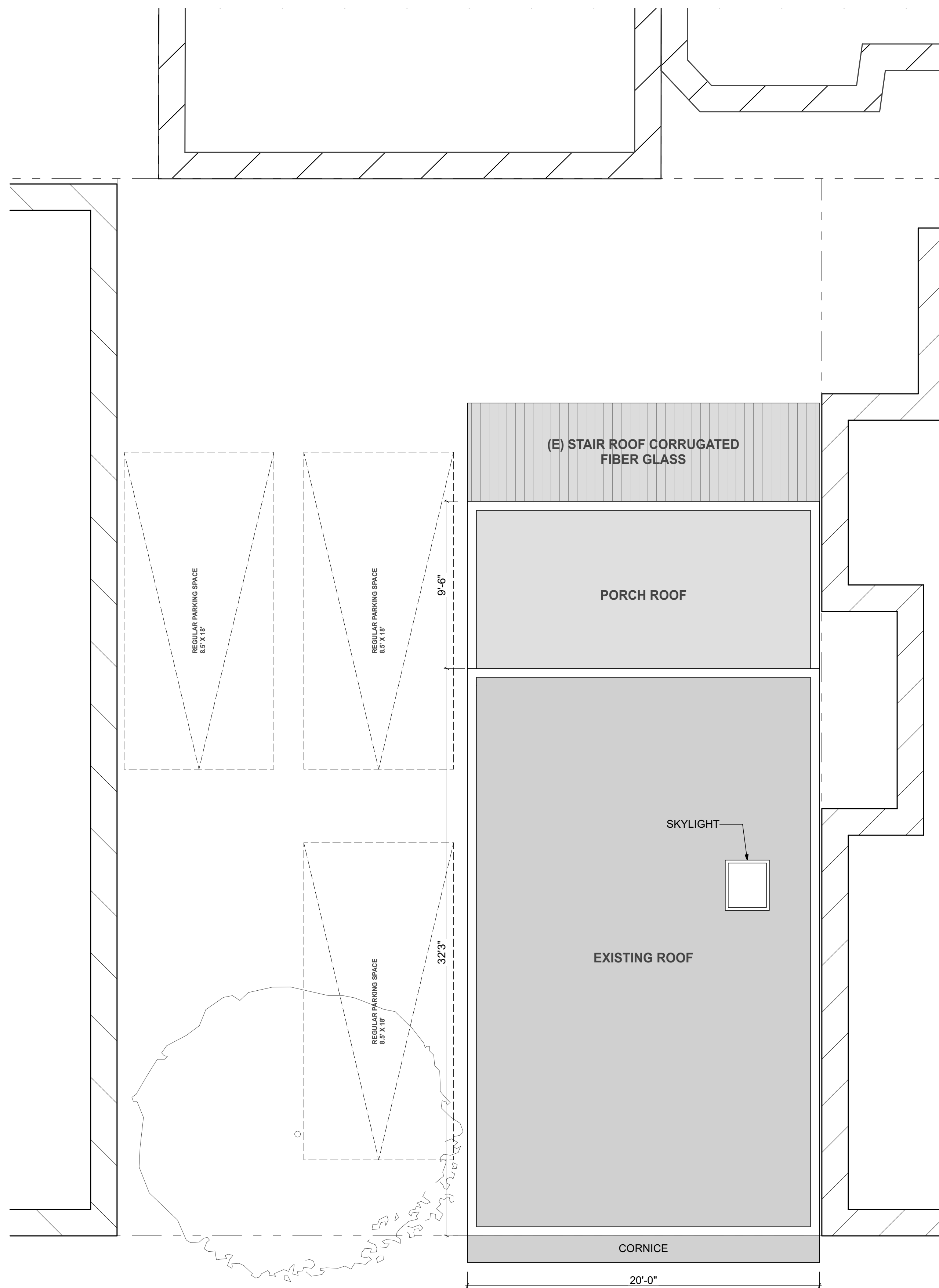
**ROOF PLANS**

project no. : 140JA

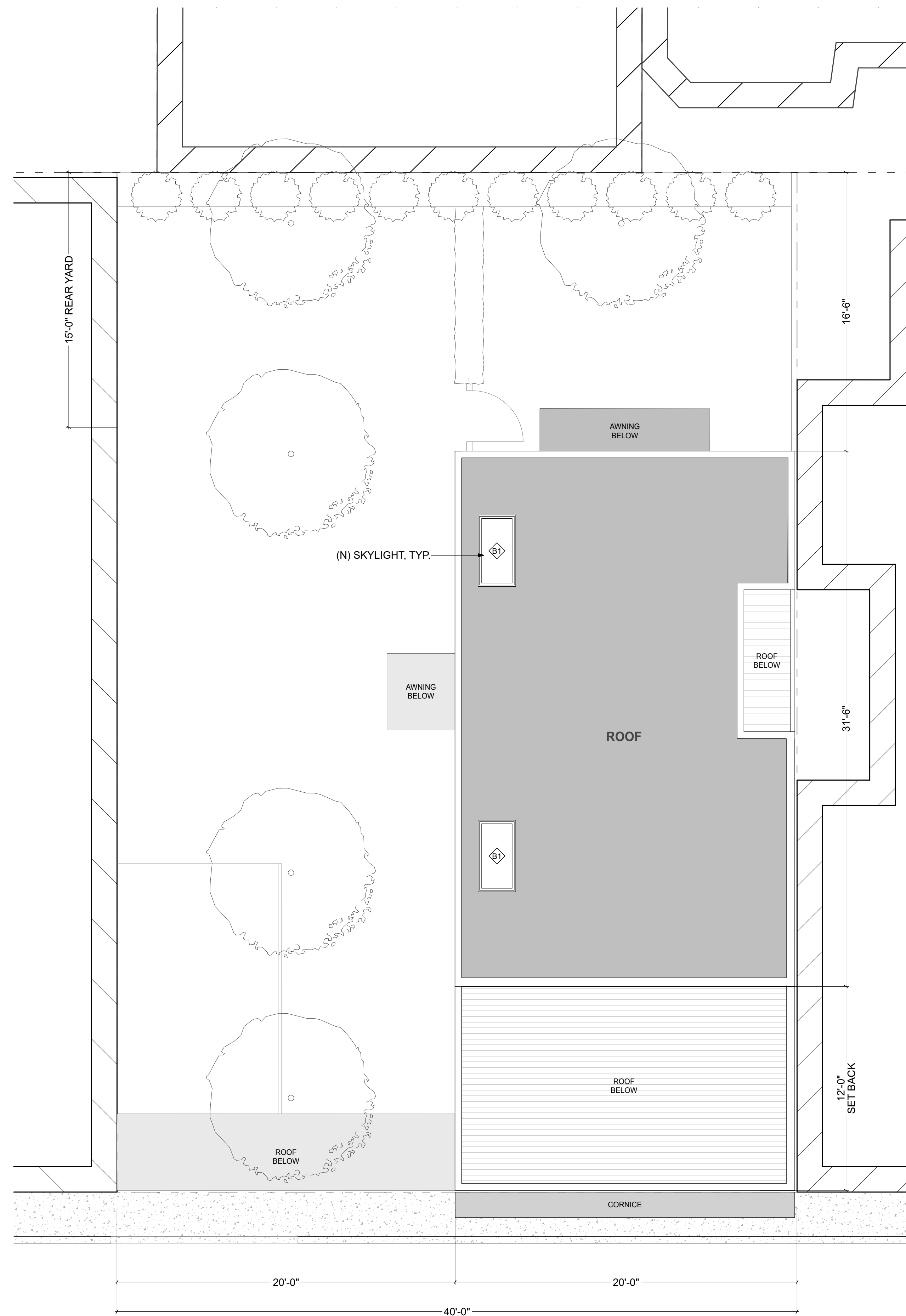
drawn by : JH

scale : (as noted)

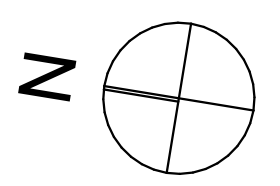
