



**SAN FRANCISCO
PLANNING DEPARTMENT**

1650 Mission Street, Suite 400 • San Francisco, CA 94103 • Fax (415) 558-6409

NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, July 27, 2016**
 Time: **9:30 AM**
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**
 Case Type: **Variance(Rear Yard & Open Space)**
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION	APPLICATION INFORMATION
Project Address: 3441-3447 20th Street	Case No.: 2008.1274VAR
Cross Street(s): Capp Street	Building Permit: 2015.01.09.5338
Block / Lot No.: 3610/047	Applicant/Agent: Larry Paul
Zoning District(s): RTO-M / 55-X	Telephone: 415-922-9282
Area Plan: Mission	E-Mail: l.a.paul@prodigy.net

PROJECT DESCRIPTION

The proposal includes a one-story vertical addition, the addition of three off-street parking spaces, and the construction of three new dwelling units. Two of these new dwelling units would be constructed with a private deck larger than 100 square feet. The proposal would result in a total of nine dwelling units at 3441-3447 20th Street.

Per Section 134 of the Planning Code, the subject property is required to maintain a rear yard of 25-feet. Currently, the existing building is partially located within the required rear yard. Since the project includes a new vertical addition within a portion of the required rear yard, a variance is required from Planning Code Section 134.

Per Section 135 of the Planning Code, the project is required to provide 100 square feet of private open space per dwelling unit. Currently, the project would construct one new dwelling unit at the ground floor level without access to private open space. Since the project includes a new dwelling unit without open space, a variance is required from Planning Code Section 135.

ADDITIONAL INFORMATION

FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:

Planner: **Richard Sucre** Telephone: **415-575-9108** Mail: Richard.Sucre@sfgov.org

ARCHITECTURAL PLANS: The site plan and elevations of the proposed project are available on the Planning Department's website at: <http://sf-planning.org/ftp/files/notice/2008.1274VAR.pdf>

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

GENERAL INFORMATION ABOUT PROCEDURES

VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing

BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

ABOUT THIS NOTICE

The Planning Department is currently reviewing its processes and procedures for public notification as part of the Universal Planning Notification (UPN) Project. The format of this Public Hearing notice was developed through the UPN Project and is currently being utilized in a limited trial-run for notification of Variance Hearings.

If you have any comments or questions related to the UPN Project or the format of this notice, please visit our website at <http://upn.sfplanning.org> for more information.

中文詢問請電 : 558.6378

Para información en Español llamar al: 558.6378

ABBREVIATIONS		SYMBOLS	
&	AND	I.D.	INSIDE DIAMETER
/	ANGLE	INSUL.	INSULATION
@	AT	INT.	INTERIOR
C	CENTERLINE	JT.	JOINT
o	DIAMETER or ROUND	JT.	JOINT
o	PERPENDICULAR	KIT.	KITCHEN
#	POUND or NUMBER		
ABV.	ABOVE	LAM.	LAMINATE
ACOUS.	ACOUSTICAL	LV.	LAVATORY
A.D.	AREA DRAIN	LB.	POUND
ADJ.	ADJUSTABLE	LT.	LIGHT
AGG.	AGGREGATE		
ALUM.	ALUMINUM	MAX.	MAXIMUM
APPROX.	APPROXIMATE	M.C.	MEDICINE CABINET
ARCH.	ARCHITECTURAL	MECH.	MECHANICAL
ASPH.	ASPHALT	MEMB.	MEMBER
		MTL.	METAL
BD.	BOARD	MFR.	MANUFACTURER
BITUM.	BITUMINOUS	MIN.	MINIMUM
BLDG.	BUILDING	MIR.	MIRROR
BLK.	BLOCK	MISC.	MISCELLANEOUS
BLKG.	BLOCKING	M.O.	MASONRY OPENING
BM.	BEAM	MTD.	MOUNTED
BOT.	BOTTOM	MUL.	MULLION
		(N)	NEW
CAB.	CABINET	N.	NORTH
C.B.	CATCH BASIN	N.A.	NOT APPLICABLE
CEM.	CEMENT	N.I.C.	NOT IN CONTRACT
CER.	CERAMIC	NO or #	NUMBER
C.I.	CAST IRON	NOM.	NOMINAL
C.J.	CONSTR. JOINT	N.T.S.	NOT TO SCALE
C.L.	CEILING JOIST		
CLG.	CEILING	O.A.	OVERALL
CLKG.	CEILING	OBS.	OBSOLETE
CLO.	CLOSET	O.C.	ON CENTER
COL.	COLUMN	O.D.	OUTSIDE DIAMETER
CONC.	CONCRETE	OPNG.	OPENING
CONN.	CONNECTION	OPP.	OPPOSITE
CONSTR.	CONSTRUCTION		
CONT.	CONTINUOUS	PRCST.	PRECAST
CORR.	CORRIDOR	PL.	PLATE
CNTR.	COUNTER	P.LAM.	PLASTIC LAMINATE
CTSK.	COUNTERSINK	PLAS.	PLASTER
CTR.	CENTER	PLYWD.	PLYWOOD
		PR.	PAIR
DBL.	DOUBLE	PT.	POINT
DEMO.	DEMOLITION	PTN.	PARTITION
DEPT.	DEPARTMENT		
DET.	DETAIL	Q.T.	QUARRY TILE
DIA.	DIAMETER		
DIM.	DIMENSION	(R)	RELOCATED
DN.	DOWN	R.	RISER
D.O.	DOOR OPENING	RAD.	RADIUS
DR.	DOOR	R.D.	ROOF DRAIN
DWR.	DRAWER	REF.	REFERENCE
DS.	DOWN SPOUT	REFR.	REFRIGERATOR
DWG.	DRAWINGS	RGTR.	REGISTER
		REINF.	REINFORCED
(E)	EXISTING	REQ.	REQUIRED
E	EAST	RESIL.	RESILIENT
E.A.	EACH	RM.	ROOM
E.L.J.	EXPANSION JOINT	R.O.	ROUGH OPENING
ELEV.	ELEVATION	RDWD.	REDWOOD
ELEC.	ELECTRICAL	R.W.L.	RAIN WATER LEADER
ELEV.	ELEVATOR	R&R	REMOVE & REPLACE
ENCL.	ENCLOSURE		
ELECTRICAL PANEL	ELECTRICAL PANEL		
EQUIP.	EQUIPMENT	S.	SOUTH
EXIST.	EXISTING	S.C.	SOLID CORE
EXPO.	EXPOSED	SCHED.	SCHEDULE
EXP.	EXPANSION	SECT.	SECTION
EXT.	EXTERIOR	SH.	SHelf
		SHWR.	SHOWER
F.B.	FLAT BAR	SHT.	SHEET
F.D.	FLOOR DRAIN	SIM.	SIMILAR
FDN.	FOUNDATION	SPEC.	SPECIFICATION
FIN.	FINISH	SQ.	SQUARE
FLR.	FLOOR	STR.	STORAGE
FLASH.	FLASHING	STR.L.	STRUCTURAL
FLUOR.	FLUORESCENT	SYM.	SYMBOL
F.O.B.	FACE OF BLOCK/BRICK	T.B.	TOWEL BAR
F.O.C.	FACE OF CONCRETE	T.B.R.	TO BE REMOVED
F.O.S.	FACE OF STUD	TEL.	TELEPHONE
F.PRF.	FIRE PROOF	T&G	TONGUE & GROOVE
F.S.	FULL SIZE	THK.	THICK
FT.	FOOT OR FEET	T.O.P.	TOP OF PAVEMENT
FTG.	FOOTING	TV.	TELEVISION
FUT.	FUTURE	TYP.	TYPICAL
		UNF.	UNFINISHED
GA.	GAUGE	U.O.N.	UNLESS OTHERWISE NOTED
GALV.	GALVANIZED	VERT.	VERTICAL
G.B.	GRAB BAR	VEST.	VESTIBULE
GL.	GLASS		
GRND.	GROUND	W.	WEST
GR.	GRADE	W/	WITH
GYP.	GYPSPUM	WD.	WOOD
		W/O	WITHOUT
H.B.	HOSE BIBB	WP.	WATERPROOF
H.C.	HOLLOW CORE	WSCT.	WAINSCOTING
HDWD.	HARDWOOD	WT.	WEIGHT
HDWR.	HARDWARE	W.W.F.	WELDED WIRE FABRIC
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR.	HOUR		
HT..	HEIGHT		