**A1.8**



**1** EXISTING ROOF PLAN  
**A1.8** SCALE: 1/4" = 1'-0"



**2** PROPOSED ROOF PLAN  
**A1.8** SCALE: 1/4" = 1'-0"



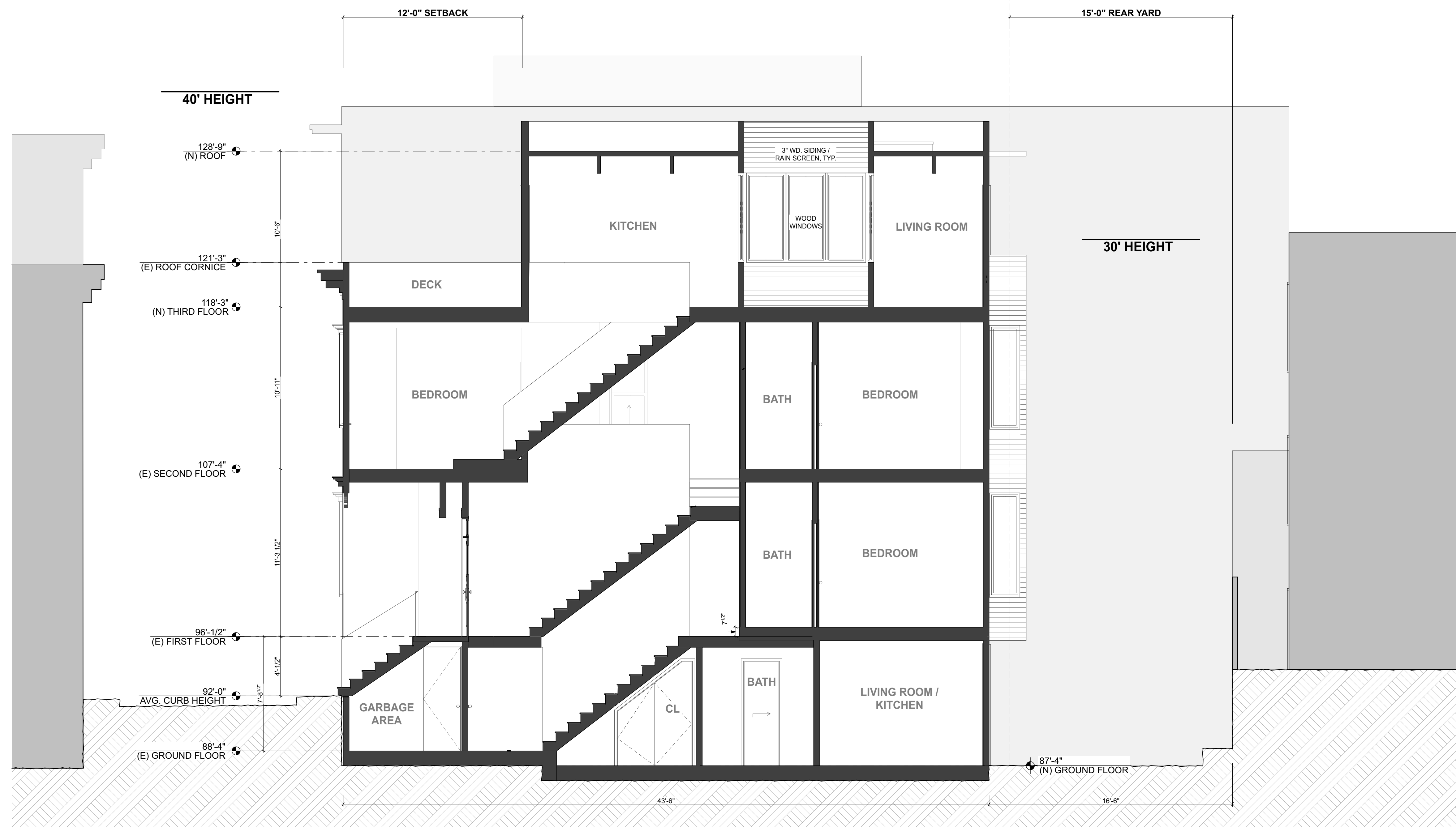
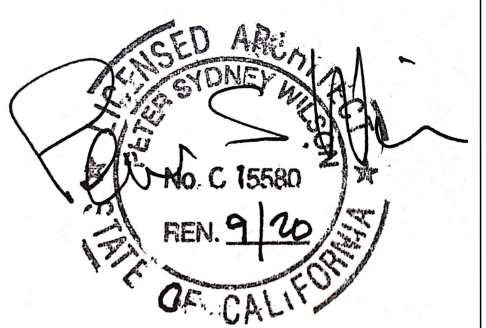


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**1**  
**A2.1** PROPOSED SECTION  
 SCALE: 1/4" = 1'-0"

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0	9/27/12	SITE PERMIT
1	11/12/13	SP REVISIONS
2	4/14/14	SP REVISIONS
3	11/4/14	SP REVISIONS #1
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS #2

**SECTIONS**

project no. : 140JA

drawn by : JH

scale : (as noted)

**A2.1**

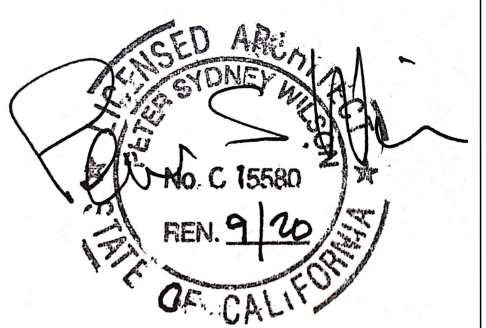


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**1**  
**A2.2** PROPOSED SECTION  
 SCALE: 1/4" = 1'-0"

#	date	issues / revisions
0	9/27/12	SITE PERMIT
1	11/12/13	SP REVISIONS
2	4/14/14	SP REVISIONS
3	11/4/14	SP REVISIONS #1
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS #2

**SECTIONS**

project no. : 140JA

drawn by : JH

scale : (as noted)

**A2.2**

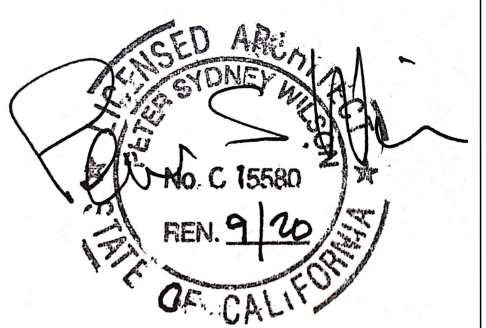


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**WEST & EAST ELEVATIONS**

project no. : 140JA

drawn by : JH

scale : (as noted)