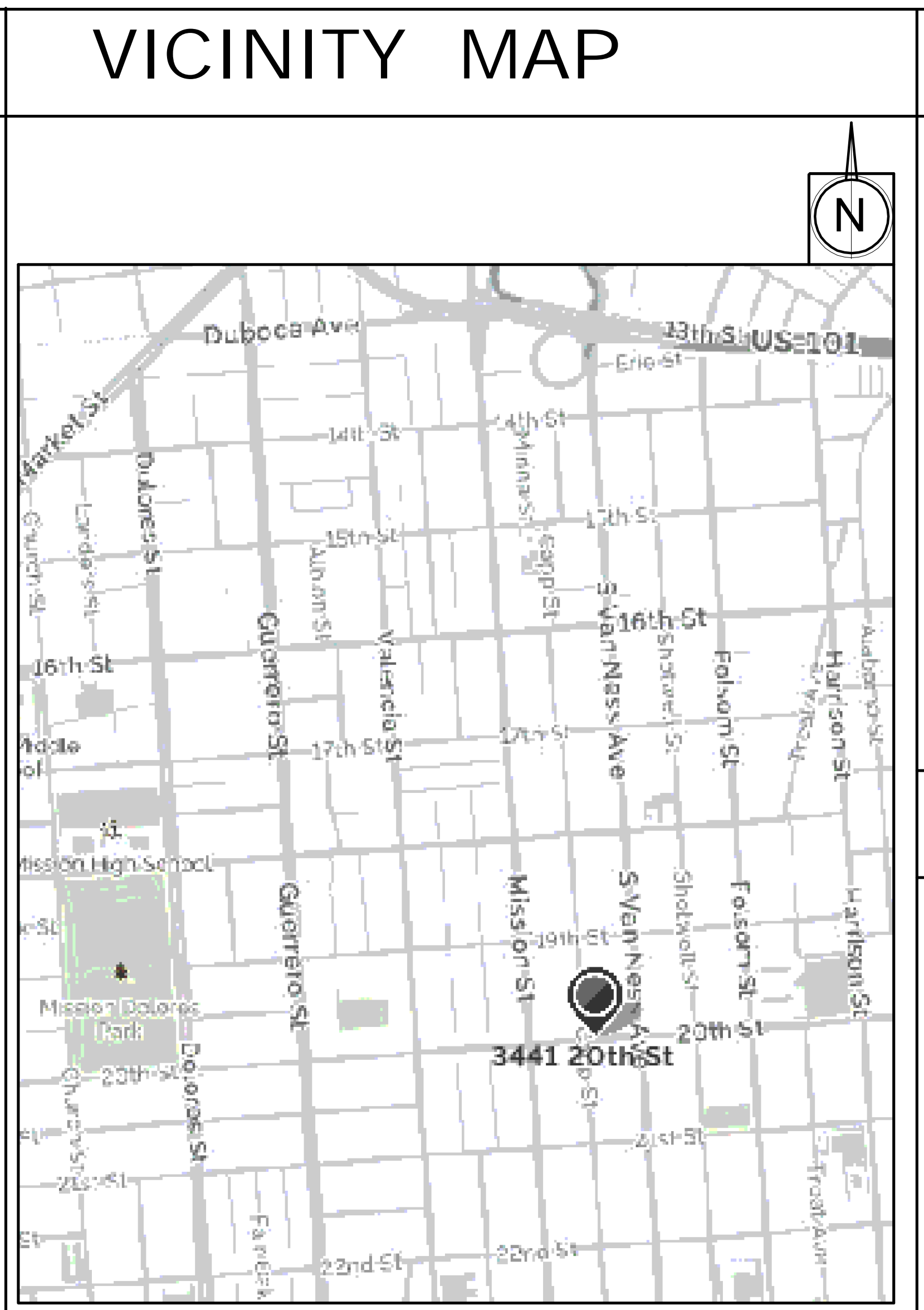
CODES

THIS PROJECT SHALL COMPLY FULLY WITH THE SAN FRANCISCO BUILDING CODE AND THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE (CBC), RESIDENTIAL CODE (CRC), FIRE CODE (CFC), GREEN BUILDING CODE (GBC), MECHANICAL CODE (CMC), PLUMBING CODE (CPC) AND ELECTRICAL CODE (CEC) WHICH ADOPT AND AMEND THE IBC, IFC, UMC, UPC & NEC.

SYMBOLS	
CMU (CONCRETE MASONRY UNIT)	
BRICK	
CONCRETE	
ASPHALT	
NATURAL EARTH	
GRAVEL	
SAND	
ROUGH WOOD	
FINISH WOOD	
BLOCKING	
PLYWOOD	
GYPSPUM BOARD	
CEMENT PLASTER	
ACOUSTICAL BOARD	
CERAMIC TILE	
PLASTIC LAMINATE	
RIGID INSULATION	
BATT INSULATION	
GLASS	

LEGEND

	DOOR NUMBER
	WINDOW NUMBER
	ROOM NUMBER
	REVISION NUMBER
	DETAIL NUMBER SHEET NUMBER
	SECTION NUMBER SHEET NUMBER
	KEY NOTE: (SEE DESCRIPTION AT RIGHT)
	GRID LINE
	STAIRS or RAMP
	DATUM POINT or CONTROL POINT
	MATCH LINE: (SHADED PORTION REPRESENTS THE SIDE CONSIDERED)
	FINISH GRADE



PROJECT TEAM

OWNER: **KAPLAN & KAPLAN**
361 FOREST AVE. #204
LAGUNA BEACH, CA. 92651
CONTACT: KEN KAPLAN
PHONE: (949) 230-3117

OWNER'S REP: **BRANDON KAPLAN**
501 CAPP STREET
SAN FRANCISCO, CA. 94110
CONTACT: BRANDON KAPLAN
PHONE: (415) 652-2475

ARCHITECT: **L. A. PAUL & ASSOCIATES ARCHITECTURE/PLANNING**
110 CARLOS DRIVE, SUITE A
SAN RAFAEL, CA. 94903
CONTACT: LARRY PAUL
PHONE: (415) 922-9282

CONTRACTOR:

PROJECT DATA

JOB ADDRESS: 3441-3447 - 20th ST. SAN FRANCISCO, CA. 94110

S.F.D.C.P. ZONING INFORMATION: _____

ZONING: RTO-M
BLOCK 3610, LOT 047

LOT SIZE: (60.188' x 100') 6,019 SQ. FT.

SETBACKS: EXISTING PROPOSED

NORTH (FRONT) :	0'-0"	NO CHANGE
SOUTH (REAR) :	0'-0"	NO CHANGE
EAST (SIDE) :	0'-0"	NO CHANGE
WEST (SIDE) :	0'-0"	NO CHANGE

USE: NINE-UNIT APT. HOUSE OPEN SPACE AREA:

AREA:	THIRD FLOOR:	3634 SF	135 SF (PRIVATE)	155 SF (PRIVATE)
	SECOND FLOOR:	3944 SF	0 SF	56 SF (PRIVATE)
	FIRST FLOOR:	3508 SF	75 SF (PRIVATE)	256 SF (PRIVATE)
	BASEMENT:	3432 SF	186 SF (COMMON)	400 SF (COMMON)
	TOTAL:	14,518 SF		1,077 SF (TOTAL)

HEIGHT: 55-X LIMIT

OCCUPANCY: R-2 MULTI-FAMILY DWELLING (9 D.U.)

CONSTRUCTION: TYPE V-B WOOD FRAME
1-HR. SEPARATION BETWEEN GARAGE & UNITS
WOOD SIDING, BUILT-UP & COMP. SHINGLE ROOFS

SHEET INDEX

A-0.0	PROJECT DATA, PROJECT TEAM, SCOPE OF WORK
A-1.0	SITE PLAN
A-3.0	EXISTING & PROPOSED BASEMENT PLANS
A-3.1	EXISTING & PROPOSED FIRST FLOOR PLANS
A-3.2	EXISTING & PROPOSED SECOND FLOOR PLANS
A-3.3	EXISTING & PROPOSED THIRD FLOOR PLANS
A-3.4	PROPOSED ROOF PLAN & UNIT TABULATIONS
A-4.1	EXISTING & PROPOSED NORTH & WEST ELEVATIONS
A-4.2	EXISTING & PROPOSED SOUTH & EAST ELEVATIONS
A-4.3	EXISTING & PROPOSED COURTYARD ELEVATIONS

SCOPE OF WORK

BASEMENT:
REMODEL TWO APARTMENTS
ADD ONE APARTMENT
ADD THREE PARKING SPACES

FIRST FLOOR:
NO WORK

SECOND FLOOR:
ADD ENTRY TO 3RD FLOOR
REMODEL LAUNDRY INTO FAMILY ROOM

THIRD FLOOR:
RESTORE TOP FLOOR & ROOF WITH TWO APARTMENTS
PREVIOUSLY DESTROYED BY FIRE
ADD NEW ROOF DECK FOR OPEN SPACE
REMODEL & EXTEND EXISTING REAR STAIRS

APPROVALS

DRAWINGS:

DRAWN:	JJA
CHECKED:	LAP
DATE:	06.11.14
SCALE:	AS NOTED
JOB NO.:	2014.34
SHEET:	A-0.0

OF SHEETS

REVISIONS	BY
02-16-16	NOPR

L. A. PAUL & ASSOCIATES
ARCHITECTURE/PLANNING

110 CARLOS STREET
SAN RAFAEL, CA 94903
TEL (415) 922-9282
FAX (415) 922-1893
e-mail: l.a.paul@prodigy.net

LARRY A. PAUL, AIA

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions and conditions on the job, and the Architect shall be notified of any variations from the dimensions and conditions shown. Shop details must be submitted to this office for approval before proceeding with fabrication.