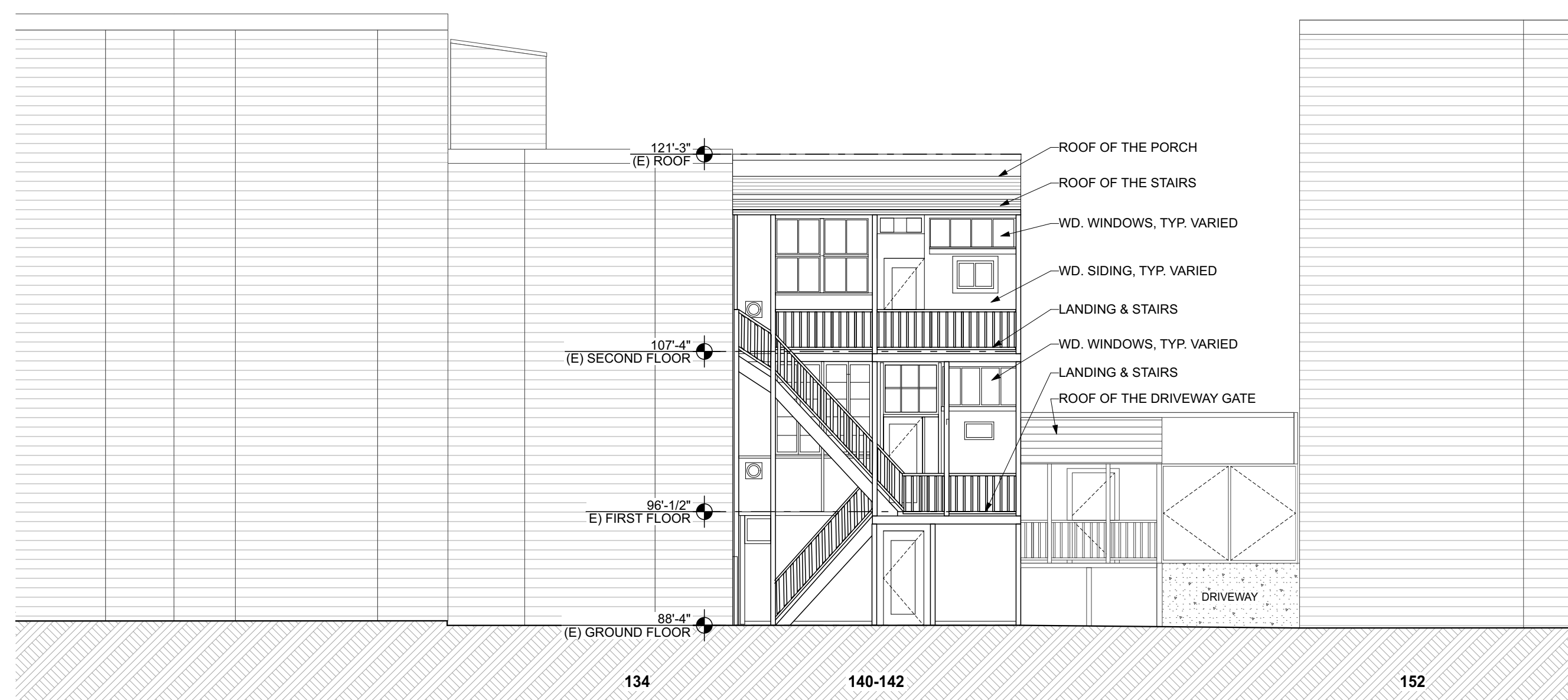
**A3.1**



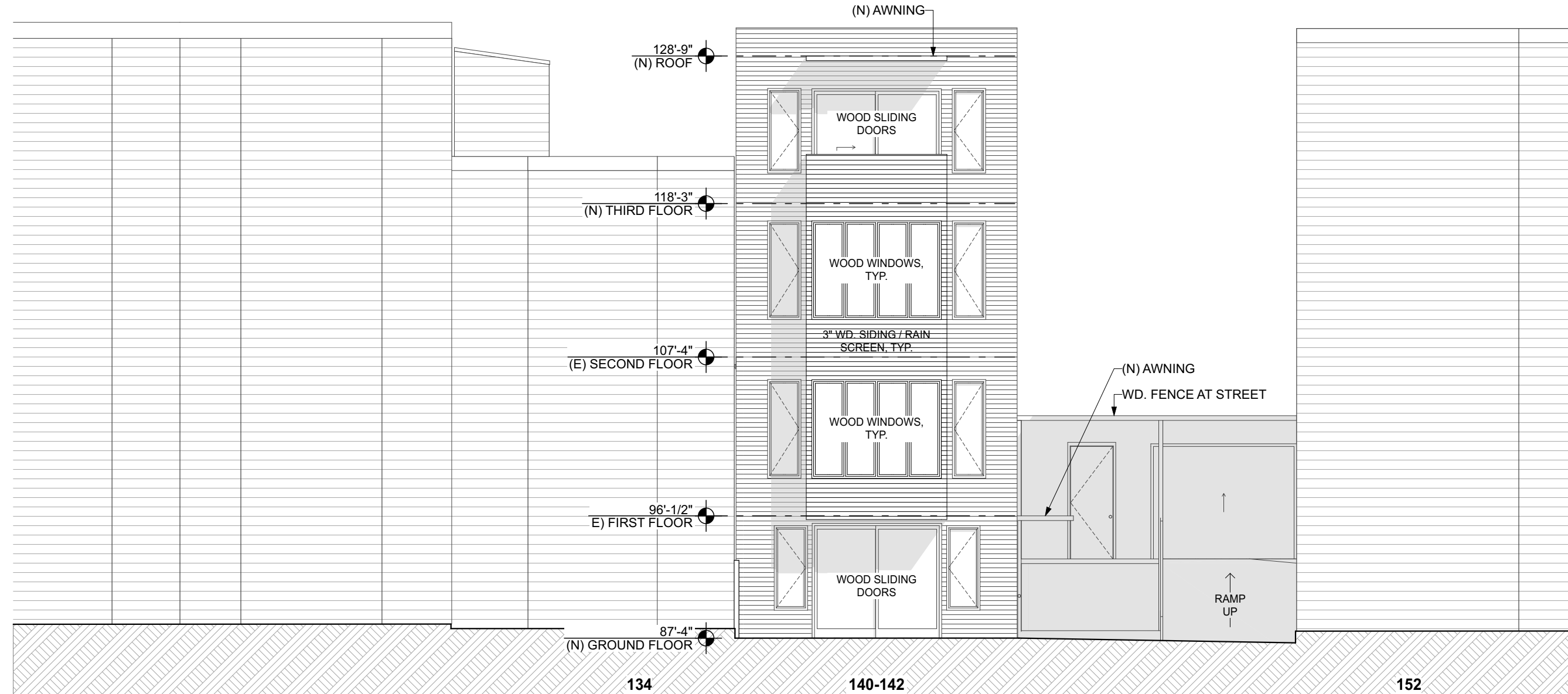
**1**  
**A3.1** EXISTING WEST ELEVATION  
 SCALE: 1/8" = 1'-0"



**2**  
**A3.1** PROPOSED WEST ELEVATION  
 SCALE: 1/8" = 1'-0"



**3**  
**A3.1** EXISTING EAST ELEVATION  
 SCALE: 1/8" = 1'-0"



**4**  
**A3.1** PROPOSED EAST ELEVATION  
 SCALE: 1/8" = 1'-0"

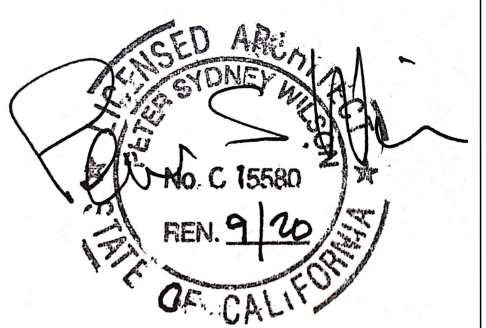


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3	11/4/14	SP REVISIONS #1
4	3/1/17	311 SUBMITTAL
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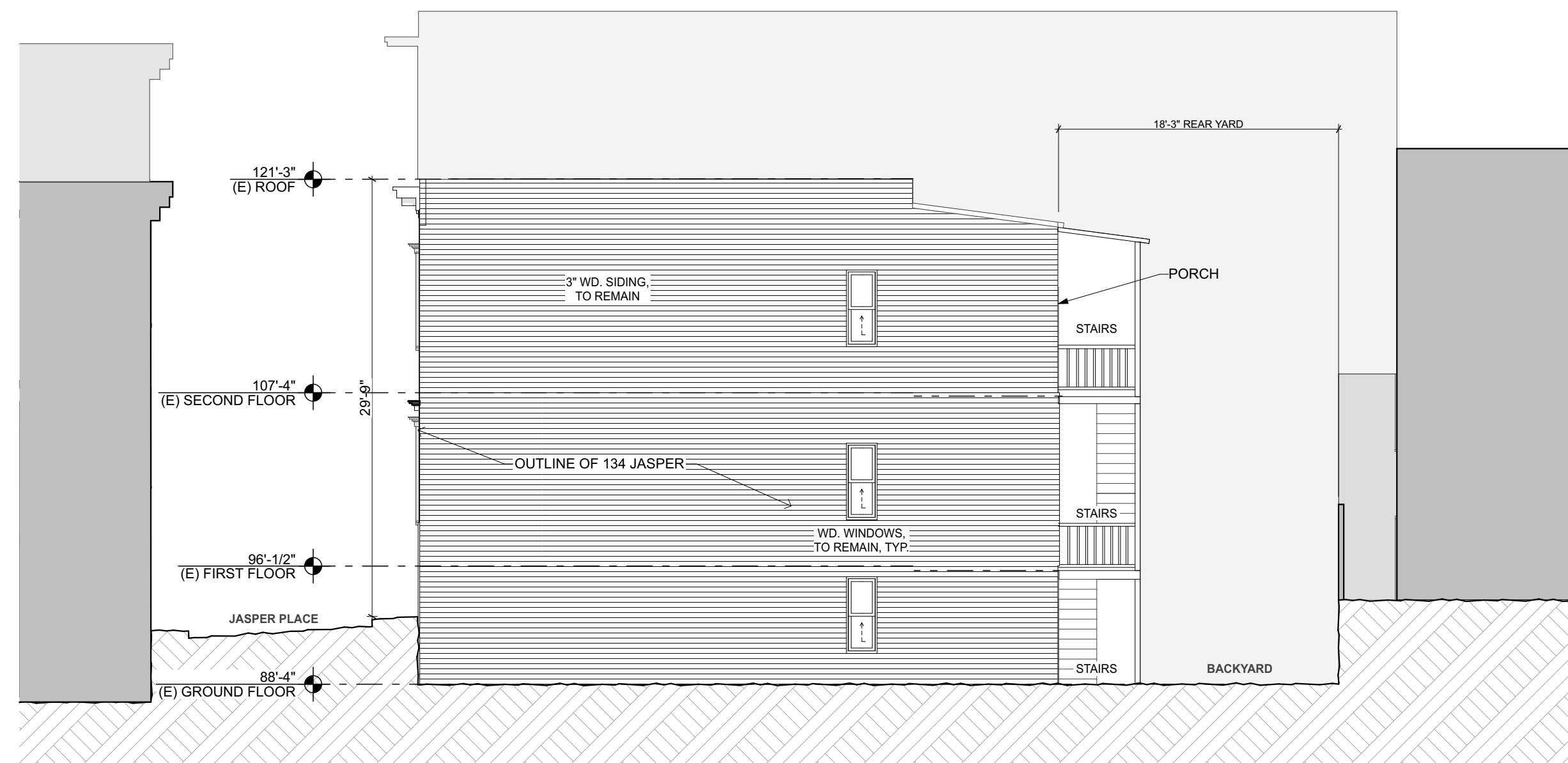
## SOUTH & NORTH ELEVATIONS