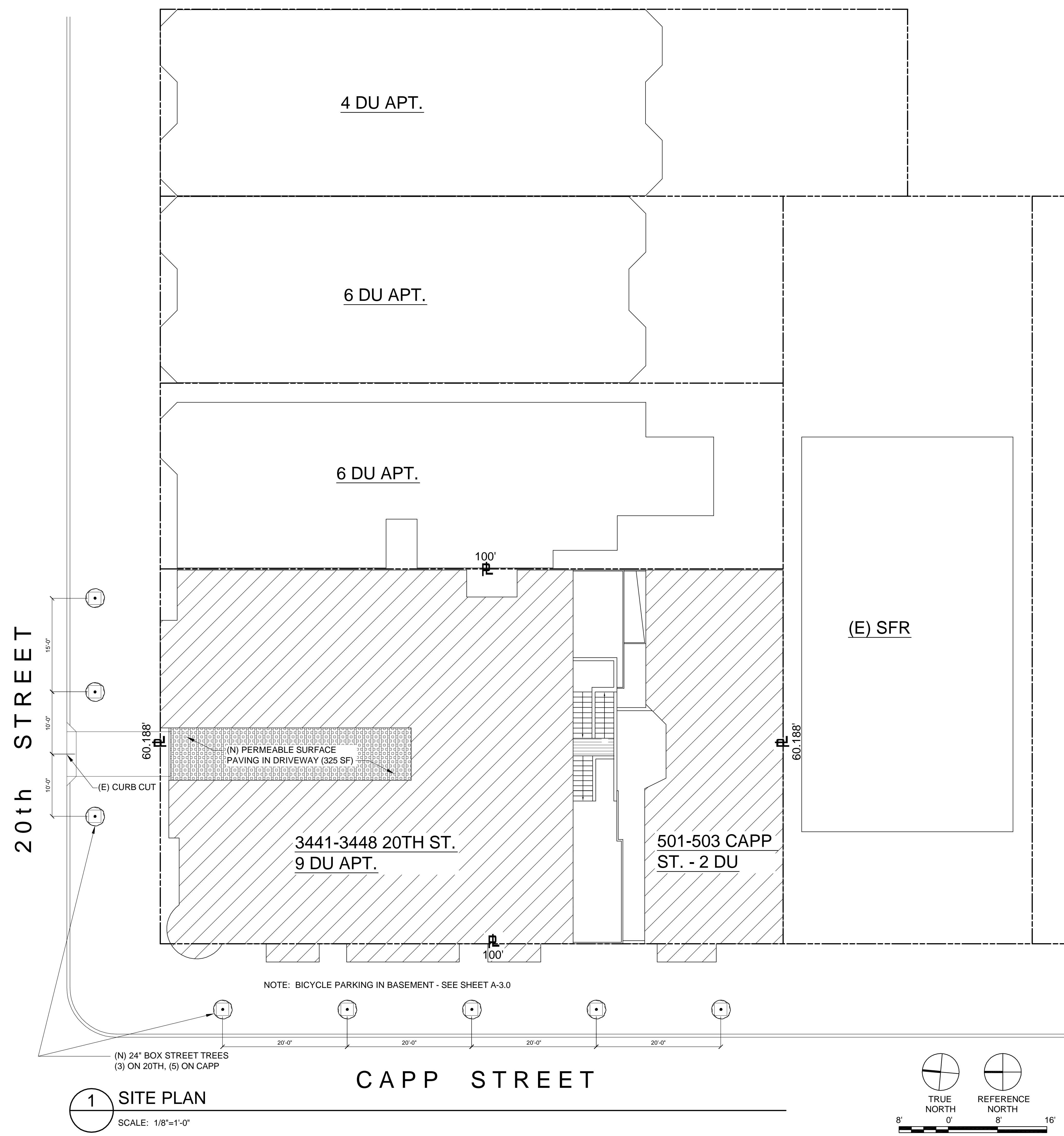
KAPLAN & KAPLAN BUILDING
ALTERATIONS & ADDITIONS

3441-3448 - 20th STREET
SAN FRANCISCO, CA. 94110 BLOCK 3610, LOT 047

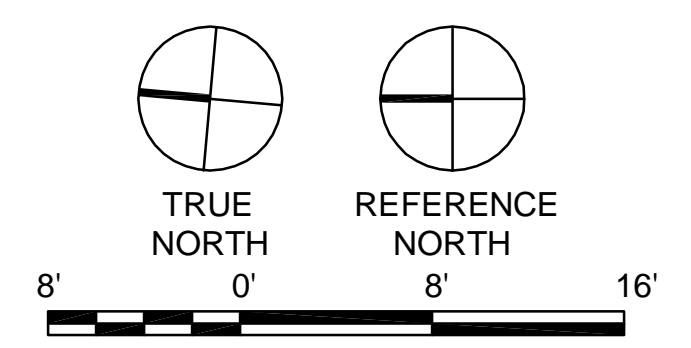
DRAWINGS:
SHEET INDEX
PROJECT TEAM
VICINITY MAP
ABBREVIATIONS
PROJECT DATA

DRAWN: JJA
CHECKED: LAP
DATE: 06.11.14
SCALE: AS NOTED
JOB NO.: 2014.34
SHEET: A-0.0

OF SHEETS



1 SITE PLAN
SCALE: 1/8"=1'-0"

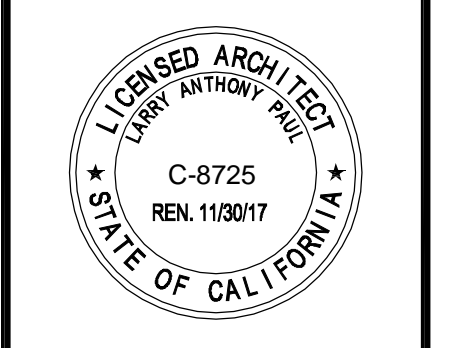


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02-16-16	NOPR


L. A. PAUL & ASSOCIATES
 ARCHITECTURE/PLANNING
 110 CARLOS STREET
 SAN RAFAEL, CA 94903
 TEL: (415) 922-9282
 FAX: (415) 922-1893
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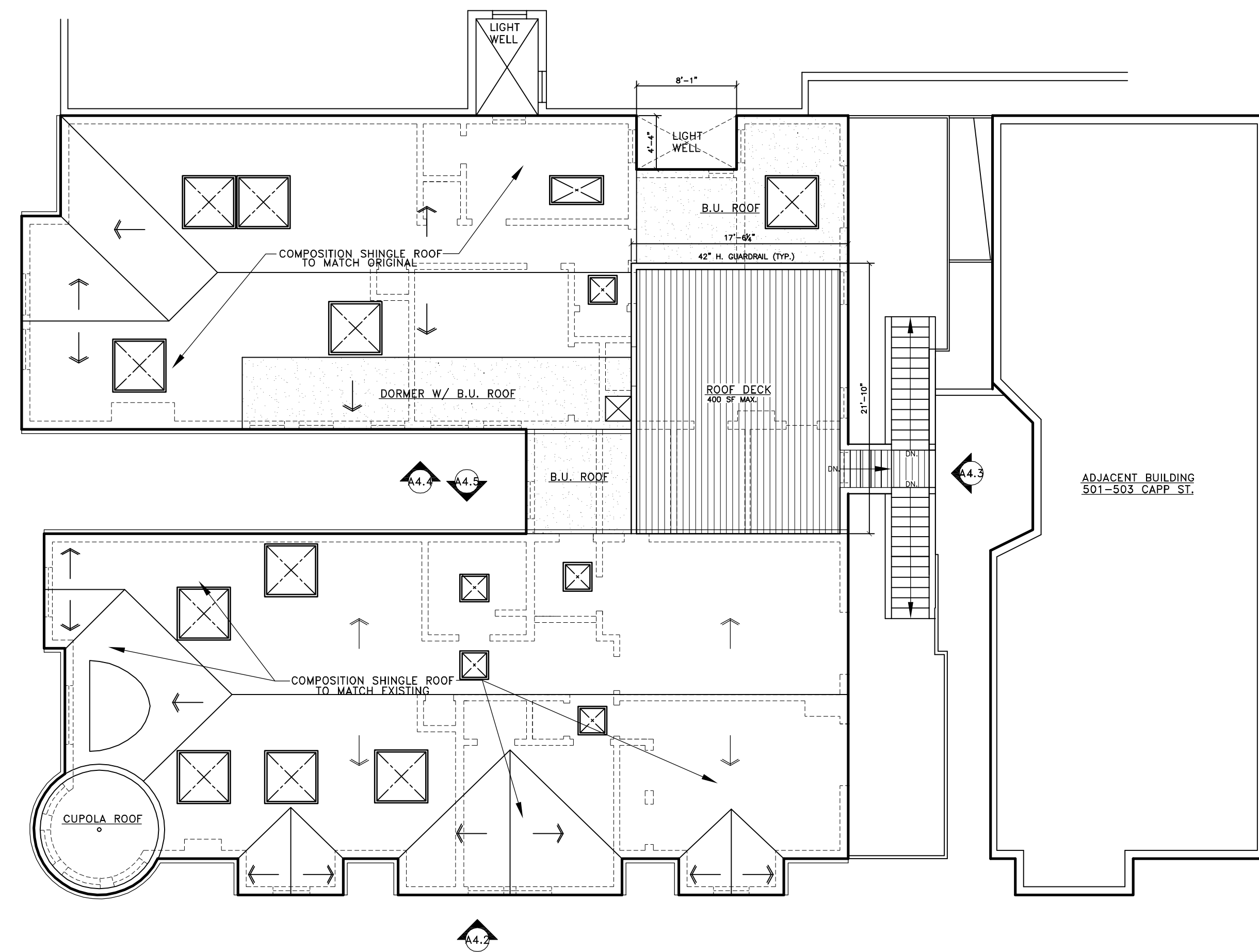
KAPLAN & KAPLAN BUILDING
 ALTERATIONS & ADDITIONS
 3441-3448 - 20th STREET
 SAN FRANCISCO, CA. 94110 BLOCK 3610, LOT 047

DRAWINGS: SITE PLAN	
DRAWN:	JJA
CHECKED:	LAP
DATE:	06.11.14
SCALE:	AS NOTED
JOB NO.:	2014.34
SHEET:	A-1.0
OF	SHEETS

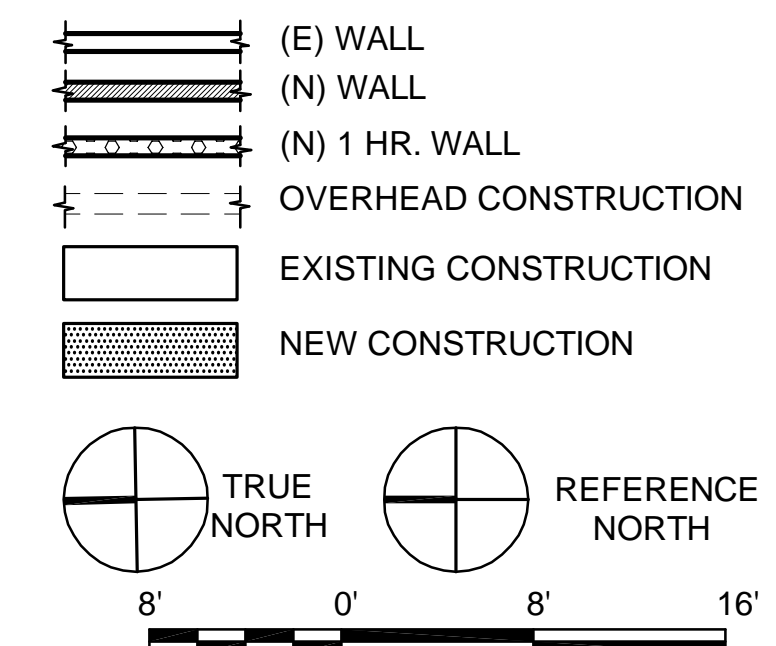
UNIT TABULATIONS

UNIT #	LOCATION	SIZE	EXISTING AREA	PROPOSED AREA	OPEN SPACE
BASEMENT					
EXISTING	1 WEST	2 BR / 1 BA	860	798	133
EXISTING	2 NORTHEAST	1 BR / 1 BA	400	525	133
PROPOSED	3 SOUTHEAST	3 BR / 1.5 BA	0	916	133
FIRST FLOOR					
EXISTING	4 WEST	4 BR / 2 BA	1688	1688	75
EXISTING	5 EAST	4 BR / 2.5 BA	1438	1438	256
SECOND FLOOR					
EXISTING	6 WEST	4 BR / 3 BA	1884	1884	0
EXISTING	7 EAST	4 BR / 2.5 BA	1515	1515	56
THIRD FLOOR					
PROPOSED	8 WEST	3 BR / 2.5 BA	0	1764	155
PROPOSED	9 EAST	2 BR / 2.5 BA	0	1624	135
9	TOTAL UNITS		7875	12152	
DECKS					
	1ST FL. WEST		75	75	
	1ST FL. EAST		256	256	
	2ND FL. WEST		0	0	
	2ND FL. EAST		56	56	
	3RD FL. WEST		0	155	
	3RD FL. EAST		0	135	
ROOF DECK					
	ROOF		0	400	
REAR PATIO					
	BASEMENT		186	186	
	TOTAL OPEN SPACE		573	1263	
	UNITS + OPEN		8448	13415	
GARAGE UTILITY					
			1875	925	
			0	75	
	TOTAL AREA		10323	14415	

2 UNIT TABULATIONS



1 PROPOSED ROOF PLAN



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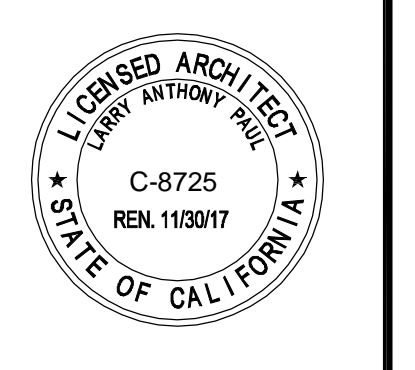
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REVISIONS	BY
02-16-16	VAR

L. A. PAUL & ASSOCIATES
ARCHITECTURE/PLANNING

110 CARLOS STREET
SAN RAFAEL, CA 94903
TEL (415) 922-9282
FAX (415) 922-1893
e-mail: l.a.paul@prodigy.net

LARRY A. PAUL, AIA



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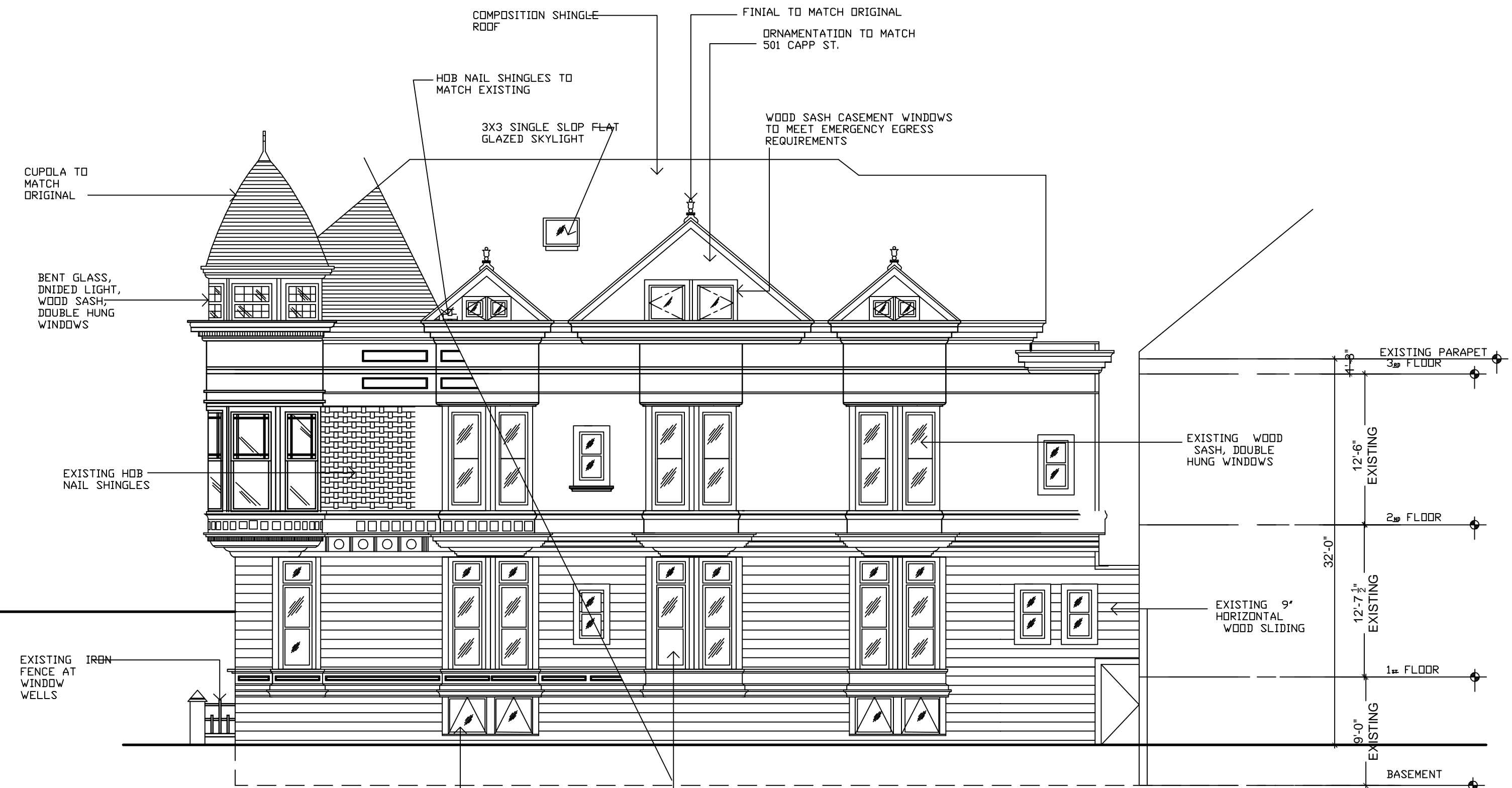
DRAWINGS:
PROPOSED ROOF PLAN & UNIT TABULATIONS