project no. : 140JA

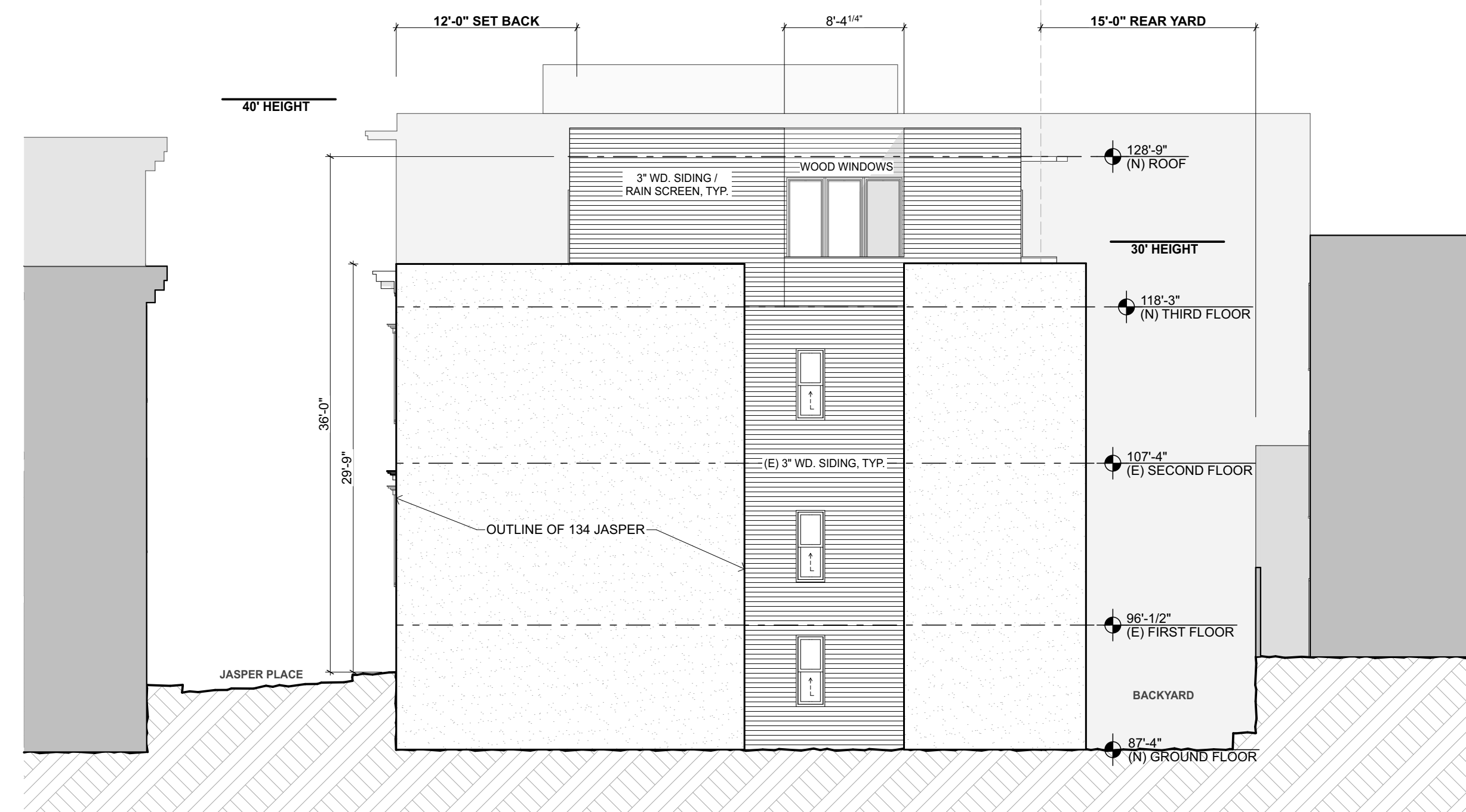
drawn by : JH

scale : (as noted)