DRAWN: JJA
CHECKED: LAP
DATE: 06.11.14
SCALE: 1/8"=1'-0"
JOB NO.: 2014.34

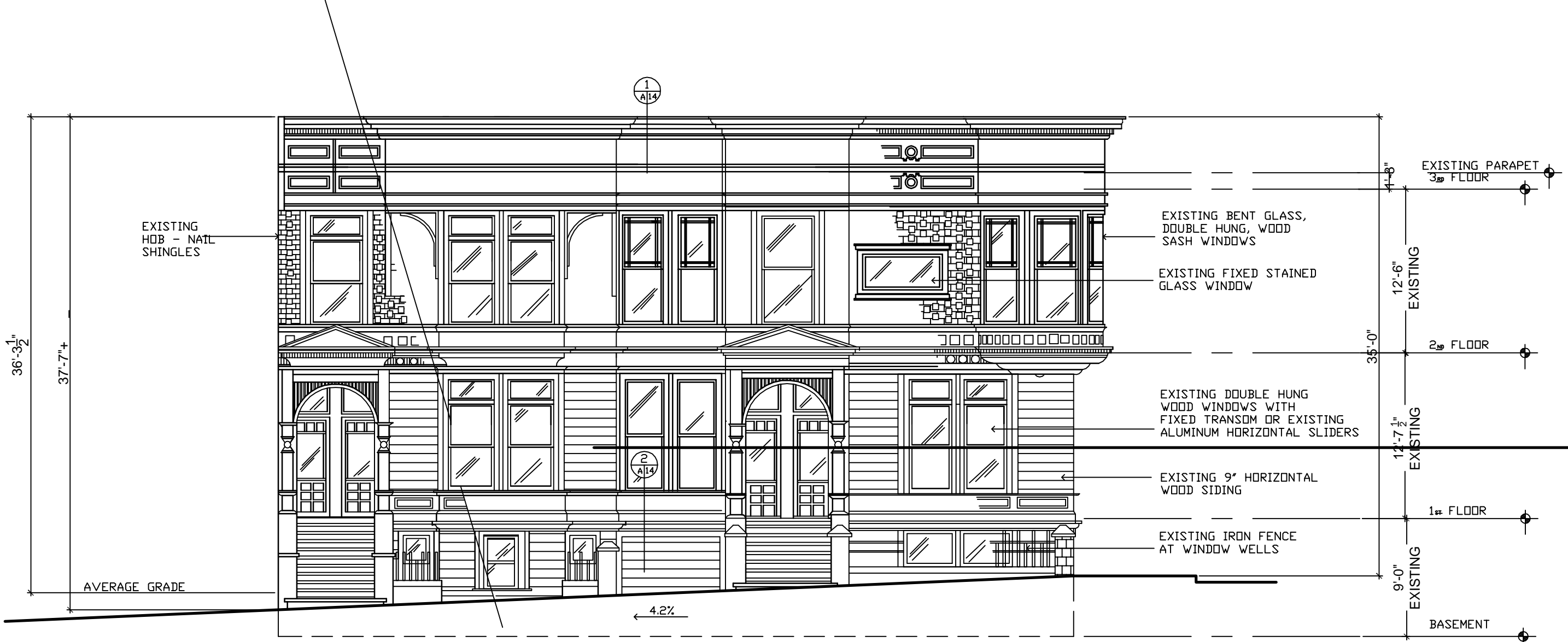
SHEET:
A-3.4
OF SHEETS



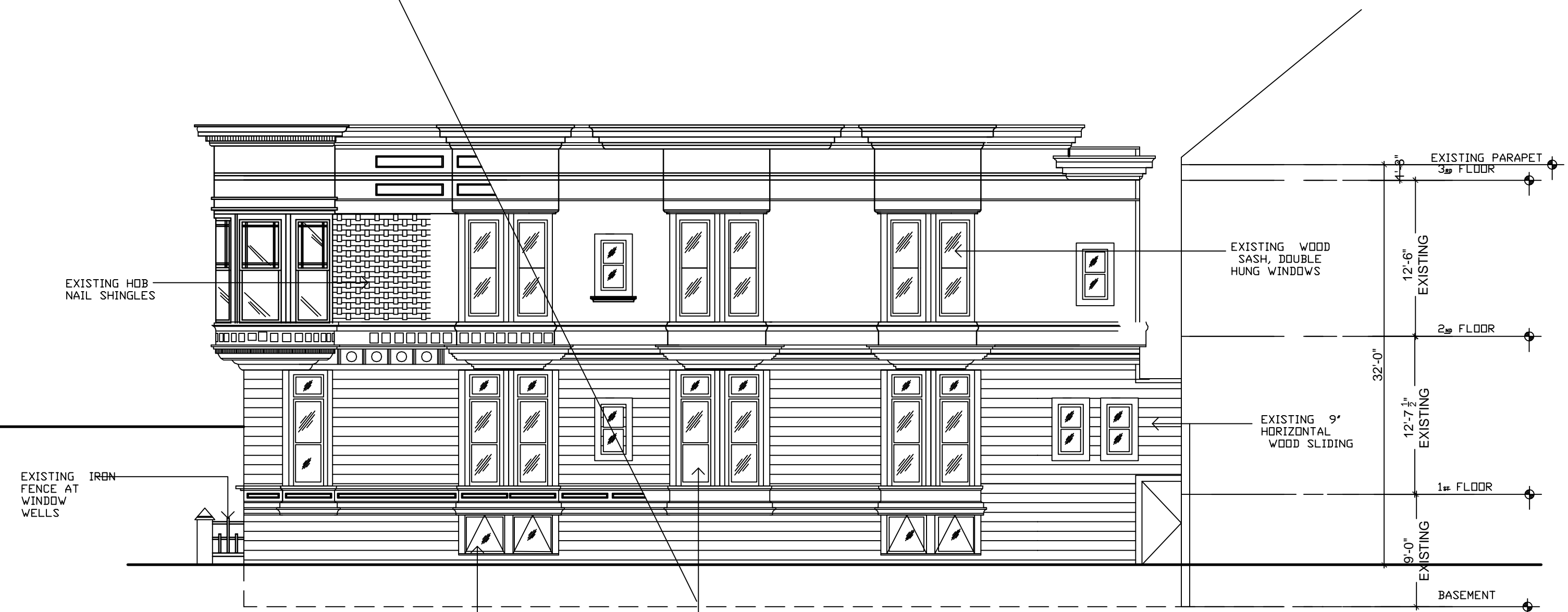
2 PROPOSED 20TH STREET (NORTH) ELEVATION



4 PROPOSED CAPP STREET (WEST) ELEVATION



1 EXISTING 20TH STREET (NORTH) ELEVATION



3 EXISTING CAPP STREET (WEST) ELEVATION

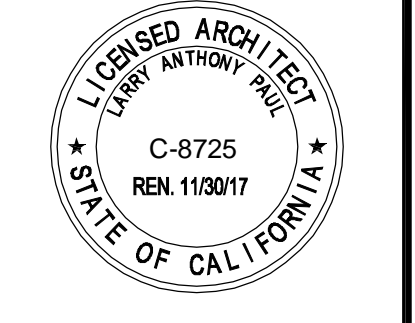
EXISTING CONSTRUCTION
NEW CONSTRUCTION



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REVISIONS	BY
02-16-16	VAR

L. A. PAUL & ASSOCIATES
ARCHITECTURE/PLANNING
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SAN RAFAEL, CA 94903
TEL (415) 922-9282
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LARRY A. PAUL, AIA