# A3.2



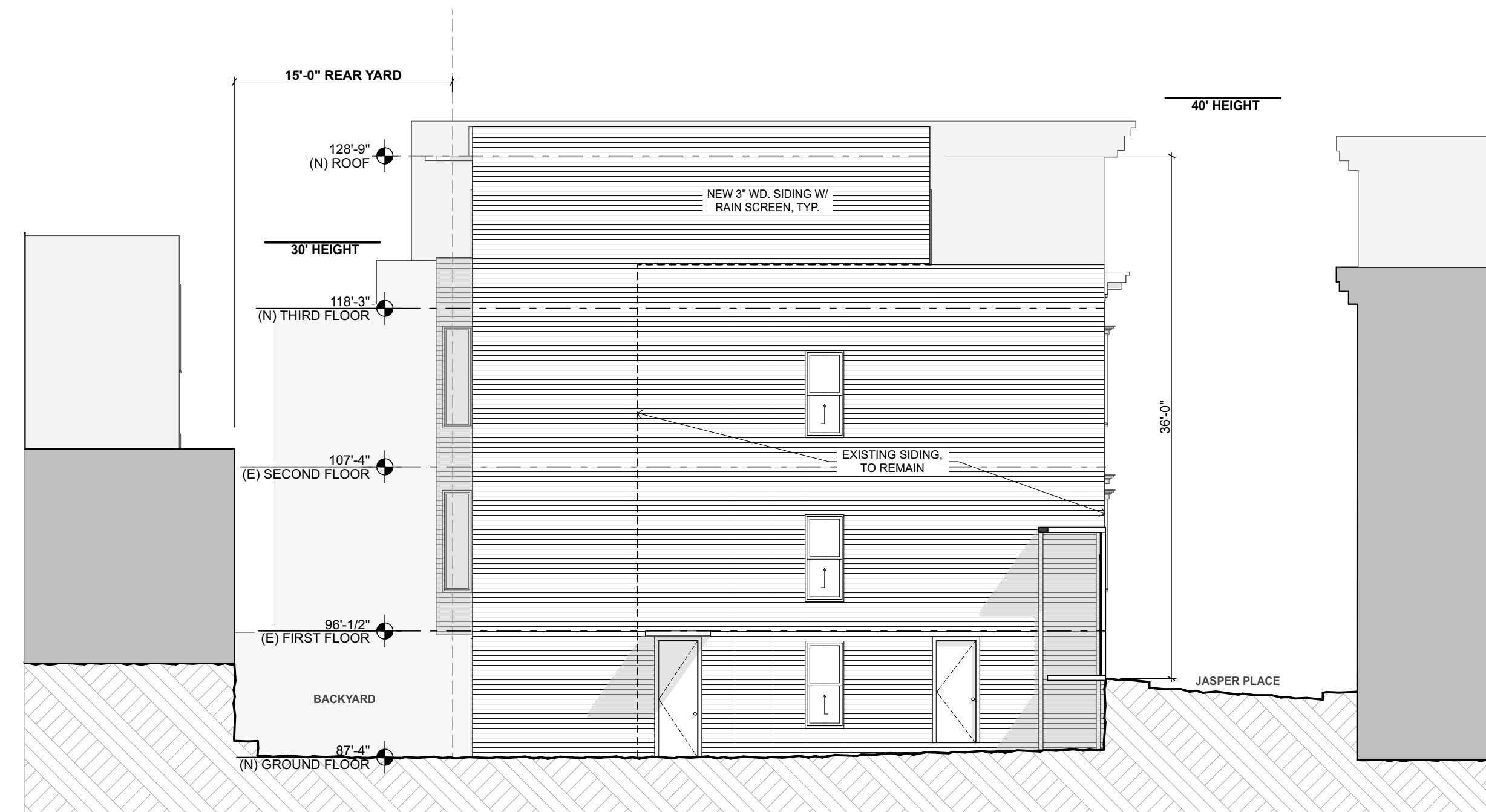
**1**  
**A3.2** EXISTING SOUTH ELEVATION  
 SCALE: 1/8" = 1'-0"



**2**  
**A3.2** PROPOSED SOUTH ELEVATION  
 SCALE: 1/8" = 1'-0"



**3**  
**A3.2** EXISTING NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"



**4**  
**A3.2** PROPOSED NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"



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3	11/4/14	SP REVISIONS #1
4	3/1/17	311 SUBMITTAL
5	5/22/2020	SP REVISIONS #2