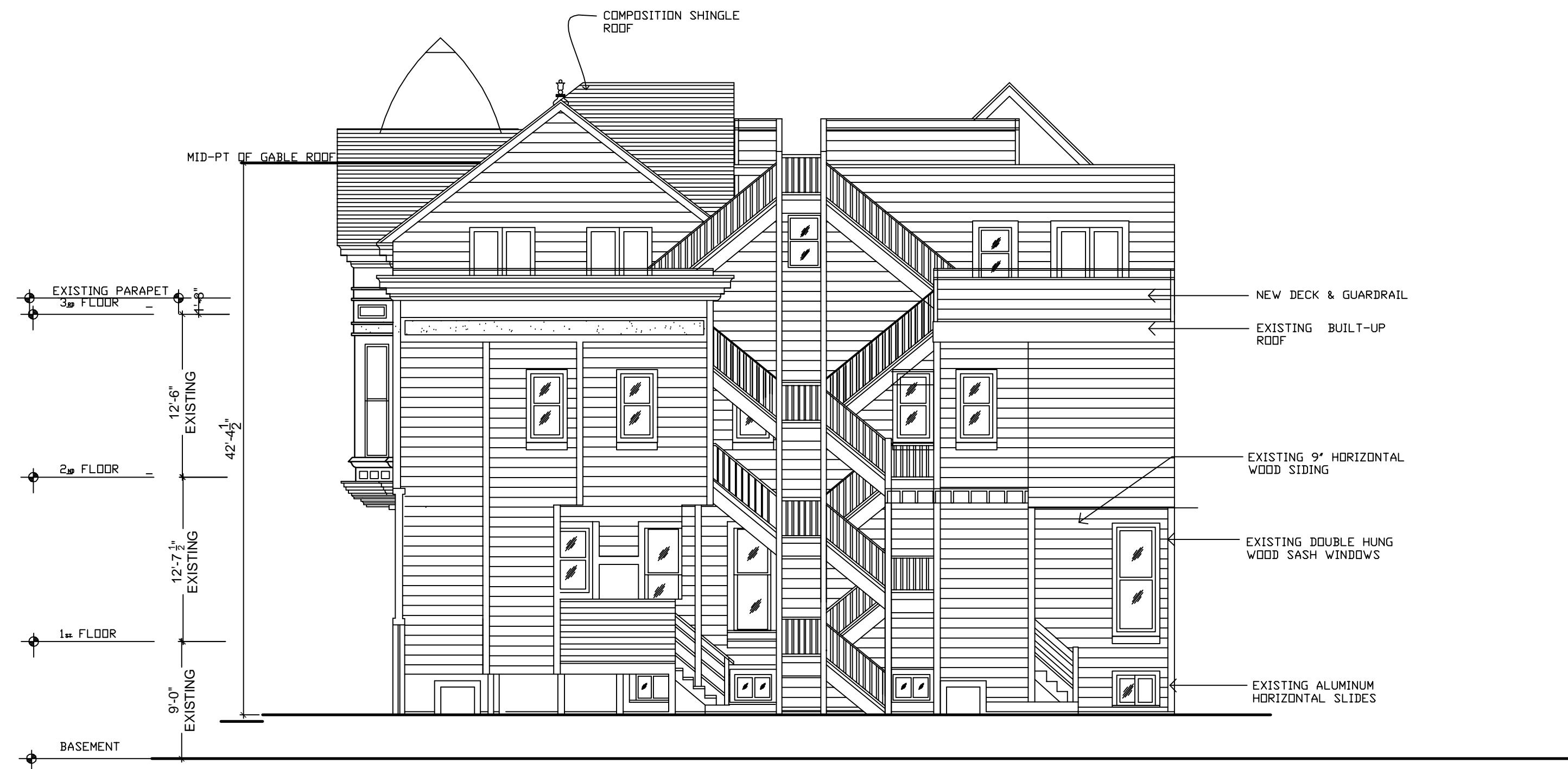
KAPLAN & KAPLAN BUILDING
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3441-3448 - 20th STREET
SAN FRANCISCO, CA. 94110 BLOCK 3610, LOT 047

DRAWINGS:
EXISTING & PROPOSED NORTH & WEST ELEVATIONS

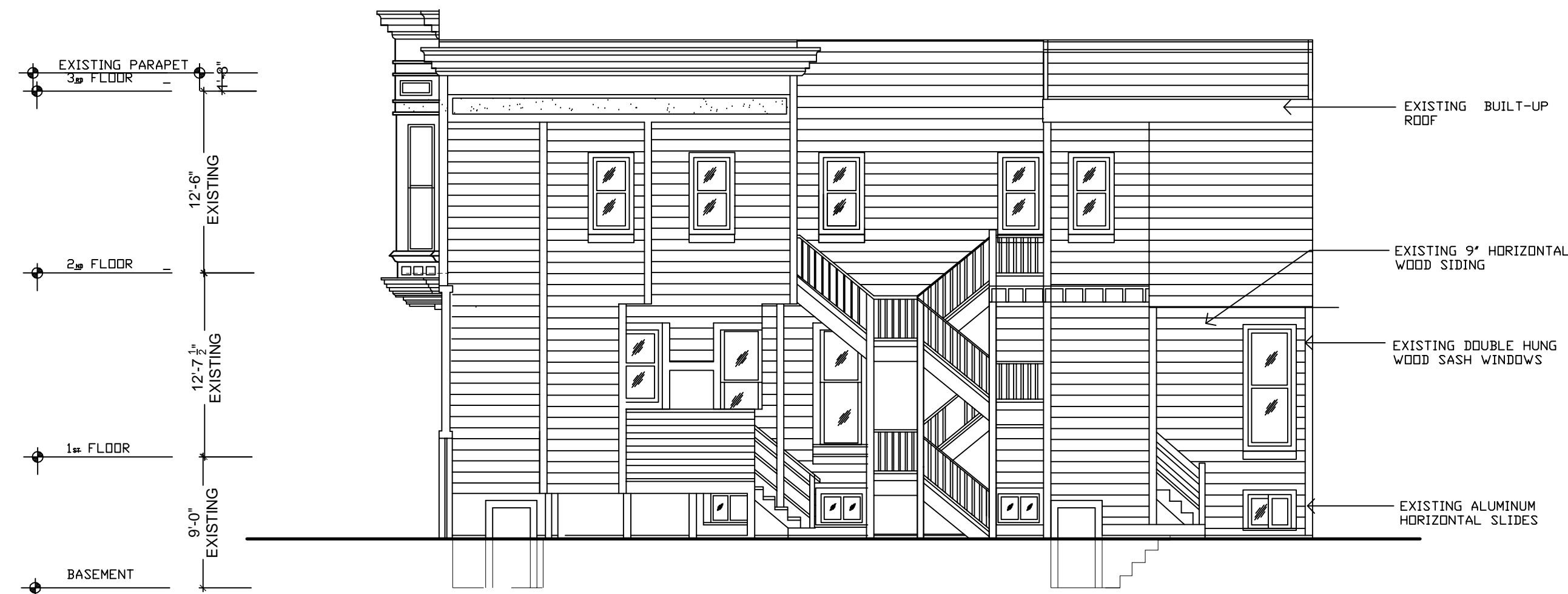
DRAWN: JJA
CHECKED: LAP
DATE: 06.11.14
SCALE: 1/4"=1'-0"
JOB NO.: 2014.34
SHEET:

A-4.1
OF SHEETS

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2 PROPOSED REAR (SOUTH) ELEVATION



1 EXISTING REAR (SOUTH) ELEVATION

EXISTING CONSTRUCTION
NEW CONSTRUCTION



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DRAWINGS:
EXISTING &
PROPOSED
SOUTH & WEST
COURTYARD
ELEVATIONS

DRAWN: JJA
CHECKED: LAP
DATE: 06.11.14
SCALE: 1/8"=1'-0"
JOB NO.: 2014.34

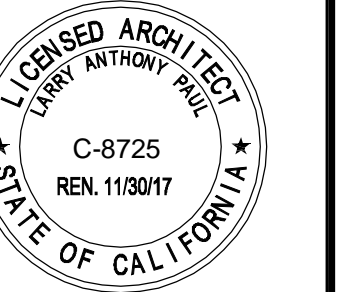
SHEET:

A-4.2

OF SHEETS

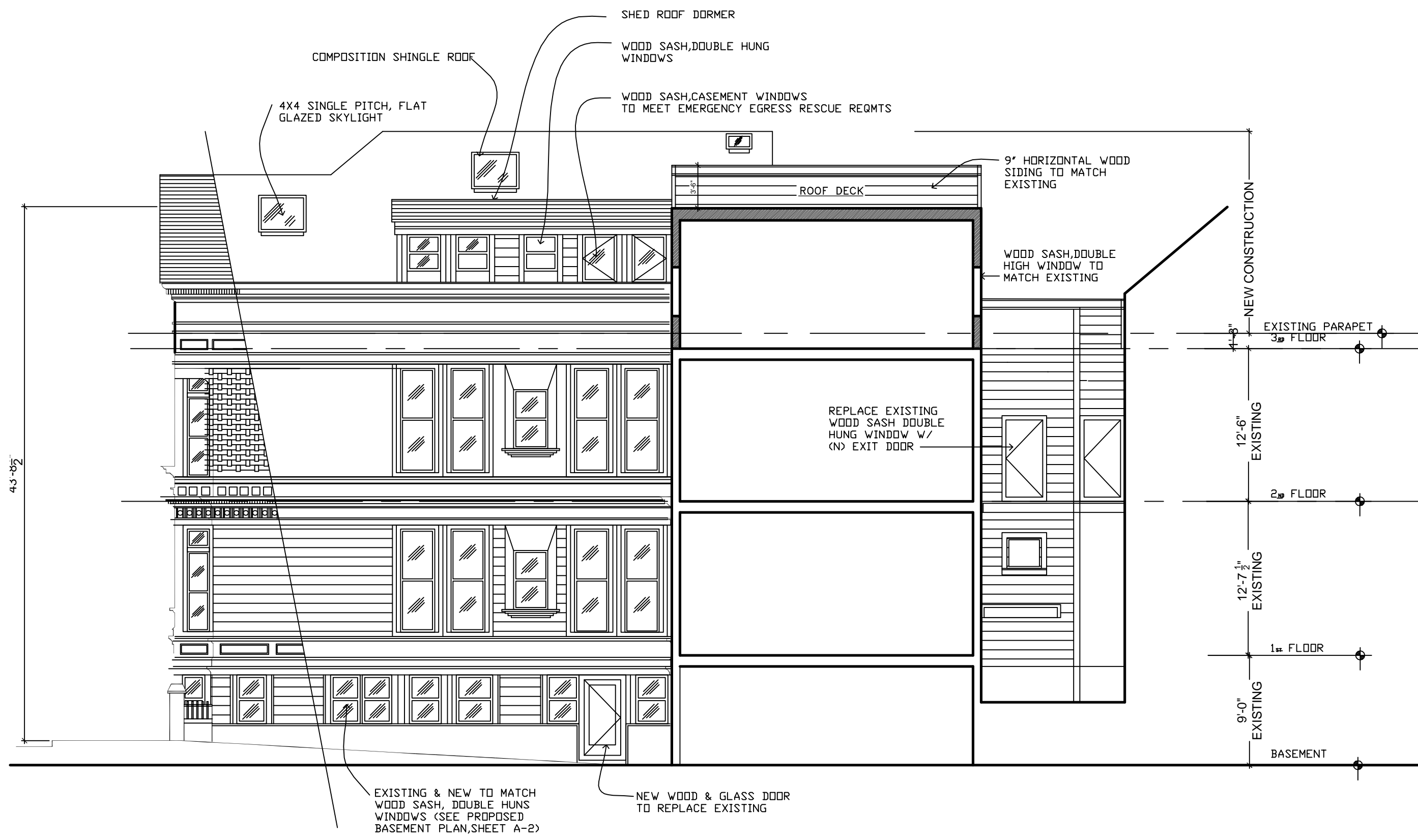
KAPLAN & KAPLAN BUILDING
ALTERATIONS & ADDITIONS

3441-3448 - 20th STREET
SAN FRANCISCO, CA. 94110 BLOCK 3610, LOT 047

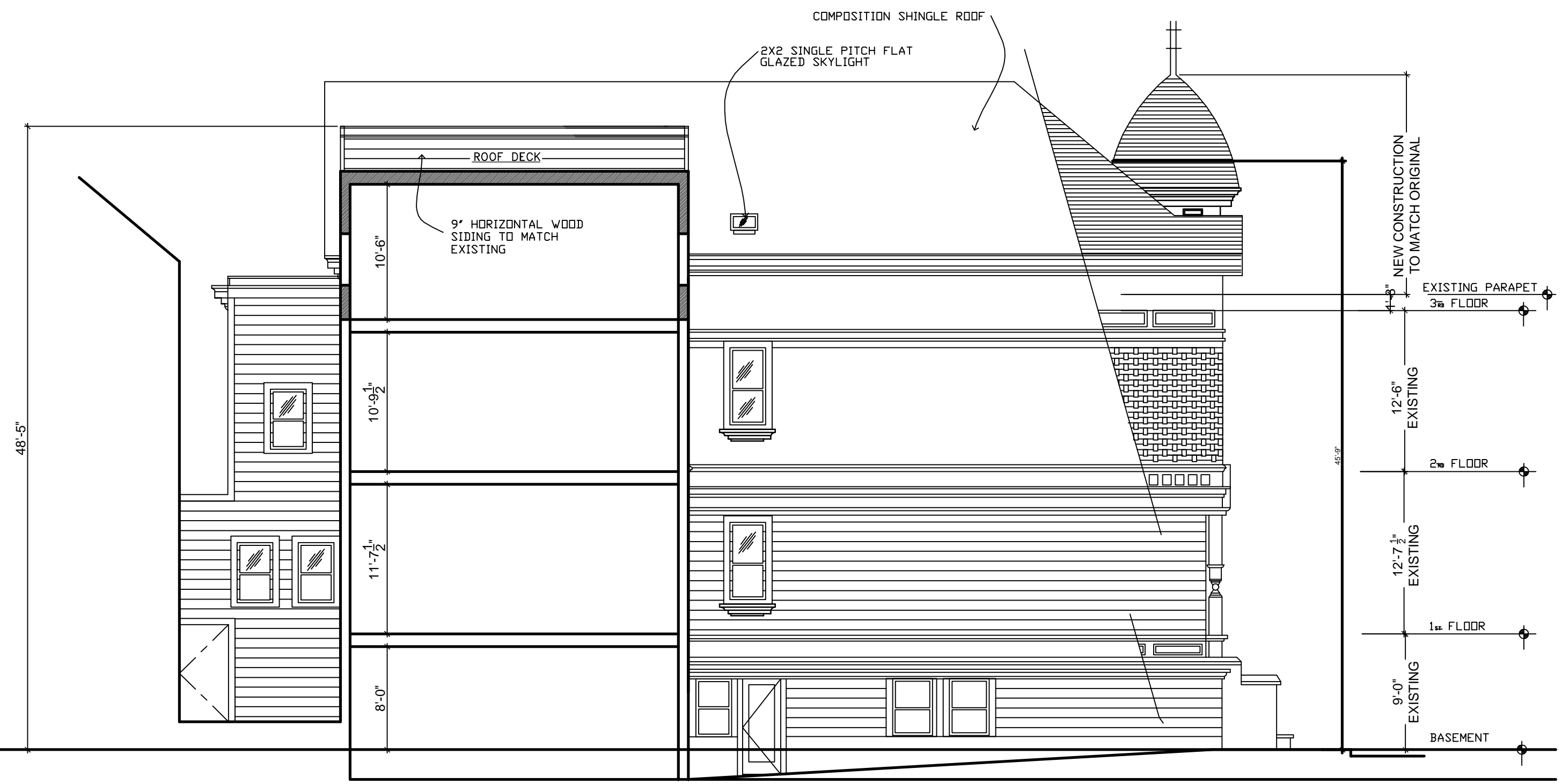


L. A. PAUL &
ASSOCIATES
ARCHITECTURE/PLANNING
110 CARLOS STREET
SAN RAFAEL, CA 94903
TEL (415) 922-9282
FAX (415) 922-1893
e-mail: la.paul@prodigy.net
LARRY A. PAUL, AIA