**WINDOW & DOOR SCHEDULE**

project no. : 140JA

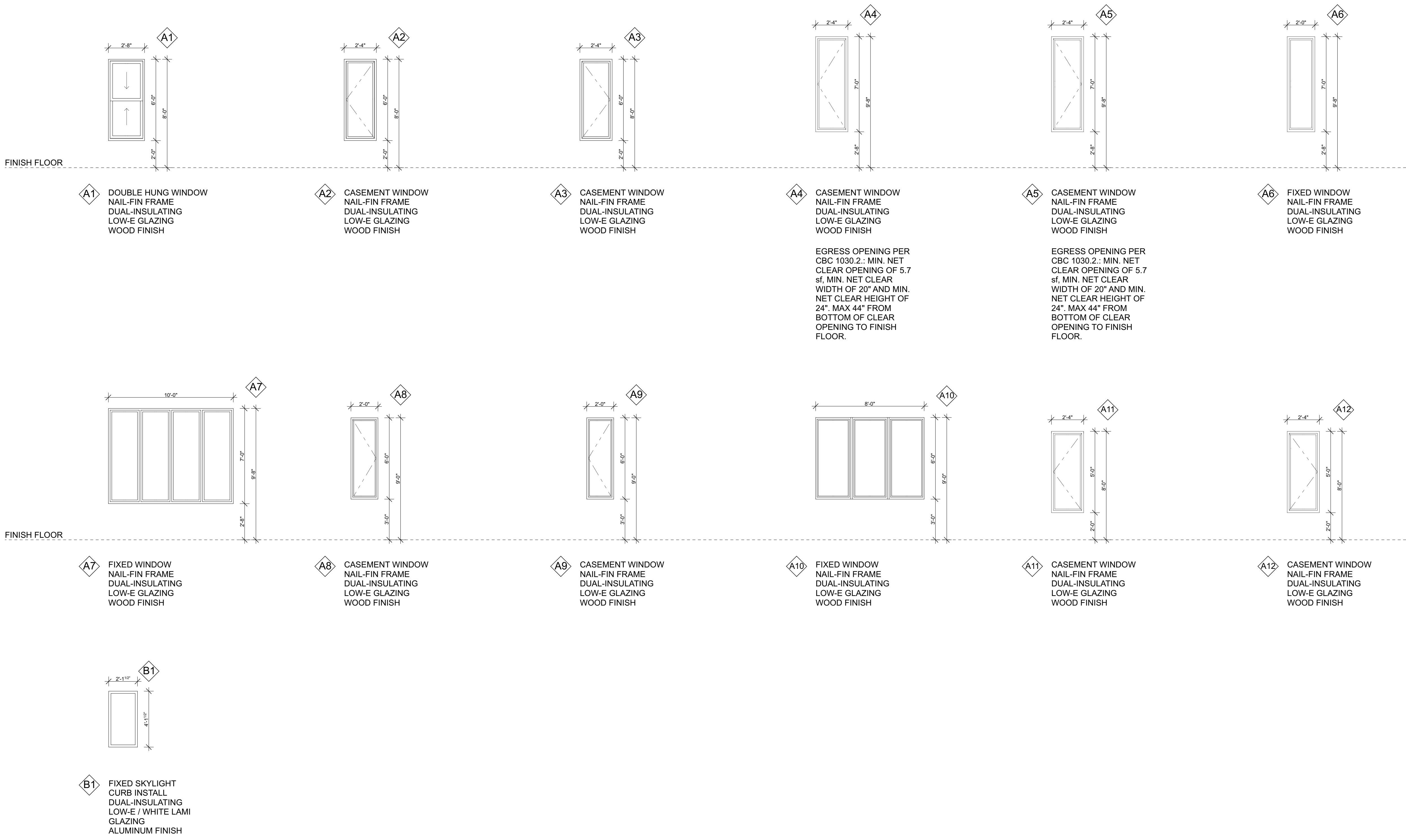
drawn by : JH

scale : (as noted)

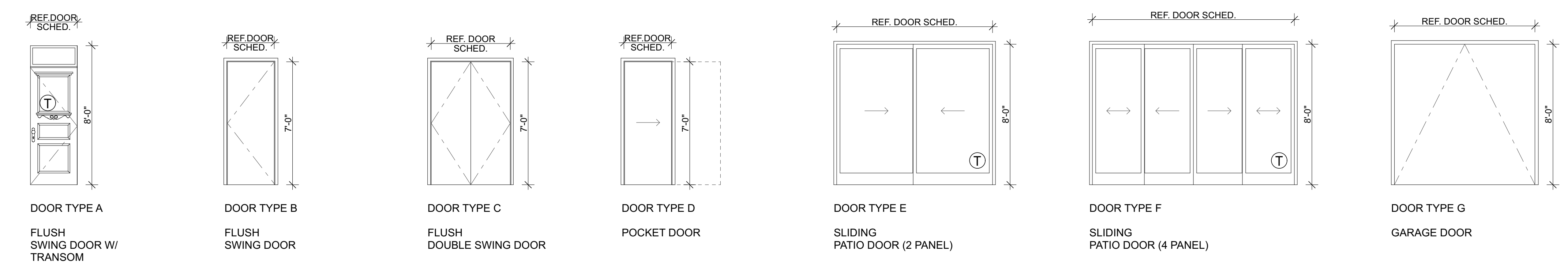
**A4.1**

**SHEET NOTES:**

- Permanent etched label is req'd. @ skylight. To be marked per CBC 2405.5
  - Provide tempered glass in new exterior door panels per CBC 2406.4.1. Label per CBC 2406.3
- Ⓣ = Tempered Glazing



**1 WINDOW SCHEDULE**  
**A4.1 SCALE: 1/4" = 1'-0"**



**2 DOOR TYPES**  
**A4.1 SCALE: 1/4" = 1'-0"**

#	TYPE	NOMINAL DIMENSIONS		MATERIAL	FIRE RATING	NOTES
		W	HT			
D1	B	2'-6"	7'-0"	WOOD		INTERIOR
D2	B	3'-0"	7'-0"	WOOD		INTERIOR
D3	B	2'-8"	7'-0"	WOOD		INTERIOR
D4	C	5'-0"	7'-0"	WOOD		INTERIOR
D5	D	2'-4"	7'-0"	WOOD		POCKET DOOR
D6	B	2'-8"	8'-0"	WOOD		EXTERIOR
D7	E	8'-10 <sup>1/2</sup> "	8'-0"	WOOD		EXTERIOR 2-PANEL SLIDER
D8	A	2'-8"	6'-8"	WOOD		EXTERIOR
D9	B	2'-8"	7'-0"	WOOD		INTERIOR
D10	B	3'-0"	7'-0"	WOOD		INTERIOR
D11	F	11'-6"	8'-0"	WOOD		EXTERIOR 4-PANEL SLIDER
D12	E	8'-10 <sup>1/2</sup> "	8'-0"	WOOD		EXTERIOR 2-PANEL SLIDER
D13	G	10'-0"	8'-0"	WOOD		GARAGE DOOR

**3 DOOR SCHEDULE**  
**A4.1**