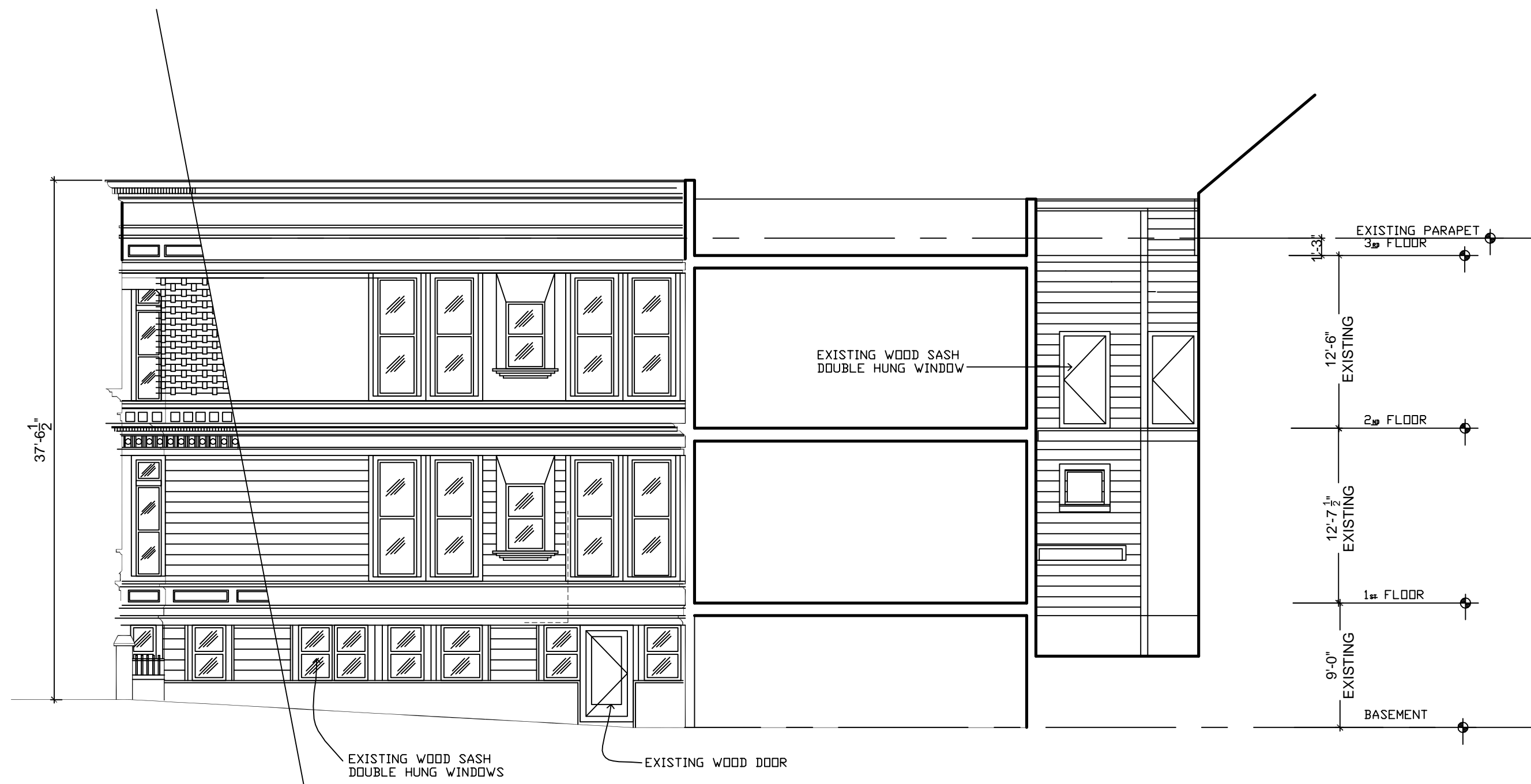
REVISIONS	BY
02-16-16	VAR



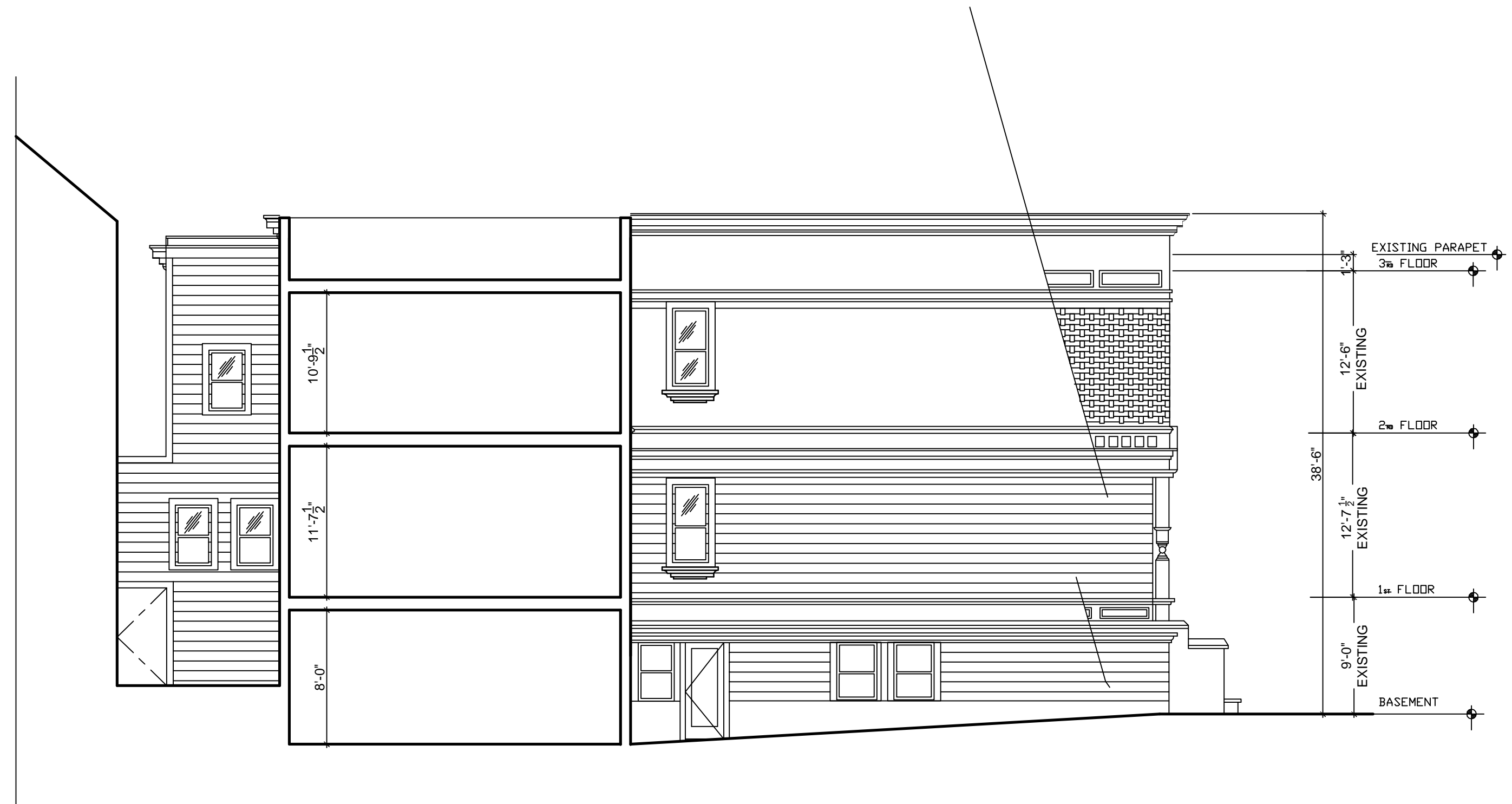
2 PROPOSED COURTYARD (WEST) ELEVATION & SECTION THRU BUILDING



4 PROPOSED COURTYARD (EAST) ELEVATION & SECTION THRU BUILDING



1 EXISTING COURTYARD (WEST) ELEVATION & SECTION THRU BUILDING



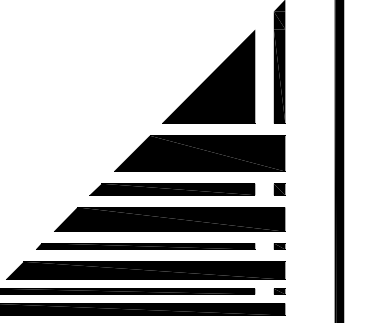
3 EXISTING COURTYARD (EAST) ELEVATION & SECTION THRU BUILDING

EXISTING CONSTRUCTION
NEW CONSTRUCTION



Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all details must be submitted to this office for approval before proceeding with fabrication.

REVISIONS	BY
02-16-16	VAR



L. A. PAUL & ASSOCIATES
ARCHITECTURE/PLANNING
110 CARLOS STREET
SAN RAFAEL, CA 94903
TEL (415) 922-9282
FAX (415) 922-1893
e-mail: l.a.paul@prodigy.net
LARRY A. PAUL, AIA



KAPLAN & KAPLAN BUILDING
ALTERATIONS & ADDITIONS

3441-3448 - 20th STREET
SAN FRANCISCO, CA. 94110 BLOCK 3610, LOT 047

DRAWINGS:
EXISTING &
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ELEVATIONS
& SECTIONS

DRAWN: JJA
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SHEET:

A-4.3

OF SHEETS

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